

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 23, 2019

Scott Eddings, PE  
Huitt-Zollers Inc.  
6561 Americas Parkway NE  
Albuquerque, NM 87110

**RE: Ceja Vista Apartment Complex Phase II**  
**9902 Ceja Vista Rd SW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 10/10/19**  
**Hydrology File: P09D002G**

Dear Mr. Eddings:

PO Box 1293

Based upon the information provided in your resubmittal received 10/22/2019, the Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

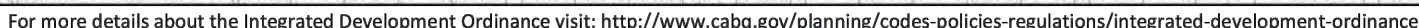
Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





\*Grate Capacities do not account for curb opening inflow. Therefore, inlet capacities are the same for Type C and Type D inlets.



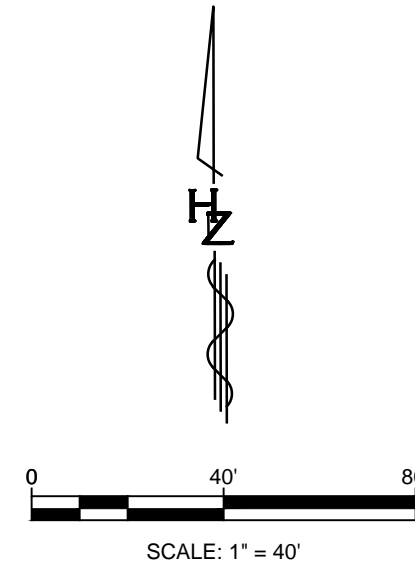
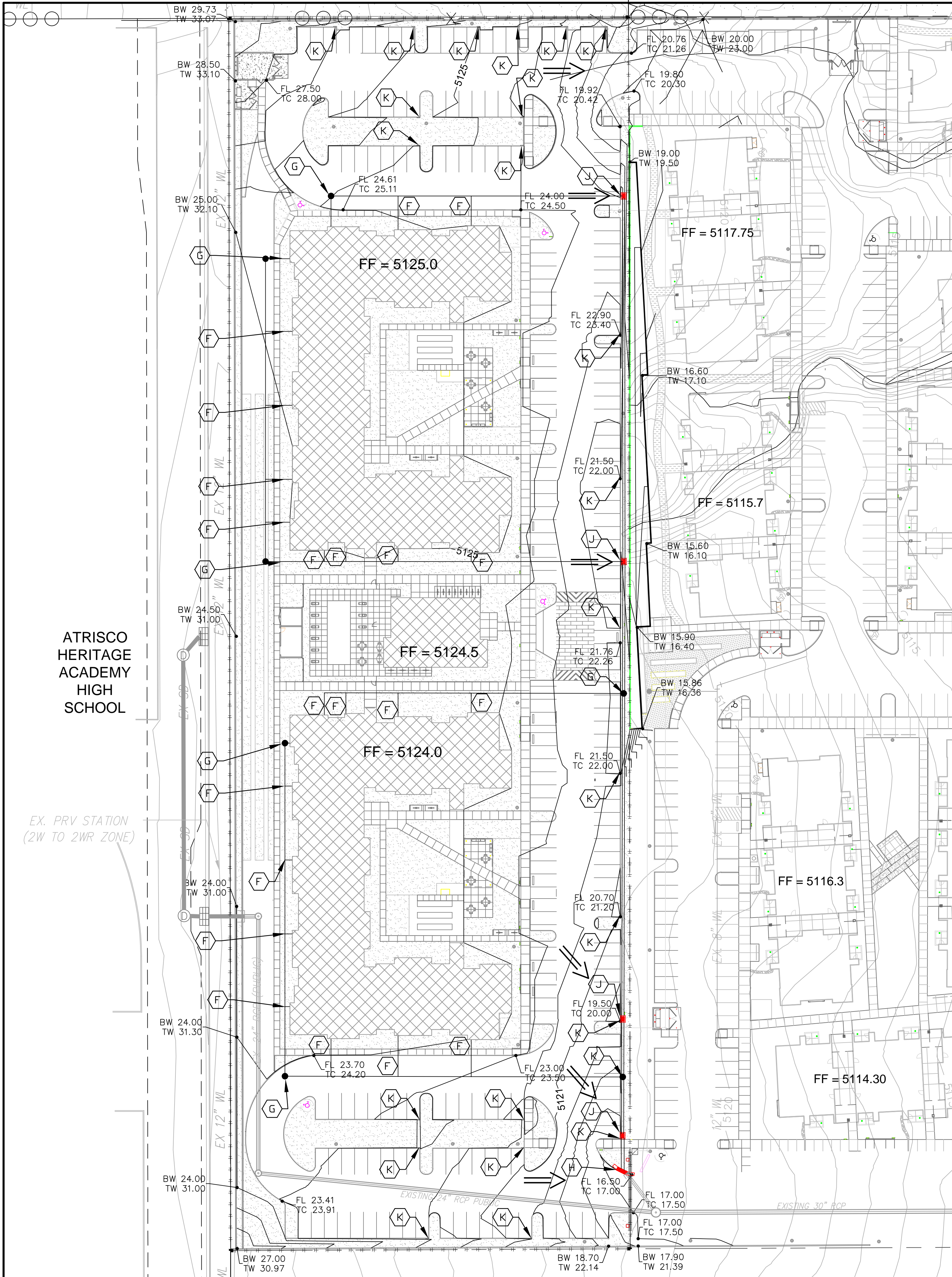
Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No. P-09-Z	Sheet	SDP 3.1	

