

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 17, 2023

Ronald A. Witherspoon, R.A
Dekker/ Perich/ Sabatini
7601 Jefferson NE
Albuquerque, NM 87109

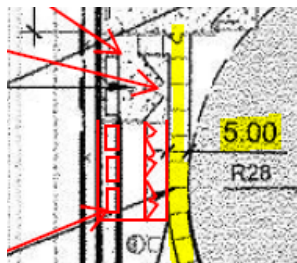
Re: Ceja Vista Apartments/ PHASE 1
10001 Ceja Vista Rd. SW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-25-19 (P09-D002G)
Certification dated 05-04-23

Dear Mr. Witherspoon,

Based upon the information provided in your submittal received 05-11-23, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Keynote 4: Per site visit pedestrian pathway from the north side Trail, is missing. And pedestrian gate is missing too.
- Per site visit, the width of the pathway at the west side of the Trash Enclosure is 3.5 ft. But the Approved site plan shows 5 ft. wide pathway. Please provide 5 ft. wide path way.



- Pathway striping at the east side of the Community Building is missing.
- Please install the Vanpool parking sign.
- Van accessible aisles should be 8ft wide.



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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Once construction is complete resubmit

1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicant's letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services
\\ma via: email
C: CO Clerk, File

www.cabq.gov

May 4th, 2023



Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: Ceja Vista
10001 Ceja Vista Road SW
Zone: R2
Submittal: TCL for Final C.O. of Phase 1

To Whom It May Concern:

I, Ron Witherspoon, NMRA no.2502 of the firm Dekker/Perich/Sabatini, hereby certify that the portions of the site within the current phase of construction are in substantial compliance and in accordance with the design intent of the approved Site Development Plan for Building Permit dated 11/25/2019.

Victoria Crook and Brett Frauenglass with Dekker/Perich/Sabatini visited the project site on my behalf on 04/25/2023 to verify construction was in accordance with the attached Site Development Plan. The following items are noted to differ from the approved site development plan:

- Fire access gate was omitted during construction. Knox Box no longer required at this location.
- Pedestrian gate is on order and will be installed upon its arrival.
- Walkway connection to Dennis Chaves Blvd. will be installed following the installation of the pedestrian gate.
- ADA access route was revised and red lined on plan.
- 2 sidewalk ramps were omitted per changes in the ADA access route.
- Block wall at Trash Compactor is in progress. It is currently at 6'-8" and the final height is 9'-4".
- Gates at Trash Compactor and Enclosure are on order.
- Trash Enclosure was revised to accommodate 5 trash bins from 2 bins. Changes have been approved by Solid Waste and COA.
- Pool and outdoor showers were omitted during construction. Artificial turf and a shade structure were installed in place of the pool.
- Fence around opens space has been revised but is not yet installed.
- Building mounted lights are not yet installed.
- Van Pool Parking signage is missing but will be ordered and installed.
- Speed table and stamped concrete were omitted during construction. Speed bumps will be installed at a later date.

This certification is submitted in support of a request for Final Certificate of Occupancy for Phase 1 of the project as shown on the attached TCL1 plan.

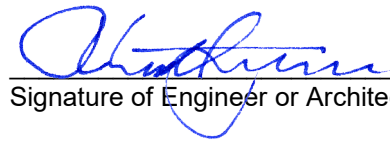
The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact Victoria Crook at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

ENGINEER'S OR ARCHITECT'S STAMP


Signature of Engineer or Architect

Ron Witherspoon, AIA
Principal





DRAWN BY	AG, RM
REVIEWED BY	RAW, JM
DATE	11/25/2019
PROJECT NO.	19-0019
DRAWING NAME	

SITE PLAN
FOR BUILDING
PERMIT

PROJECT NO.	2019-002770(PR-2019-001345)
APPLICATION NO.	SI - 2019-00279 SITE PLAN
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Dec 9, 2019 DATE:
ABCWUA	12/4/19 DATE:
PARKS & RECREATION DEPARTMENT	12-4-19 DATE:
CITY ENGINEER/HYDROLOGY	12/4/19 DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
Signature on attached sheet-Jolene Wolfley	
SOLID WASTE MANAGEMENT	DATE:
May 1, 2020	
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
12.4.17	
CODE ENFORCEMENT	DATE:

LEGEND

	LANDSCAPE AREA
	STABILIZED CRUSHER FINES
	REINFORCED CONCRETE PAVING
	HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS
	BASE COURSE
	FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
	PROPERTY LINE
	FIRE HYDRANT
	POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
	FIRE DEPARTMENT CONNECTION
	SITE LIGHTING
	RAISED PLANTING BEDS
	CONCRETE BENCH
	BIKE RACK
	OUTDOOR FURNITURE
	SIDEWALK RAMP (ARROW POINTS DOWN)
	TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
	POOL PERIMETER FENCE
	PRIVATE SIDEWALK EASEMENT PER DOC #2019023680 DATED 03/20/19
	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
	COMPACT PARKING; REF: D5/SDP1.3

EB LEFT TURN LANE AT 98TH STREET, WB RIGHT TURN LANE AT 98TH STREET, 98TH STREET EXTENSION AND CEJA VISTA ROAD CONSTRUCTION INCLUDED IN OFFSITE WORK ORDER(NMDOT) (UNIT 1) OF EXISTING INFRASTRUCTURE LIST DRB PROJECT # 1004428 DATED 05/09/2018

OPEN SPACE CALCULATIONS

TABLE 5-1-1 / R-ML ZONING
USABLE OPEN SPACE
1 BD: 200 SF PER UNIT
200SF x 112 UNITS = 22,400 SF
2 BD: 250 SF PER UNIT
250 SF x 44 UNITS = 11,000 SF
TOTAL
33,400 SF REQUIRED OPEN SPACE
PROVIDED OPEN SPACE: 73,603 SF

NORTH
A1
SITE PLAN
1" = 50'-0"

0 50' 100'

CEJA VISTA ROAD SW

WALKWAY WILL BE INSTALLED FOLLOWING PEDESTRIAN GATE INSTALLATION

PEDESTRIAN GATE IS ON ORDER AN WILL BE INSTALLED UPON ITS ARRIVAL

FIRE ACCESS GATE WAS OMITTED.

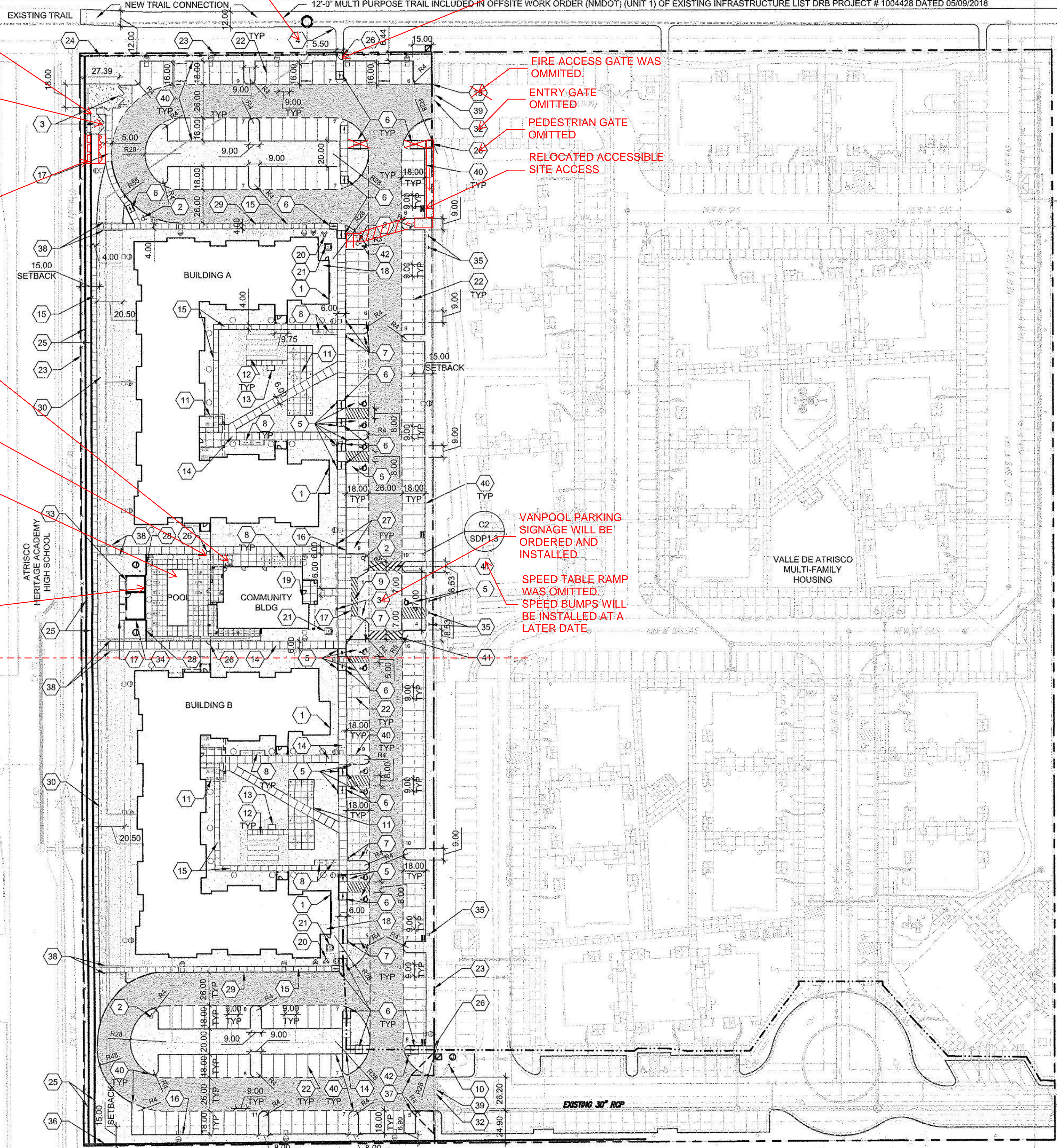
ENTRY GATE OMITTED

PEDESTRIAN GATE OMITTED

RELOCATED ACCESSIBLE SITE ACCESS

VANPOOL PARKING SIGNAGE WILL BE ORDERED AND INSTALLED

SPEED TABLE RAMP WAS OMITTED. SPEED BUMPS WILL BE INSTALLED AT A LATER DATE.



GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
- H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- I. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES

1. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC
2. FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL
3. TRASH COMPACTOR AND RECYCLING ENCLOSURE WITH GATE, REF: A2/SDP1.3, A3/SDP1.3 & A4/SDP1.3
4. WALKWAY CONNECTION TO DENNIS CHAVEZ BLVD. 12'-0" TRAIL, A PAVED MULTI-USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMDOT ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION, WITH GATE REF: B2/SDP1.2
5. ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
6. ACCESSIBLE RAMP, REF: C1/SDP1.2, C2/SDP1.2, C3/SDP1.2, C4/SDP1.2 & C5/SDP1.2
7. MOTORCYCLE PARKING; REF: B3/ASP1.2
8. BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: A1/SDP1.3
9. ACCESSIBLE AISLE WITH STRIPING
10. MONUMENT SIGN PER IDO REQUIREMENTS, REF: C4/SDP1.3
11. SHADE STRUCTURE
12. RAISED GARDEN BEDS
13. POTTING STATION TABLE
14. 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B5/SDP1.2
15. 4" WIDE SIDEWALK CONCRETE, REF: B5/SDP1.2
16. CONCRETE CURB AND GUTTER, REF: A2/SDP1.2
17. FLUSH CONCRETE SIDEWALK, REF: D4/SDP1.2
18. FIRE RISER ROOM
19. FIRE ACCESS GATE & KNOX BOX (LOCATE PER FIRE ONE PLAN)
20. FIRE DEPARTMENT CONNECTION (FDC) FREE STANDING
21. ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
22. PARKING STRIPING 4" WIDE, COLOR WHITE
23. PROPERTY LINE
24. PERIMETER (MASONRY) WALL, TO MATCH ADJACENT, REF: B1/SDP1.2
25. WEST MSE RETAINING WALL
26. PEDESTRIAN GATE
27. DEDICATED RESERVED CARPOOL PARKING WITH SIGNAGE, REF: B3/SDP1.2
28. POOL SCREEN WALL
29. SIDEWALK WITH TURNDOWN EDGE, REF: D3/SDP1.2
30. STABILIZED BASE COURSE DEFINED BY EDGE TRANSITION
31. VANPOOL PARKING WITH SIGNAGE, B3/SDP1.2
32. GATE ENTRY PAD/POST WITH CONTROL ACCESS FOB
33. POOL EQUIPMENT ENCLOSURE
34. MAINTENANCE EQUIPMENT ROOM
35. ELECTRIC VEHICLE CHARGING STATION WITH SIGNAGE; REF: B3/SDP1.2
36. SOUTH PERIMETER WALL
37. CLEAR SIGHT TRIANGLE; LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
38. CONCRETE MOUNTABLE CURB; REF: D5/SDP1.2
39. EXISTING PRIVATE ACCESS EASEMENT (03-15-11,2011C-20) GRANTED PER PLAT 1004428 PR-2018-001345 DATED 08/15/2018
40. CONCRETE HEADER CURB; REF: D2/SDP1.2
41. SPEED TABLE RAMP; REF: B3/SDP1.3 & B2/SDP1.3
42. SPEED LIMIT SIGN; REF: B3/SDP1.2

PROJECT DATA

ZONING:	(RM-L) RESIDENTIAL - MULTI-FAMILY LOW DENSITY ZONE DISTRICT
LEGAL DESCRIPTION:	TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD. SW, BETWEEN 98TH ST. SW & 118TH ST. SW
SITE AREA:	5.423 ACRES
ZONE ATLAS:	P-09-Z
SETBACKS:	FRONT: 15', SIDE: STREET 10', INTERIOR: 5', REAR: 15'
BUILDING HEIGHT:	35'-0" + 10% WAIVER @ 3'-0" = 38'-0"
SPRINKLED:	FULLY SPRINKLED
FIRE FLOW:	4,500 GPM
HYDRANTS REQUIRED:	5 TOTAL
BUILDING OCCUPANCY:	R-2, 156 APARTMENTS
CONSTRUCTION TYPE:	V-A, FULLY SPRINKLED
BUILDING SF:	
BUILDING A	20,777 GSF
FIRST LEVEL	20,296 GSF
SECOND LEVEL	19,912 GSF
THIRD LEVEL	60,985 GSF
TOTAL	
BUILDING B	20,777 GSF
FIRST LEVEL	20,296 GSF
SECOND LEVEL	19,912 GSF
THIRD LEVEL	60,985 GSF
TOTAL	
CLUBHOUSE	3,158 GSF
TOTAL	125,128 GSF

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED: MULTI FAMILY = 1.5 / DU
REQUIRED: 156 UNITS x 1.5 SPACES = 234 SPACES
PROVIDED CARPOOL PARKING: 1 = 4 PARKING CREDIT SPACES
PROVIDED VANPOOL PARKING: 1 = 7 PARKING CREDIT SPACES
PROVIDED ELECTRIC VEHICLE CHARGING STATION: 2% OF 234 = 5 ELECTRIC CHARGING STATIONS CREDIT SPACES / EACH ELECTRIC CHARGING STATION SHALL COUNT AS 2 SPACES. 5 ELECTRIC CHARGING STATIONS X 2 = 5 CREDIT SPACES
REQUIRED: 234 SPACES - 4 CARPOOL CREDIT - 7 VANPOOL CREDIT - 5 ELECTRIC CHARGING STATION CREDIT = 218
TOTAL: 218 SPACES
PROVIDED: 218 PARKING SPACES
25% OF 218 REQUIRED PARKING MAY BE COMPACT
PROVIDED COMPACT PARKING: 3 SPACES @ 9'-0" x 16'-0"
PROVIDED STANDARD PARKING: 215 SPACES @ 9'-0" x 18'-0"
STANDARD ACCESSIBLE SPACES:
REQUIRED: 2 STANDARD SPACES & 8 VAN ACCESSIBLE
PROVIDED: 10 TOTAL SPACES; 8 VAN ACCESSIBLE AND 2 STANDARD
BIKE PARKING: 00.25 PER UNIT
REQUIRED: 40
PROVIDED: 40
20% SECURED LONG TERM STORAGE: 8
EXTERIOR BIKE PARKING: 32
MOTORCYCLE PARKING
REQUIRED AND PROVIDED = 5 SPACES FOR 51-300 TOTAL PARKING SPACES
REQUIRED = 5 SPACES
PROVIDED = 5 SPACES

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT



ENGINEER

PROJECT

CEJA VISTA
10001 CEJA VISTA ROAD SW
ALBUQUERQUE, NEW MEXICO 87121

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

LEGEND

- LANDSCAPE AREA
- STABILIZED CRUSHER FINES
- INTEGRAL COLORED CONCRETE
- REINFORCED CONCRETE PAVING
- HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS
- FIRELANE STRIPING MARKING FIRE ACCESS LANE
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- SITE LIGHTING
- RAISED PLANTING BEDS
- CONCRETE BENCH
- BIKE RACK
- OUTDOOR FURNITURE
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- POOL PERIMETER FENCE

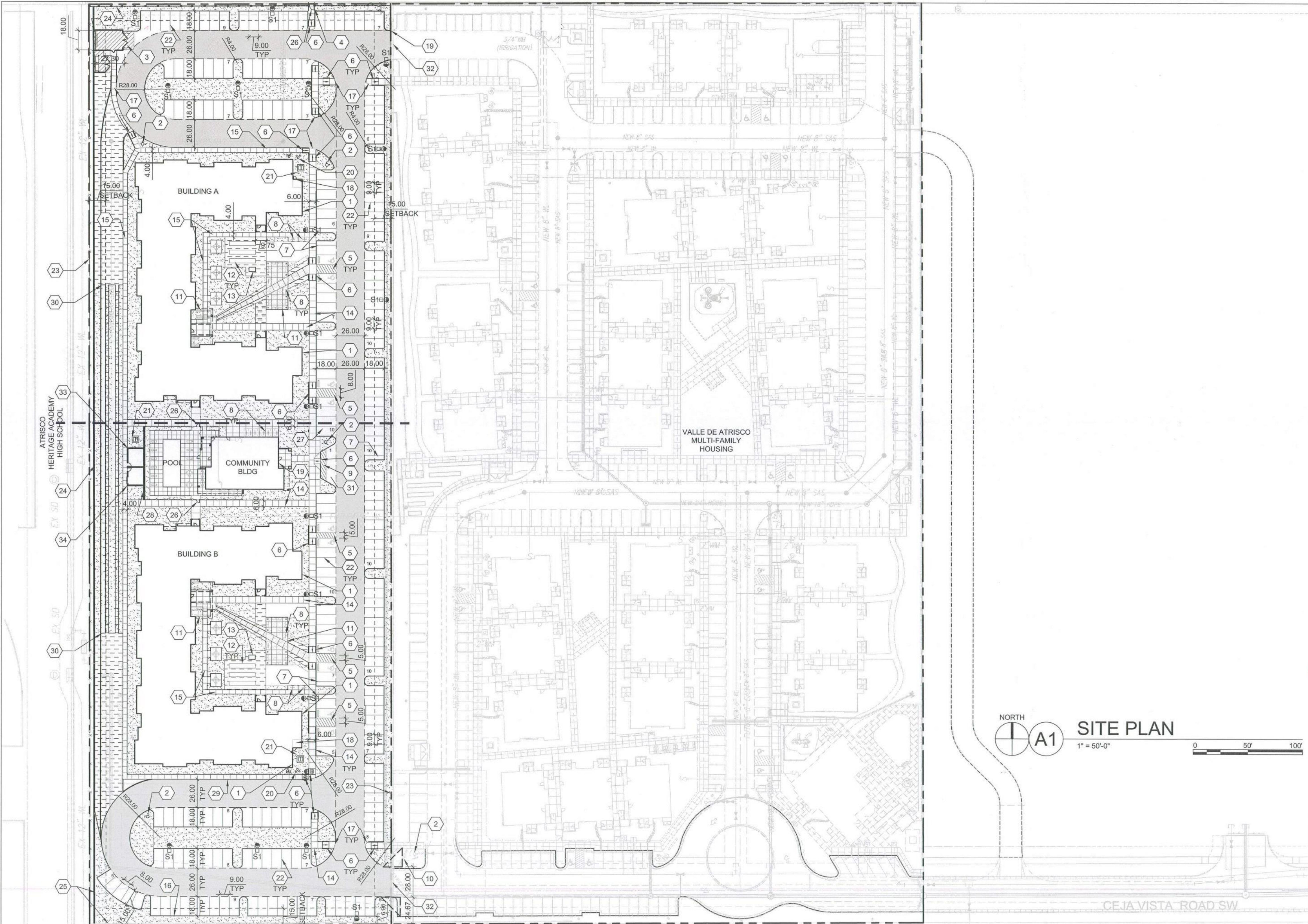
REVISIONS



DRAWN BY	AG, RM
REVIEWED BY	RAW, JM
DATE	08/16/2019
PROJECT NO.	19-0019
DRAWING NAME	SITE PLAN

SHEET NO.

SDP1.1
OF



GENERAL SHEET NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAYEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-B OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
- SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
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SHEET KEYED NOTES

- BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC
- FIRE HYDRANT. PAINT SAFETY ORANGE. SEE CIVIL.
- TRASH COMPACTOR ENCLOSURE (7'-4" MASONRY WALL) WITH GATE. REF: C5/SDP1.2.
- WALKWAY CONNECTION TO DENNIS CHAVEZ BLVD. TRAIL, A PAVED MULTI-USE TRAIL, CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMDOT ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION; REF: D3/SDP1.2.
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2.
- ACCESSIBLE RAMP. REF: A3/SDP1.2, C2/SDP1.2 & C3/SDP1.2.
- MOTORCYCLE PARKING
- BIKE RACK/PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING, REF: D5/SDP1.2.
- ACCESSIBLE AISLE WITH STRIPING
- MONUMENT SIGN PER IDO REQUIREMENTS, REF: D1/SDP1.2 & D2/SDP1.2.
- SHADE STRUCTURE
- RAISED GARDEN BEDS
- POTTING STATION TABLE
- 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS, REF: B5/SDP1.2.
- 4" WIDE SIDEWALK CONCRETE, REF: B5/SDP1.2.
- CONCRETE CURB AND GUTTER, REF: A2/SDP1.2.
- FLUSH CONCRETE SIDEWALK, REF: D4/SDP1.2.
- FIRE RISER ROOM
- FIRE ACCESS GATE & KNOX BOX (LOCATE PER FIRE ONE PLAN)
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNT OR FREE STANDING
- ELECTRICAL TRANSFORMER (ON 6" CONCRETE PAD)
- PARKING STRIPING 4" WIDE, COLOR WHITE
- PROPERTY LINE
- PERIMETER (MASONRY) WALL, TO MATCH ADJACENT, REF: B1/SDP1.2.
- RETAINING WALL
- PEDESTRIAN GATE
- DEDICATED RESERVED CARPOOL PARKING WITH SIGNAGE
- POOL SCREEN WALL
- SIDEWALK WITH TURNDOWN EDGE, REF: D3/SDP1.2.
- STABILIZED BASED COURSE DEFINED BY EDGE TRANSITION
- VANPOOL PARKING
- GATE ENTRY PAD/ POST WITH CONTROL ACCESS FOB
- POOL EQUIPMENT ENCLOSURE
- MAINTENANCE EQUIPMENT ROOM

PROJECT DATA

ZONING:
(RM-L) RESIDENTIAL - MULTI-FAMILY LOW DENSITY ZONE DISTRICT

LEGAL DESCRIPTION:
TRACT RR-3-A-1, LOCATED ON DENNIS CHAVEZ BLVD. SW, BETWEEN 98TH ST. SW & 118TH ST. SW

SITE AREA: 5.423 ACRES
ZONE ATLAS: P-09-Z
SETBACKS: FRONT= 15', SIDE= STREET 10', INTERIOR= 5', REAR= 15'

BUILDING HEIGHT: 35'-0" +10% DEVIATION @ 3'-0" = 38'-0"
SPRINKLED: FULLY SPRINKLED
FIRE FLOW: 4,500 GPM
HYDRANTS REQUIRED: 5 TOTAL
BUILDING OCCUPANCY: R-2, 156 APARTMENTS
CONSTRUCTION TYPE: V-B, FULLY SPRINKLED

BUILDING SF:

BUILDING A	
FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF

BUILDING B

FIRST LEVEL	20,777 GSF
SECOND LEVEL	20,296 GSF
THIRD LEVEL	19,912 GSF
TOTAL	60,985 GSF

CLUBHOUSE 3,158 GSF

TOTAL 125,128 GSF

PARKING CALCULATION: (TABLE 5-5-1)
REQUIRED: MULTI FAMILY = 1.5 / DU
REQUIRED: 156 UNITS x 1.5 SPACES = 234 SPACES
PROVIDED CARPOOL PARKING: 1 = 4 PARKING CREDIT SPACES
PROVIDED VANPOOL PARKING: 1 = 7 PARKING CREDIT SPACES
REQUIRED: 234 SPACES - 4 CARPOOL CREDIT - 7 VANPOOL CREDIT = 223 TOTAL: 223 SPACES
PROVIDED: 223 PARKING SPACES

25% OF 223 REQUIRED PARKING MAY BE COMPACT
PROVIDED COMPACT PARKING: 5 SPACES @ 8'-0" x 15'-0"
PROVIDED STANDARD PARKING: 218 SPACES @ 9'-0" x 18'-0"

STANDARD ACCESSIBLE SPACES:
REQUIRED: 8 STANDARD SPACES & 2 VAN ACCESSIBLE
PROVIDED: 10 SPACES

BIKE PARKING: 00.25 PER UNIT
REQUIRED: 0.25 x 156 = 39
PROVIDED: 40
20% SECURED LONG TERM STORAGE: 8
EXTERIOR BIKE PARKING: 32

MOTORCYCLE PARKING
REQUIRED AND PROVIDED = 5 SPACES FOR 51-300 TOTAL PARKING SPACES
REQUIRED = 5 SPACES
PROVIDED = 5 SPACES

