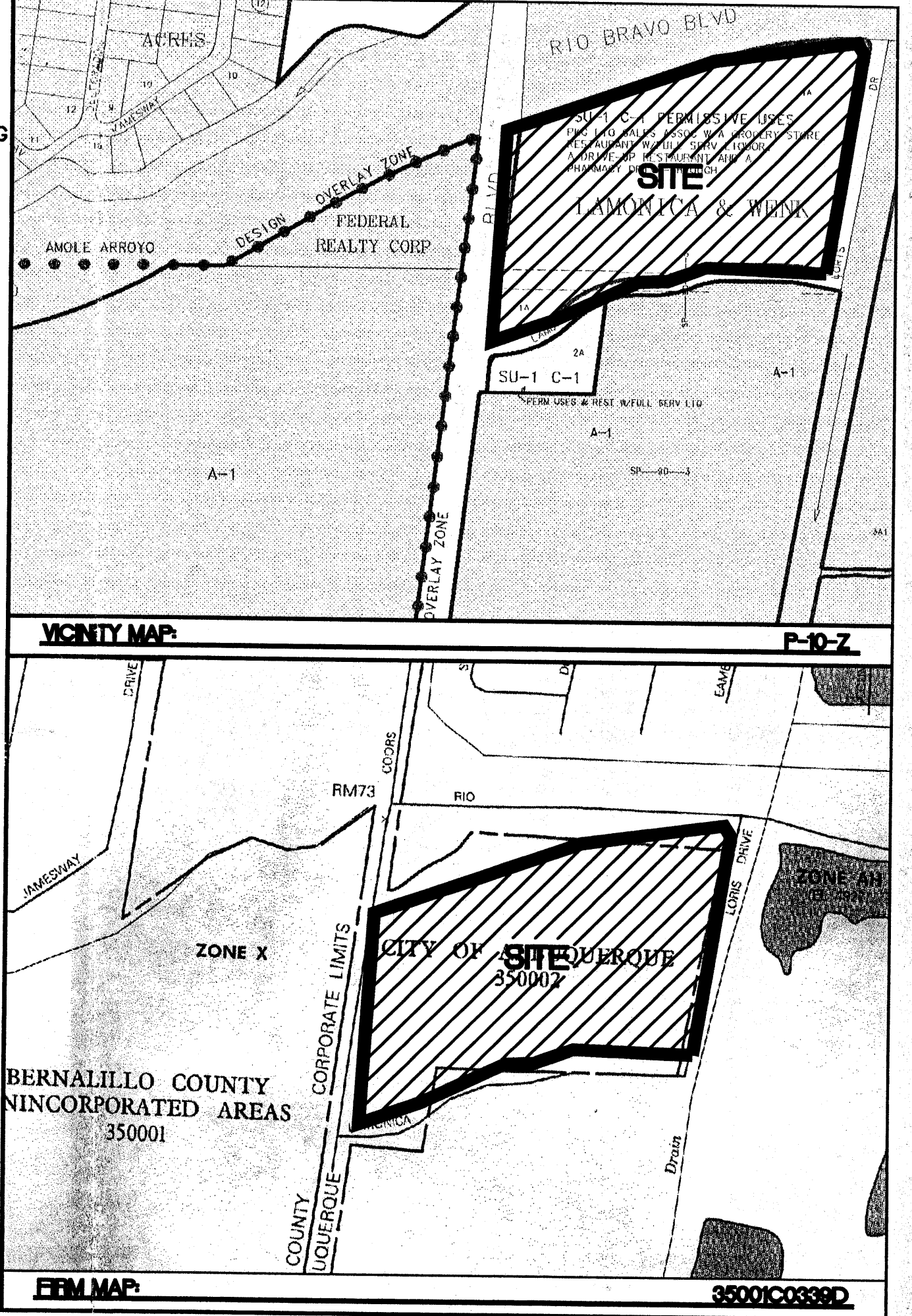


- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

STORM SEWER PIPE INFORMATION

LOCATION	PIPE SIZE	LF	SLOPE
CB-1 TO MAIN LINE	8" PVC	188.55	0.60%
CB-2 TO MH-1	8" PVC	278.12	0.60%
CB-3 TO MH-1	8" PVC	241.22	0.60%
CB-4 TO MAIN LINE	8" PVC	17.93	0.60%
CB-5 TO MAIN LINE	8" PVC	307.81	0.60%
CB-6 TO MAIN LINE	8" PVC	53.39	0.60%
MH-1 TO MH-2	8" PVC	308.98	0.60%
CB-8 TO MH-3	8" PVC	24.77	0.60%
POND 7 TO MH-3	8" PVC	143.55	0.60%
MH-3 TO POND 9	8" PVC	116.90	0.60%
C INLET-1 TO C INLET-2	8" PVC	44.59	0.60%
C INLET-2 TO POND 9	8" PVC	35.09	0.60%
POND 9 TO MAIN LINE	8" PVC	43.00	0.50%
MH-2 TO MH-4	8" PVC	371.16	0.60%

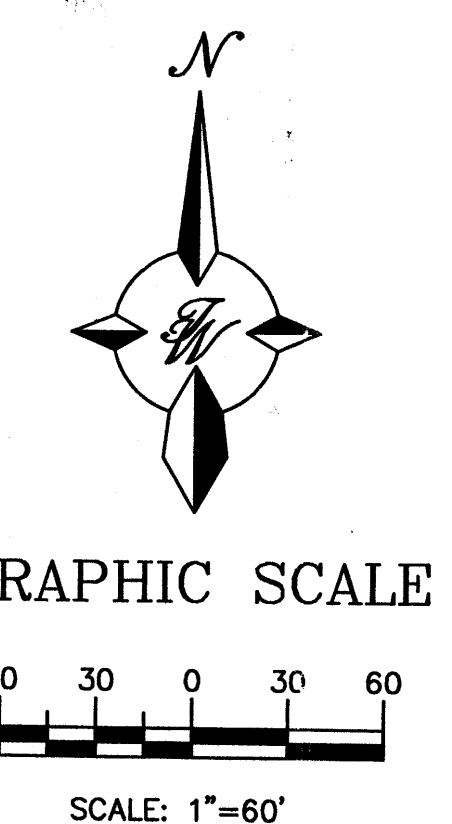


LEGAL DESCRIPTION:
TRACT 1A, LAMONICA AND WENK

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. SEE SHEET 3B FOR ALL DETAILS.

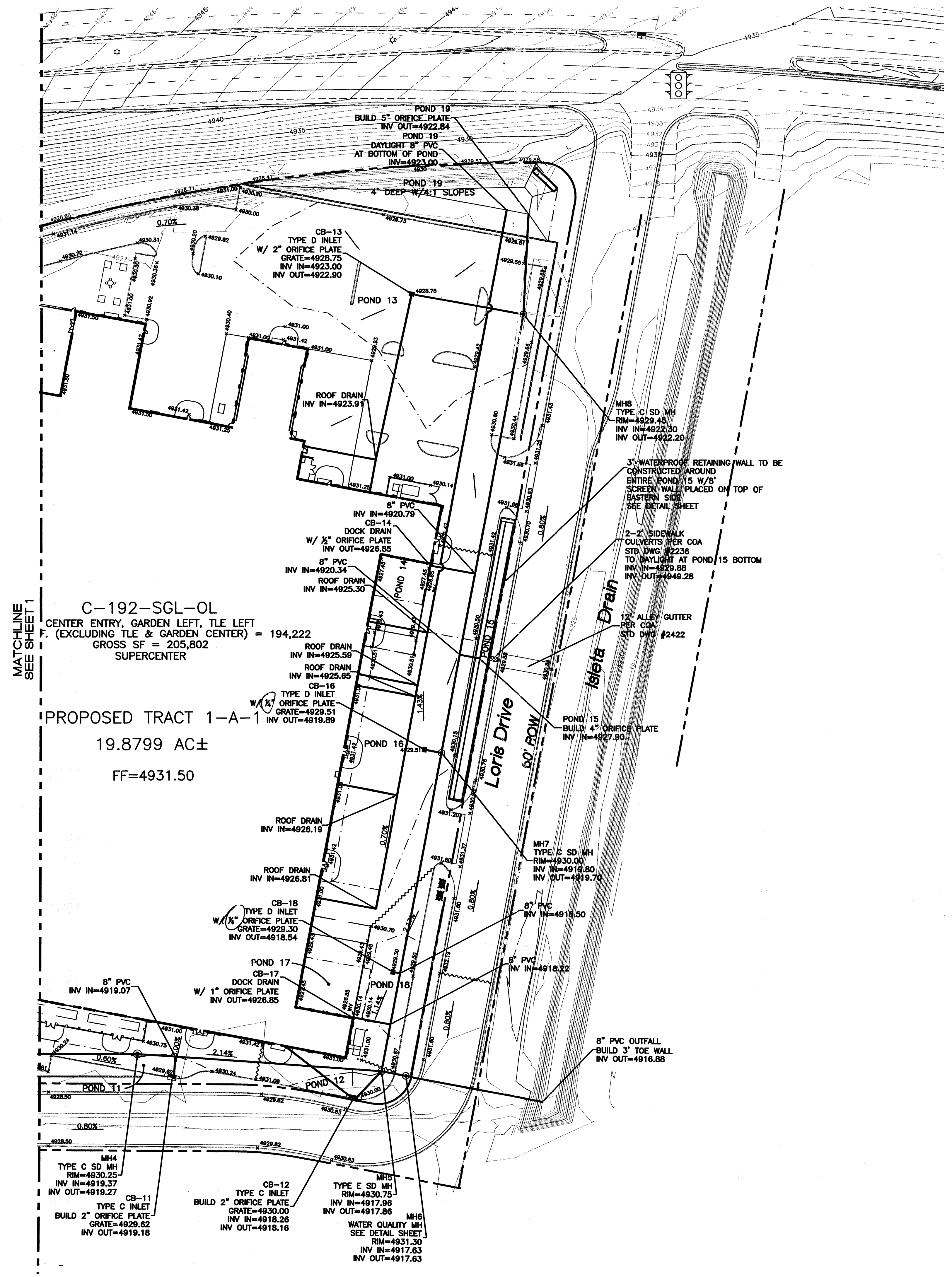
LEGEND

- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- GRADING HIGH POINT
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE SOUTH WAL-MART #5430-00 GRADING AND DRAINAGE PLAN TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY WCKJ DATE 2-25-04 2294GRB-2-17-04X
			SHEET # 4 OF 8 JOB # 220094

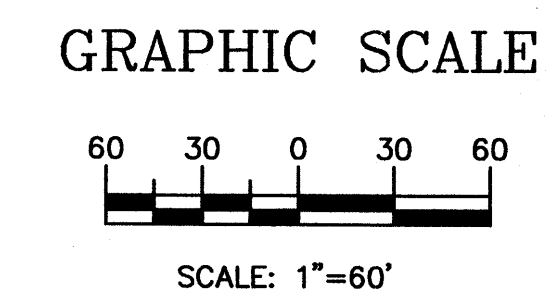
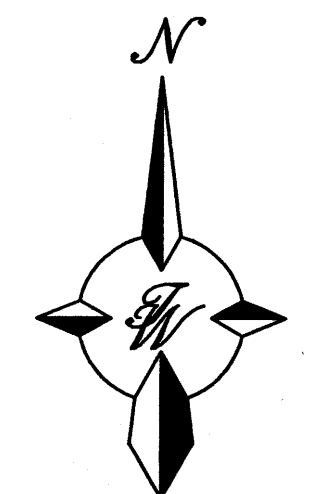
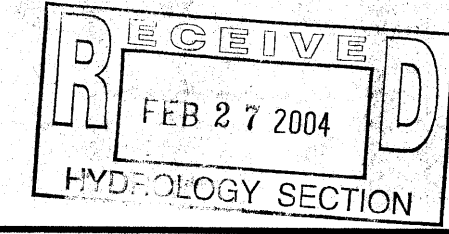


C-192-SGL-OL
 CENTER ENTRY, GARDEN LEFT, TLE LEFT
 F. (EXCLUDING TLE & GARDEN CENTER) = 194,222
 GROSS SF = 205,802
 SUPERCENTER

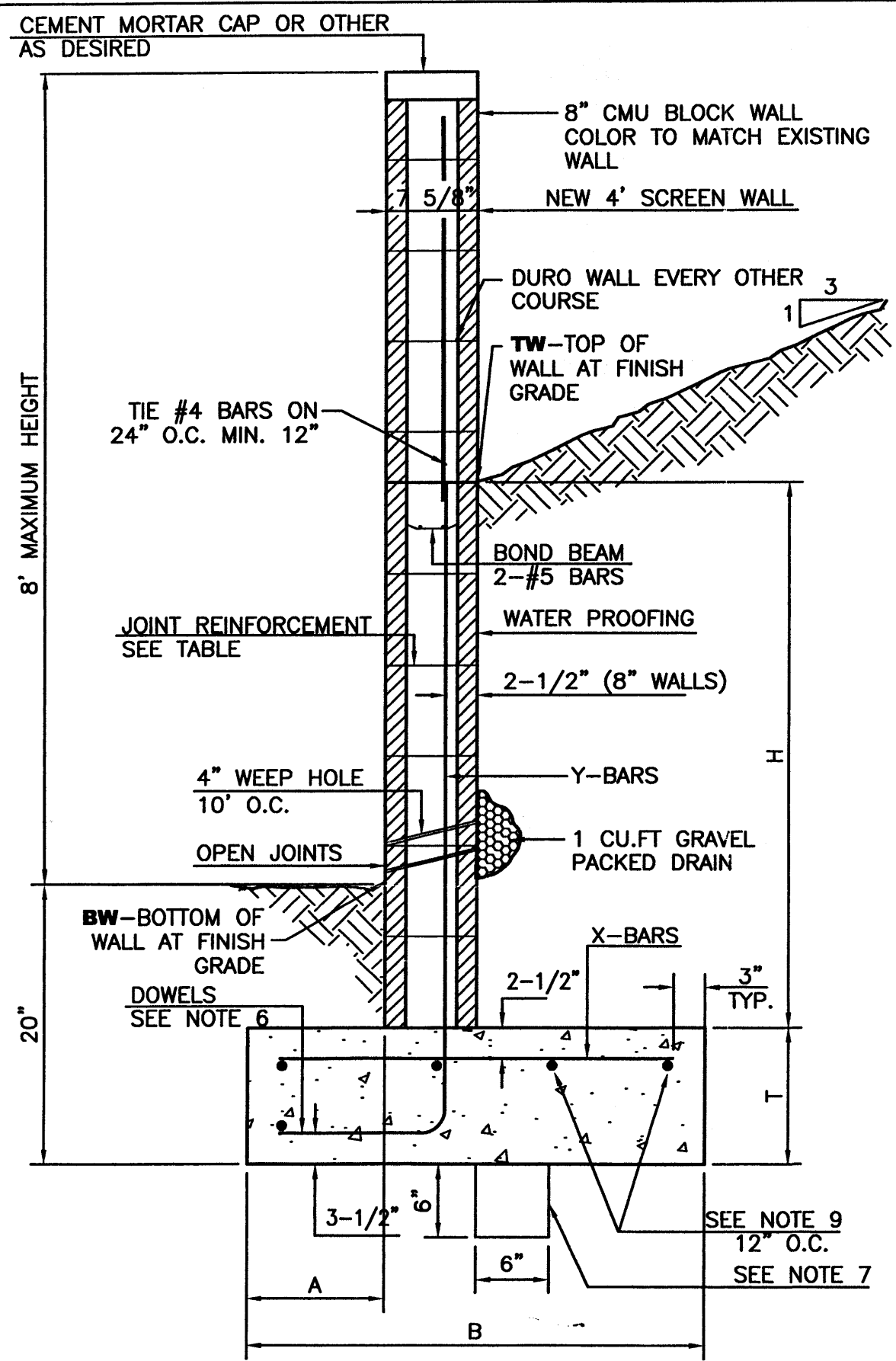
PROPOSED TRACT 1-A-1
 19.8799 AC±
 FF=4931.50

STORM SEWER PIPE INFORMATION

LOCATION	PIPE SIZE	LF	SLOPE
CB-11 TO MAIN LINE	8" PVC	17.41	0.60%
CB-12 TO MH-5	8" PVC	33.68	0.60%
CB-3 TO MH-1	8" PVC	241.22	0.60%
MH-4 TO MH-5	8" PVC	217.82	0.60%
MH-5 TO MH-6	8" PVC	22.00	0.60%
MH-6 TO OUTFALL	8" PVC	124.13	0.60%
MH-7 TO MH-5	8" PVC	288.56	0.60%
MH-8 TO MH-7	8" PVC	399.19	0.60%
CB-13 TO MH-8	8" PVC	101.22	0.60%
CB-14 TO MAIN LINE	8" PVC	40.53	15.12%
CB-16 TO MAIN LINE	8" PVC	15.32	0.60%
CB-17 TO MAIN LINE	8" PVC	33.86	25.49%
CB-18 TO MAIN LINE	8" PVC	6.49	0.60%
POND 15 TO MAIN LINE	8" PVC	17.48	43.25%
ROOF DRAIN TO POND 19	8" PVC	307.04	0.60%
POND 19 TO MH-8	8" PVC	89.79	0.60%



NO.		DATE		REMARKS	BY
REVISIONS					
ENGINEER'S SEAL		ALBUQUERQUE SOUTH WAL-MART #5430-00		DRAWN BY WCWJ	
		GRADING AND DRAINAGE PLAN		DATE 2-26-04	
		TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2294GRB-2-17-04X	
				SHEET # 5 OF 8	
				JOB # 220094	

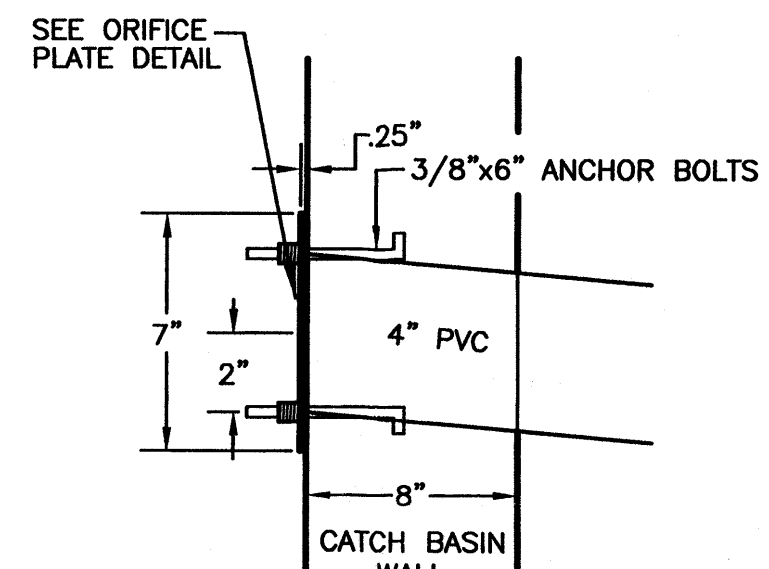


8 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

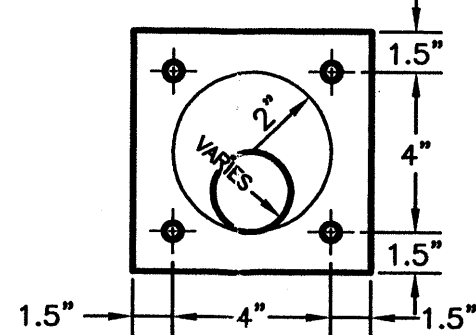
GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #5 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
- #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
- RETAINING WALL TO WATERPROOFED.

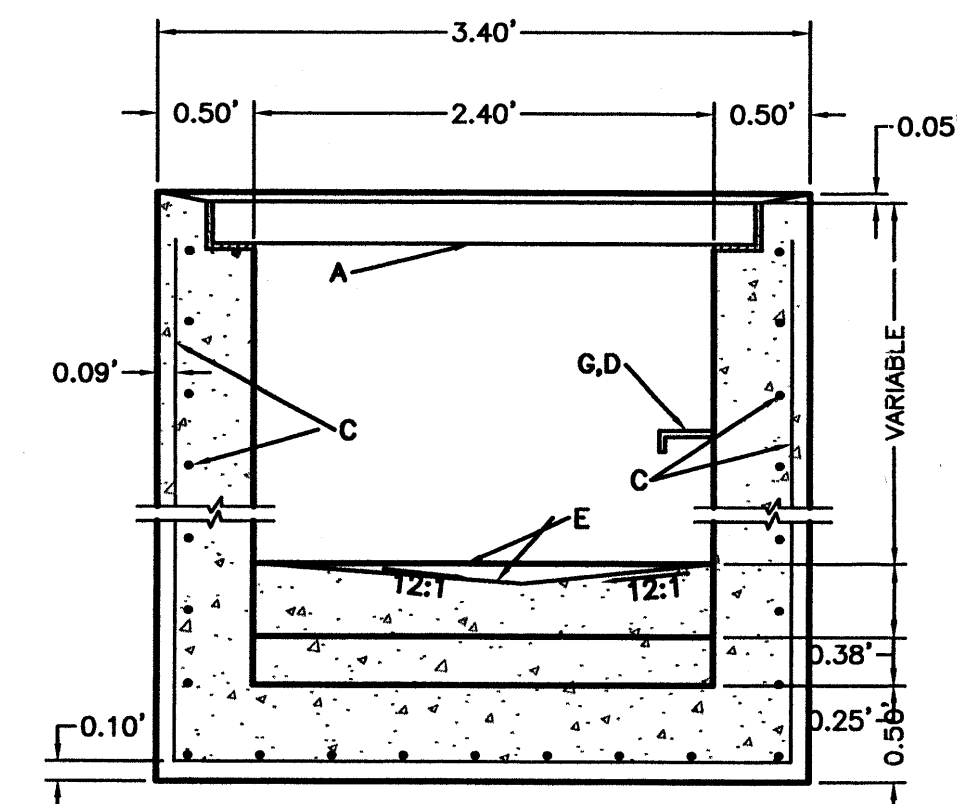
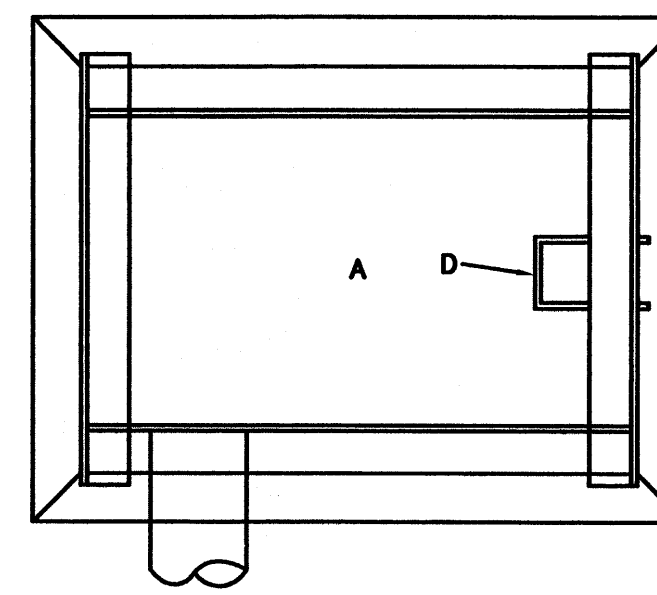