[illegible]

Professional Engineer Seal for the State of California, No. 12856, signed by J. L. [Signature] and dated 6/10/10.



Plotted: 10/20/19 5:14:02 PM, By: Villa, Nina  
H:\projects\CEJA\10 CAD & BIM\10 - AutoCAD\CEJA VISTA DRB.dwg  
Last Saved: 10/20/2019 5:00:08 PM, n/villa



### LEGEND

- DISCHARGE LOCATION
- FLOW DIRECTION
- LIMITS OF DISTURBANCE
- HIGH POINT

### KEYED NOTES

- (F) INSTALL 1 - 12" x 6" HDPE TEE WITH SINGLE CLEANOUT
- (G) INSTALL 4' SD MANHOLE PER NMAPWA STD. DWG. 2101
- (H) INSTALL TRIPLE GRATE TYPE C STORM INLET PER NMAPWA STD. DWG. 2205
- (J) INSTALL DOUBLE GRATE TYPE D STORM INLET PER NMAPWA STD. DWG. 2206
- (K) INSTALL 2' WIDE CURB OPENING

For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

**IDO Zone Atlas**  
May 2018

**AGIS**  
Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

**Zone Atlas Page: P-09-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

### EROSION SEDIMENT CONTROL PLAN

SHALL BE SUBMITTED UNDER SEPARATE COVER

### GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

Designed By:

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Rio Rancho  
333 Rio Rancho Dr. NE, Suite 101  
Rio Rancho, New Mexico 87124  
Phone (505) 892-5141 Fax (505) 892-3259

DBG PROPERTIES, LLC			
TITLE: CEJA VISTA APARTMENT COMPLEX PHASE II GRADING PLAN			
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
Last Update			
City Project No.	Zone Map No. P-09-Z	Sheet	SDP 3.2

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AGS BRASS CAP STAMPED "ACS BN 4-19"	DATE	FIELD NOTES	BY		
INSPECTOR'S DATE	DATE	FROM THE INTERSECTION OF DENNIS CHAVEZ BLVD. AND COORS BLVD. SW. TRAVEL WEST ON DENNIS CHAVEZ BLVD. 1.8 MILES TO THE BENCHMARK ON THE RIGHT. THE CAP IS ON THE SOUTH TOP OF A CONCRETE CHANNEL	DATE	NO.			
VERIFICATION BY	DATE						
DATE	DATE						
MICRO-FILM INFORMATION		RECORDED BY		REVISIONS		DESIGNED BY:	DATE:
						DRAWN BY:	DATE:
						DWG NAME:	PROJ #:
						CHECKED BY:	DATE: