

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

P-9/D001A (54)

PROJECT TITLE: APS SW HIGH SCHOOL ZONE MAP/DRG. FILE # 2-8
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract D, Toma Alliance Group of NM LLC & Westland Development Co.
CITY ADDRESS: 10800 Dennis Chavez Blvd SW

COUNTY: _____
ENGINEERING FIRM: JMA CONTACT: Graeme Means
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
CITY, STATE: ALBUQUERQUE, NM 87109 ZIP CODE: 87109

OWNER: APS CONTACT: Roldan Pasion
ADDRESS: 915 Oak St. SE PHONE: 246-9020
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: FRT Architects CONTACT: Susan Johnson
ADDRESS: 6100 Indian School NE PHONE: 383-5200
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87110

SURVEYOR: JMA CONTACT: Chuck Cala
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Not Selected CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) Letter of Disengagement?

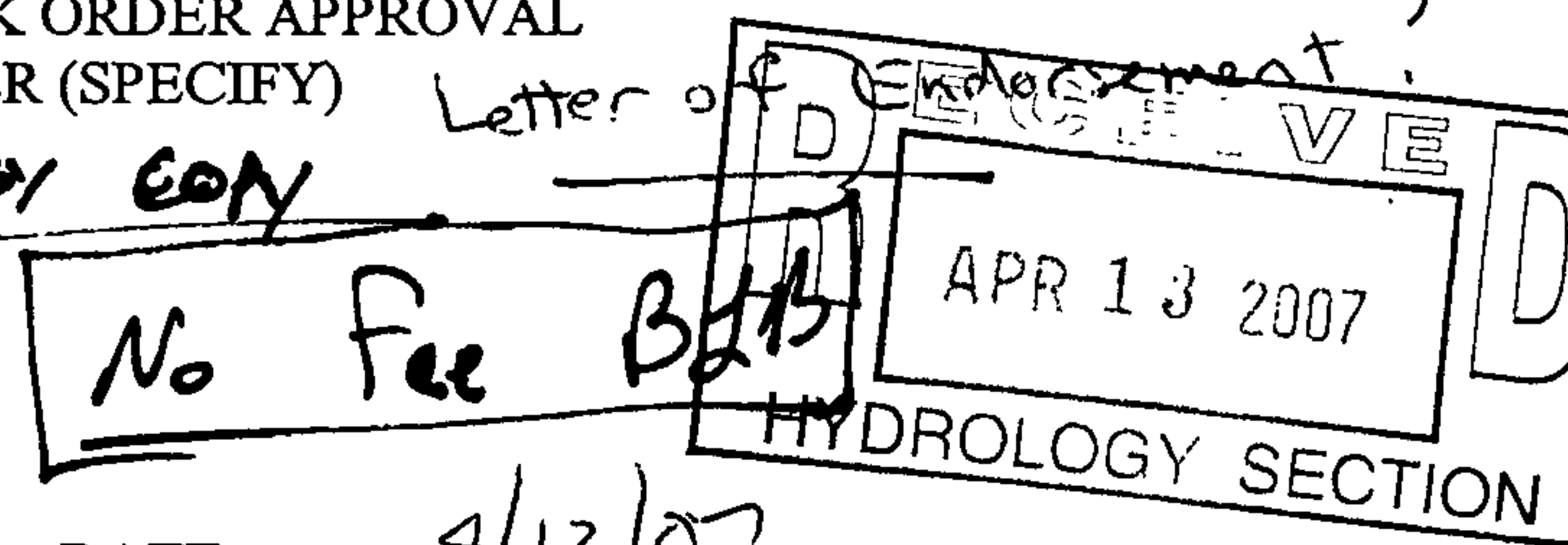
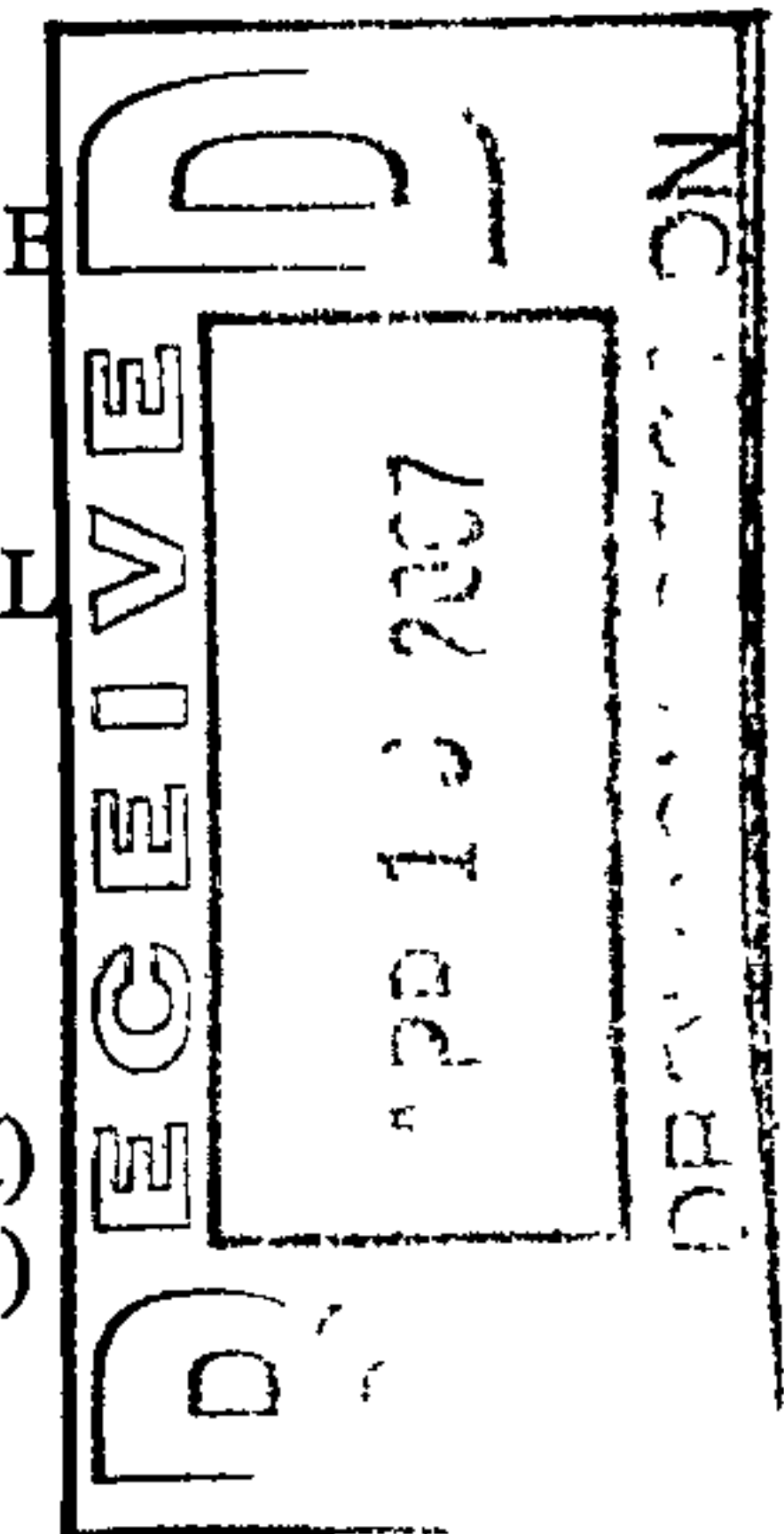
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Graeme Means DATE: 4/13/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

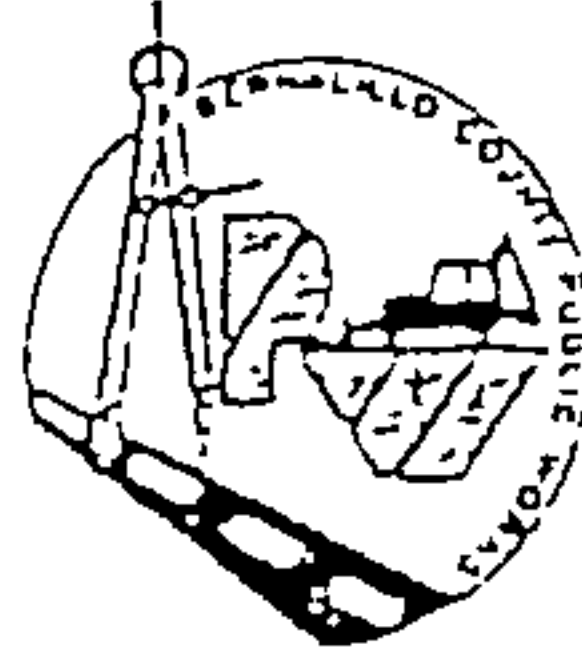
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



HYDROLOGY SECTION

2006.046.1

BERNALILLO COUNTY



PWD SUBMITTAL

Use for all PWD applications EXCEPT Street Excavation

☒ NEW SUBMITTAL☐ RESUBMITTAL☐ FINAL SIGNOFF

TODAY'S DATE 4/13/07

CASE NO:

OWNER

OWNER Albuquerque Public Schools

PHONE 246-9020

MAILING ADDRESS 915 Oak Street SE

CITY Albuquerque ZIP 87106

AGENT

AGENT / CONTRACTOR Jeff Mortensen & Associates

PHONE 345-4250

MAILING ADDRESS 6010-B Midway Park Blvd NE CITY Albuq. ZIP 87109

STATE LICENSE NO

EXP DATE

VOLUME

CLASS

ARCHITECT/ENGINEER J. Graeme Means

LICENSE NO 13676

PHONE 345-4250

SITE INFORMATION

SITE ADDRESS / DIRECTIONS 12800 Dennis Chavez Blvd SW

ZONE ATLAS NO P-8

SE Corner of Dennis Chavez Blvd SW & 118th St. SW

LEGAL DESCRIPTION Tract D, Toma Alliance Group of NM LLC & Westland Development Co.

LOT SIZE 65.00 ac

EXISTING BUILDING(S) AND USE None

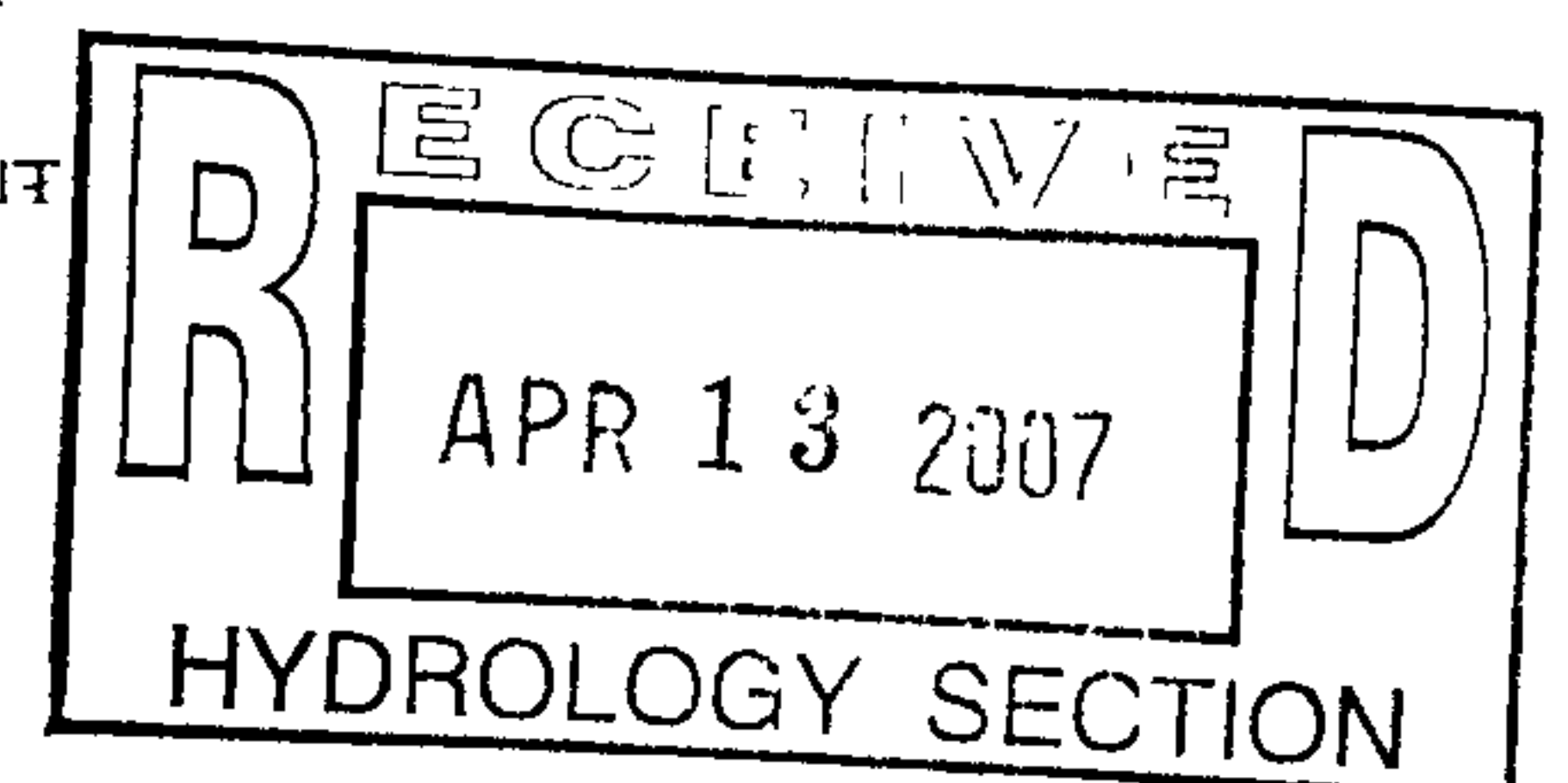
PROPOSED BUILDING(S) None yet - Grading Only

UPC # 1-008-053-475-290-402-03

TYPE OF SUBMITTAL

- ☐ REPLAT
- ☐ MINOR SUBDIVISION
- ☐ MAJOR SUBDIVISION
- ☐ CONSTRUCTION DRAWINGS
- ☒ GRADING & DRAINAGE PLAN
- ☐ AS-CONSTRUCTED GRADING & DRAINAGE PLAN
- ☐ VARIANCE REQUEST
- ☐ LAND DIVISION

- ☐ TRAFFIC IMPACT ANALYSIS / TRAFFIC STUDY
- ☐ INFRASTRUCTURE LIST / DESIGN REVIEW
- ☐ SPECIAL USE PERMIT
- ☐ BARRICADING PERMIT
- ☐ BUILDING PERMIT
- ☐ INSPECTION
- ☐ OTHER (Specify):



The issuance of a permit or a review or approval of plan specifications, computations, and shop drawings, shall not be interpreted to be a permit for, or an approval of any variance or violation of any of the provisions of any COUNTY or STATE codes, ordinances, standards, or policies. Nor shall such issuance of a permit or approval of plans, specifications, computations, and shop drawings prevent any authorized COUNTY representative or COUNTY inspector from thereafter requiring the correction of errors in said plans, specifications, computations, or shop drawings or from stopping construction operations which are being carried on thereunder when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

XC: Brad Bingham
Lynn Mazur

☐ Owner ☒ Agent ☐ Contractor

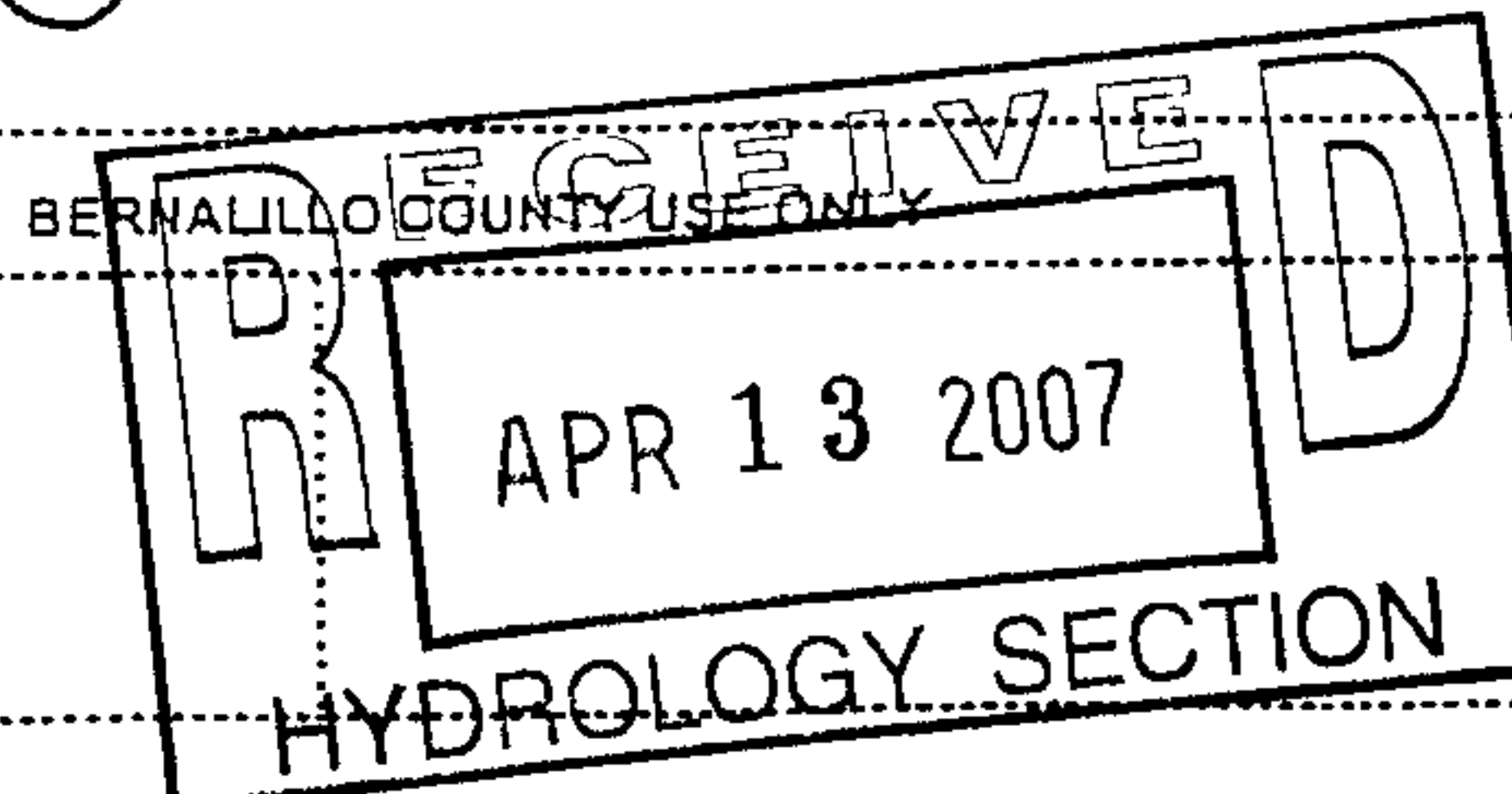
Signature

Date

4/13/07

COUNTY

C/R's



TOTAL FEE

Receipt No.

Received By:

A-1

DENNIS CHAVEZ BLVD

ANDERSON HEIGHTS

C-1
B

TOMA ALLIANCE GROUP OF NM LLC
& WESTLAND DEVELOPMENT CO INC

TRACT D

A-1

SRP---40089

A-1

TRACT B

TOMA ALLIANCE GROUP OF NM LLC
& WESTLAND DEVELOPMENT CO INC

A-1 SUPERMIT FOR A MOBILE HOME PARK

A-1 SUPERMIT FOR A MOBILE HOME PARK

A-1

LEGAL DESCRIPTION

T9N

R2E

SEC 8

UNIFORM PROPERTY CODE

1-008-053



Map amended through February 2007



PUBLIC WORKS DIVISION
GIS PROGRAM

This information is for reference only.
Bernalillo County assumes no liability for errors
associated with the use of these data. Users are
solely responsible for confirming data accuracy
when necessary. Source data are from
Bernalillo County and the City of Albuquerque.
For current information visit www.bernco.gov

P-8-Z

RECEIVED
APR 13 2007
HYDROLOGY SECTION

CITY OF ALBUQUERQUE



October 5, 2009

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: APS Atrisco Heritage Academy High School Temporary Offsite Pond
Grading and Drainage Plan**

Engineer's Stamp dated 4-28-09 (P09/D001A)

Engineer's Certification date 9-28-09

Dear Mr. Means,

PO Box 1293

Thank you for submitting a Certification for our files.

Albuquerque

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

NM 87103

www.cabq.gov

C: file

2028.889.1
2005.180.4

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: APS ATRISCO HERITAGE ACADEMY HIGH SCHOOL OFFSITE POND ZONE MAP: P-9/DOOL A
DRB#: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: A PORTION OF TRACT RR-3-A, WESTLAND SOUTH (2005C-365)
CITY ADDRESS: 10800 Dennis Chavez SW (School Site)

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Public Schools (School Site) CONTACT: Roldan Pasion
ADDRESS: 915 Oak Street SE PHONE: 848-8871
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184
ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Albuquerque Asphalt CONTACT: Owner
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

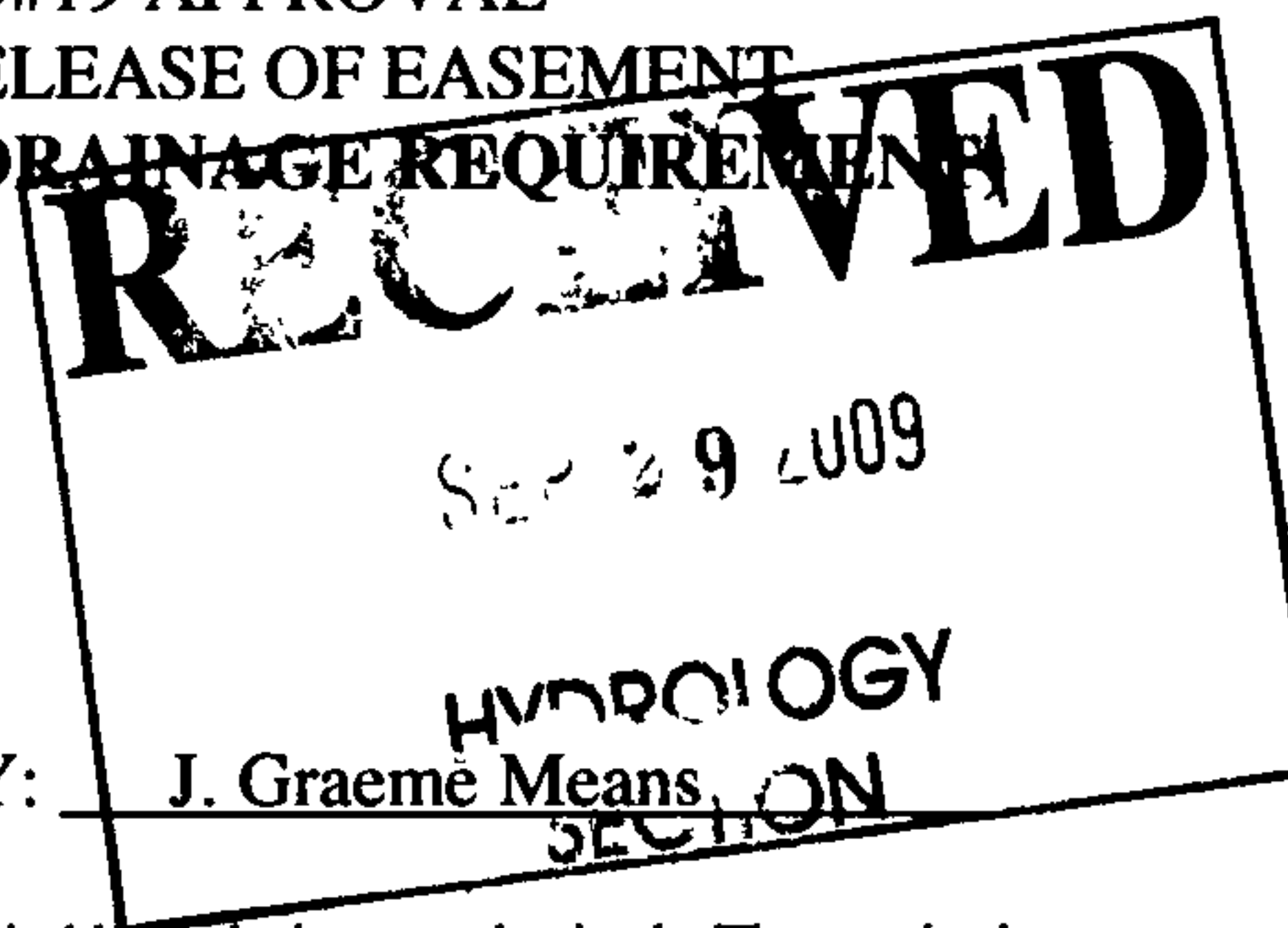
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ OTHER SO#19 APPROVAL
____ OTHER RELEASE OF EASEMENT
☒ OTHER (DRAINAGE REQUIREMENT)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 09/29/2009

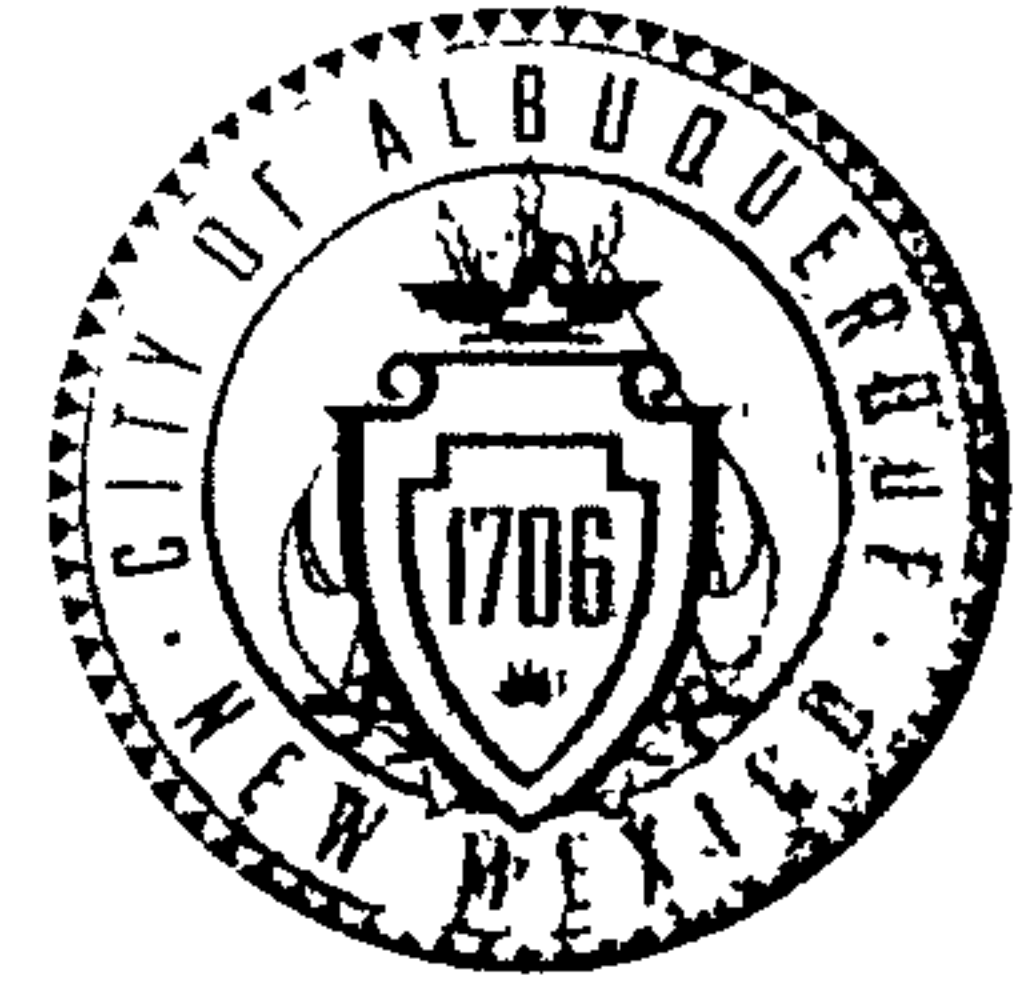
BY: J. Graeme Means



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CITY OF ALBUQUERQUE



May 13, 2009

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: APS Atrisco Heritage Academy High School Temporary Offsite Pond
Grading and Drainage Plan**

Engineer's Stamp dated 4-28-09 (P09/D001A)

Dear Mr. Means,

PO Box 1293

Based upon the information provided in your submittal received 4-29-09, the above referenced plan is approved for Grading Permit.

Albuquerque

Upon completion of the project, please provide an as-built plan for our files.

