

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

August 19, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 1701 Soplo Rd SE
Permanent C.O. – Not Accepted
Engineer's Stamp Date: 03/14/19
Engineer's Certification Date: 08/18/21
Hydrology File: N23D001

Dear Mr. Soule:

PO Box 1293

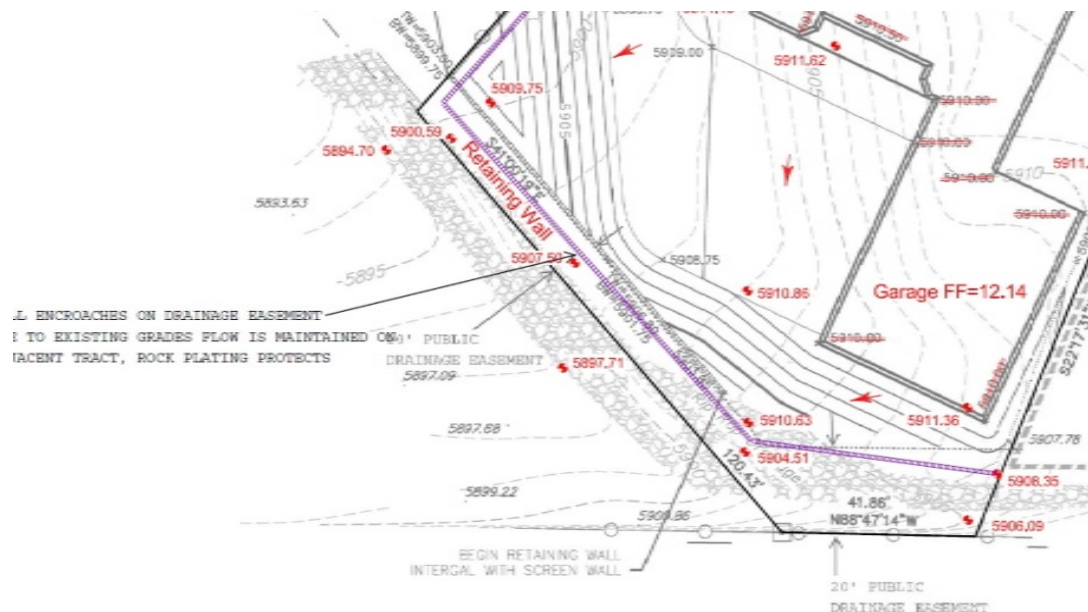
Based on the Certification received 08/19/2021, this certification **is not** approved in support of Permanent Release of Occupancy by Hydrology. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. The retaining wall was built within both the 10 foot Drainage Easement along the Southwest property line and the 20 foot Drainage Easement along the South property line. The wall also was installed on top of the sour protection for the Four Hills Arroyo and some of it was removed with this installation. (See image below).

NM 87103

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There are two possible solutions in order for Hydrology to issue an approval:

- a. The removal of the retaining wall within both Drainage Easements, re-establish the grades within the easement to pre-development conditions, and reestablish the sour protection for the Four Hills Arroyo. **Please note that the built location of the retaining wall was not approved by Hydrology.** During the wall permit process, the plan reviewer just looks to see if the Grading & Drainage Plan in the permit set was the approved plan.
- b. An engineering study to show that the remaining sour protection is able to handle the approximately 1200 cfs of the Four Hills Arroyo and get this approved by Hydrology. Then both Drainage Easements can be vacated through the Development Review Board (DRB). Once the vacation has been approved, then Hydrology will be able to approve this certification for Permanent Release of Occupancy.

2. Standard review fee of \$75 will be required at the time of resubmittal.

PO Box 1293

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 1701 SOPLO **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: lot 13 block 49A FOUR HILLS - 19TH EDITION

City Address: 1701 SOPLO

Applicant: GUSTAVO MALDONADO **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Existing Developed Basins

Basin	Area (s')	Area (acres)	Treatment								100-Year, 6-hr.		10-day
			A	B	C	D	E	F	G	H	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
EXISTING	23820	0.547	50%	0.27342	40.0%	0.219	0.0%	0	5%	0.027	0.964	0.044	1.38
PROPOSED	23820	0.547	0%	0	34.0%	0.186	27.0%	0.14764	39%	0.243	1.791	0.082	2.21

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

FIRST FLUSH VOLUME

REQUIRED 263.21 CF
PROVIDED 356 CF

DRAINAGE NARRATIVE

THIS SITE IS A LOT WITHIN A FULLY DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS ADJACENT TO FULLY DEVELOPED ROADWAYS. A PUBLIC DRAINAGE EASEMENT ABUTS THIS SITE. THE DENSITY OF THIS DEVELOPMENT IS SIMILAR TO THE SURROUNDING FULLY DEVELOPED CONDITIONS. THE SITE WILL FREE DISCHARGE AFTER THE FIRST FLUSH VOLUMES ARE RETAINED ON SITE