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

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SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Not yet Selected CONTACT: Owner
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT
☒ **DRAINAGE PLAN 1" SUBMITTAL**
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL G & D PLAN
☒ **GRADING PLAN**
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERT (HYDROLOGY)
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT
 _____ ENGINEER'S CERT (TCL)
 _____ ENGINEER'S CERT (DRB SITE PLAN)
 _____ OTHER

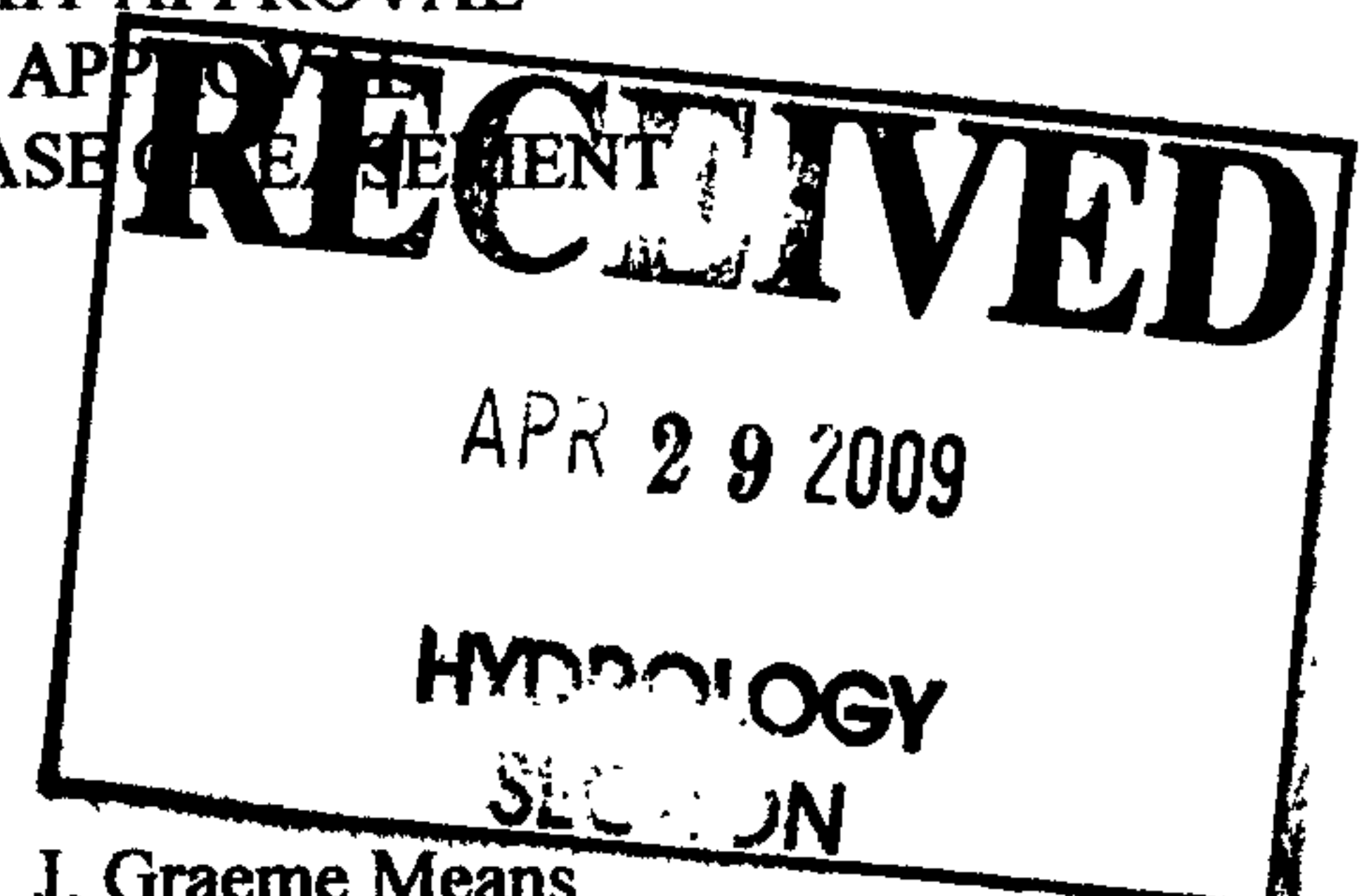
CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA/FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
 _____ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY
☒ **GRADING PERMIT APPROVAL**
 _____ PAVING PERMIT APPROVAL
 _____ OTHER SO#19 APPROVAL
 _____ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
 _____ NO
☒ COPY PROVIDED

DATE SUBMITTED: 04/28/2009 BY: J. Graeme Means



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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SUPPLEMENTAL AGREEMENT AND TERMS
TO JUNE 15, 2007 LETTER AGREEMENT FOR RECIPROCAL TEMPORARY LICENSE

1. **Recital.** Albuquerque Rio Bravo Partners, LLC ("Property Owner") is the owner of certain real property described as:

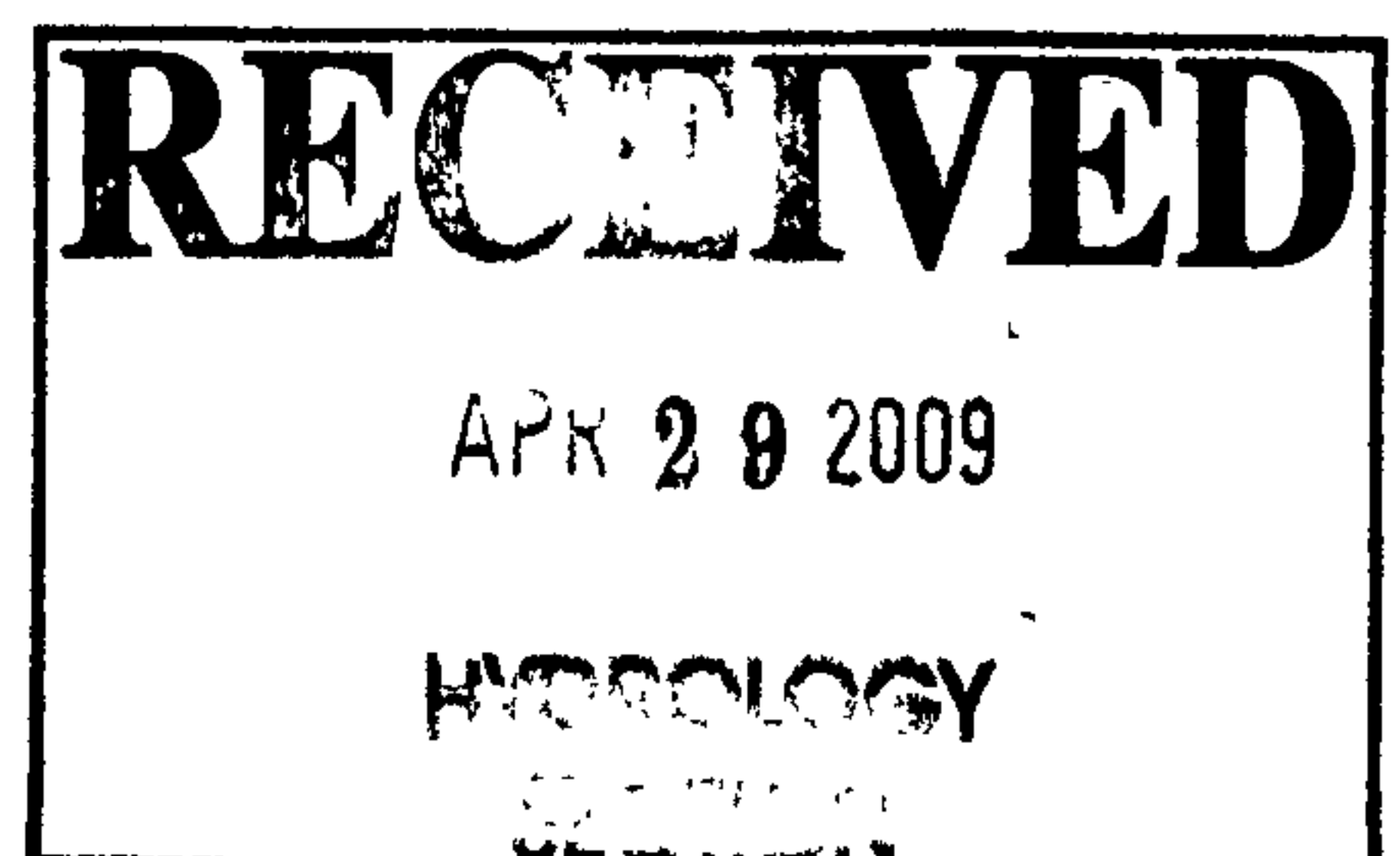
Tract RR-3-A, Westland South, pcr plat filed 11/14/2005 in the records of Bernalillo County, New Mexico at Book 2005C, Page 365 (the "Property").

To allow for prudent interim drainage management until such time as Property Owner constructs the storm drain stub from proposed Ceja Vista development or similar downstream improvement that will receive runoff from the APS Southwest High School, APS wishes to enter onto the property for the purpose of constructing and maintain certain temporary drainage facilities ("Drainage Facility") on the Property, and the parties wish to expand their prior Reciprocal Temporary License Agreement to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facilities.** APS shall construct a temporary Drainage Facility within the Property at its sole expense in accordance with plans and specifications approved by the City Hydrologist.

The Drainage Facility is generally shown by the attached Supplemental Exhibit.

3. **Maintenance of Facility.** APS will maintain the Drainage Facility at its sole expense.
4. **Demand for Maintenance or Repair.** The Property Owner may send written notice ("Notice") to the APS requiring the APS to maintain or repair the Drainage Facility within thirty (30) days ("Deadline") of receipt of the Notice, and APS will comply promptly with the requirements of the Notice. APS will perform all required work at its sole expense.
5. **Release of Agreement.** This Agreement may be released by mutual agreement of both parties if the Drainage Facility is no longer required as determined by the City Hydrologist.
6. **Term.** This Agreement shall continue until released pursuant to Section 5 above.
7. **Binding on Owner's Property.** The obligations set forth herein shall be binding on Property Owner, its heirs, personal representatives, assigns and successors and on Property Owner's Property and shall constitute covenants running with the Property Owner's Property until released by mutual agreement of both parties and concurrence by the City Hydrologist.
8. **Changes to Agreement.** Changes to this Agreement are not binding unless made in writing, signed by both parties.
9. **Recordation.** This Temporary Agreement shall not be recorded for public record.



Agreed to and Accepted By:

APS:

By: Martin W. Eckert

Martin W. Eckert

Real Estate Director

Albuquerque Public Schools

Dated: April 24, 2009

PROPERTY OWNER:

By: William Allen

William Allen

—Managing Member

Albuquerque Rio Bravo Partners, LLC

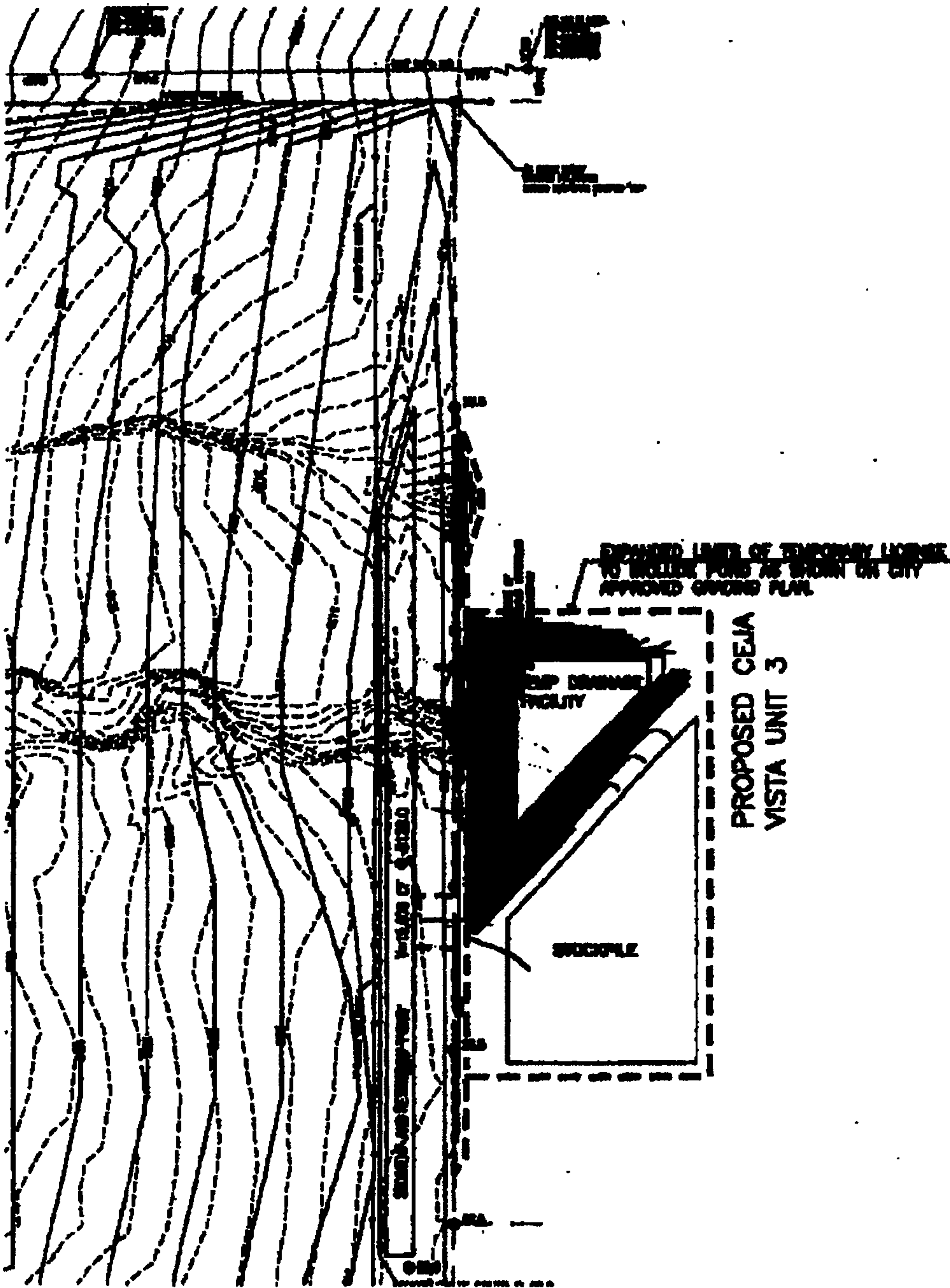
Dated: 4/27/09

(SUPPLEMENTAL TCP EXHIBIT ATTACHED)

SUPPLEMENTAL EXHIBIT

DENNIS CHAVEZ BLVD SW

APS SW HIGH SCHOOL SITE



TCP EXHIBIT

SCALE: 1" = 100'



THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY CONDUCTED BY THIS FIRM DATED MARCH 14, 2008 (UNRECORDED), NMPS 11184. TOPOGRAPHIC INFORMATION IS BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY THIS OFFICE DATED MARCH 14, 2008, NMPS NO.11184.

Handwritten signature
4/27/09

Ahymo Output.txt

100-Year Developed HYDROGRAPH FROM AREA N

RUNOFF VOLUME = .97557 INCHES = .7764 ACRE-FEET
PEAK DISCHARGE RATE = 24.01 CFS AT 1.500 HOURS BASIN AREA = .0149 SQ. MI.

10-year Developed HYDROGRAPH FROM AREA N

RUNOFF VOLUME = .44740 INCHES = .3561 ACRE-FEET
PEAK DISCHARGE RATE = 11.29 CFS AT 1.500 HOURS BASIN AREA = .0149 SQ. MI.

5-year Developed HYDROGRAPH FROM AREA N

RUNOFF VOLUME = .33130 INCHES = .2637 ACRE-FEET
PEAK DISCHARGE RATE = 7.71 CFS AT 1.500 HOURS BASIN AREA = .0149 SQ. MI.

2-Year Developed HYDROGRAPH FROM AREA N

RUNOFF VOLUME = .15296 INCHES = .1217 ACRE-FEET
PEAK DISCHARGE RATE = 2.99 CFS AT 1.500 HOURS BASIN AREA = .0149 SQ. MI.

100-Year Pre-Development HYDROGRAPH FROM AREA B4EAST

RUNOFF VOLUME = .51796 INCHES = 1.8702 ACRE-FEET
PEAK DISCHARGE RATE = 50.78 CFS AT 1.550 HOURS BASIN AREA = .0677 SQ. MI.

10-Year Pre-Development HYDROGRAPH FROM AREA B4EAST

RUNOFF VOLUME = .13565 INCHES = .4898 ACRE-FEET
PEAK DISCHARGE RATE = 12.52 CFS AT 1.550 HOURS BASIN AREA = .0677 SQ. MI.

5-Year Pre-Development HYDROGRAPH FROM AREA B4EAST

RUNOFF VOLUME = .06849 INCHES = .2473 ACRE-FEET
PEAK DISCHARGE RATE = 5.80 CFS AT 1.550 HOURS BASIN AREA = .0677 SQ. MI.

2-Year Pre-Development HYDROGRAPH FROM AREA B4EAST

RUNOFF VOLUME = .01839 INCHES = .0664 ACRE-FEET
PEAK DISCHARGE RATE = 1.28 CFS AT 1.550 HOURS BASIN AREA = .0677 SQ. MI.