I David Soule, NMPE 14522 , of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 3/14/19 . The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



8/18/21

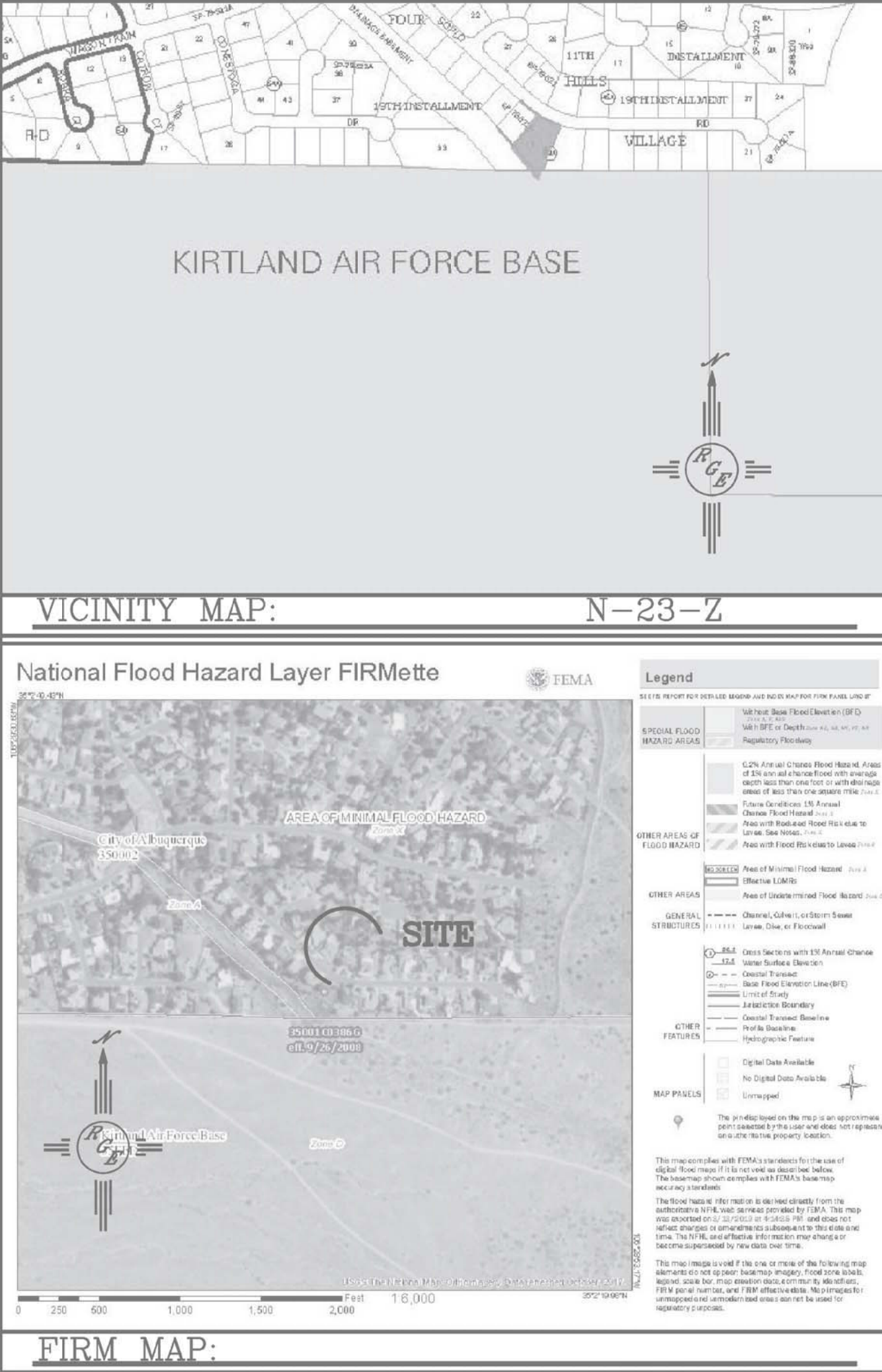
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 3/14/19



6/21/19

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

Lot 13, Block 49A, Four Hills Subdivision

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
• XXXX	EXISTING SPOT ELEVATION
• XXXX	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU SCREEN WALL (12" MAX. RETAINAGE)

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

Asbuilt

Lot 13, Block 49A

4 Hills Subdivision, 19th Installment

DATE 6/25/21

CREW RGR/NWM

DRAFTING DKS

GPS VIEJO

JN N942

Community Sciences Corporation

Land Surveying

(505) 897.0000

Asbuilt Legend

06.1 SPOT ELEVATION

FLOW ARROW