DETAIL A

TO BE INSTALLED @ THE OUTFLOW OF THE CATCH BASINS (SEE THIS PLAN FOR ORIFICE PLATE SIZES)



TYP. ORIFICE PLATE DETAIL NTS



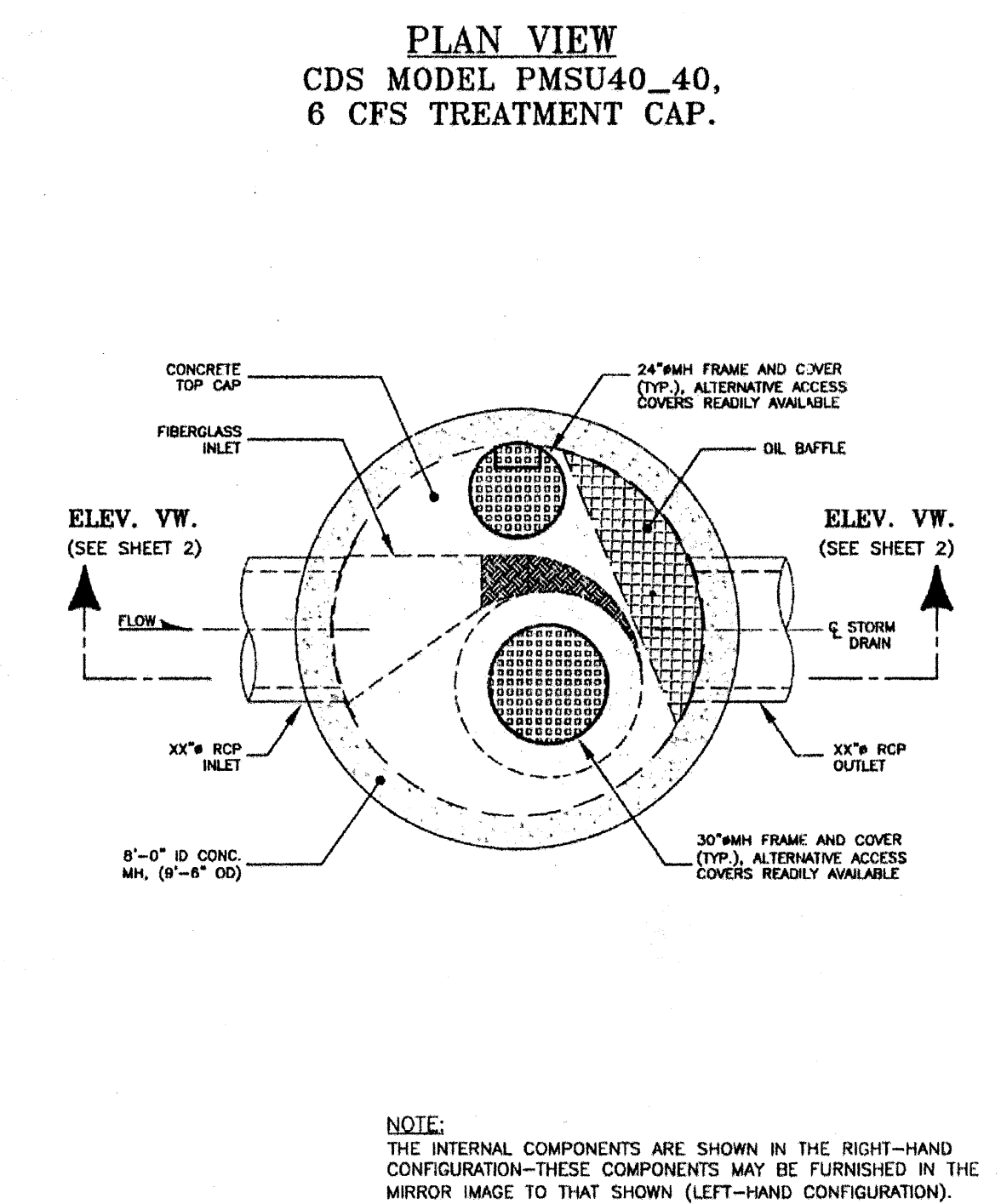
D-INLET DETAIL NTS

GENERAL NOTES:

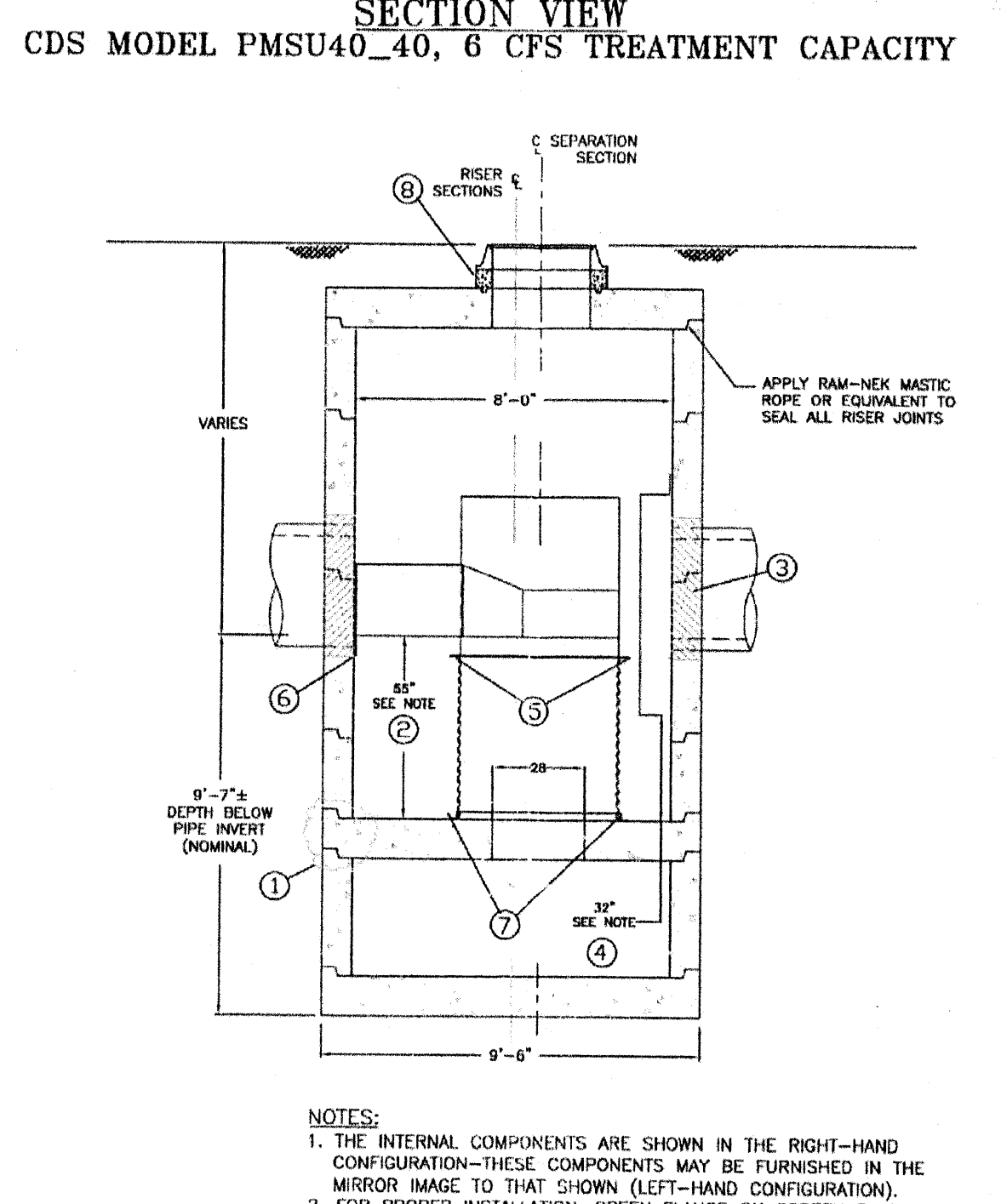
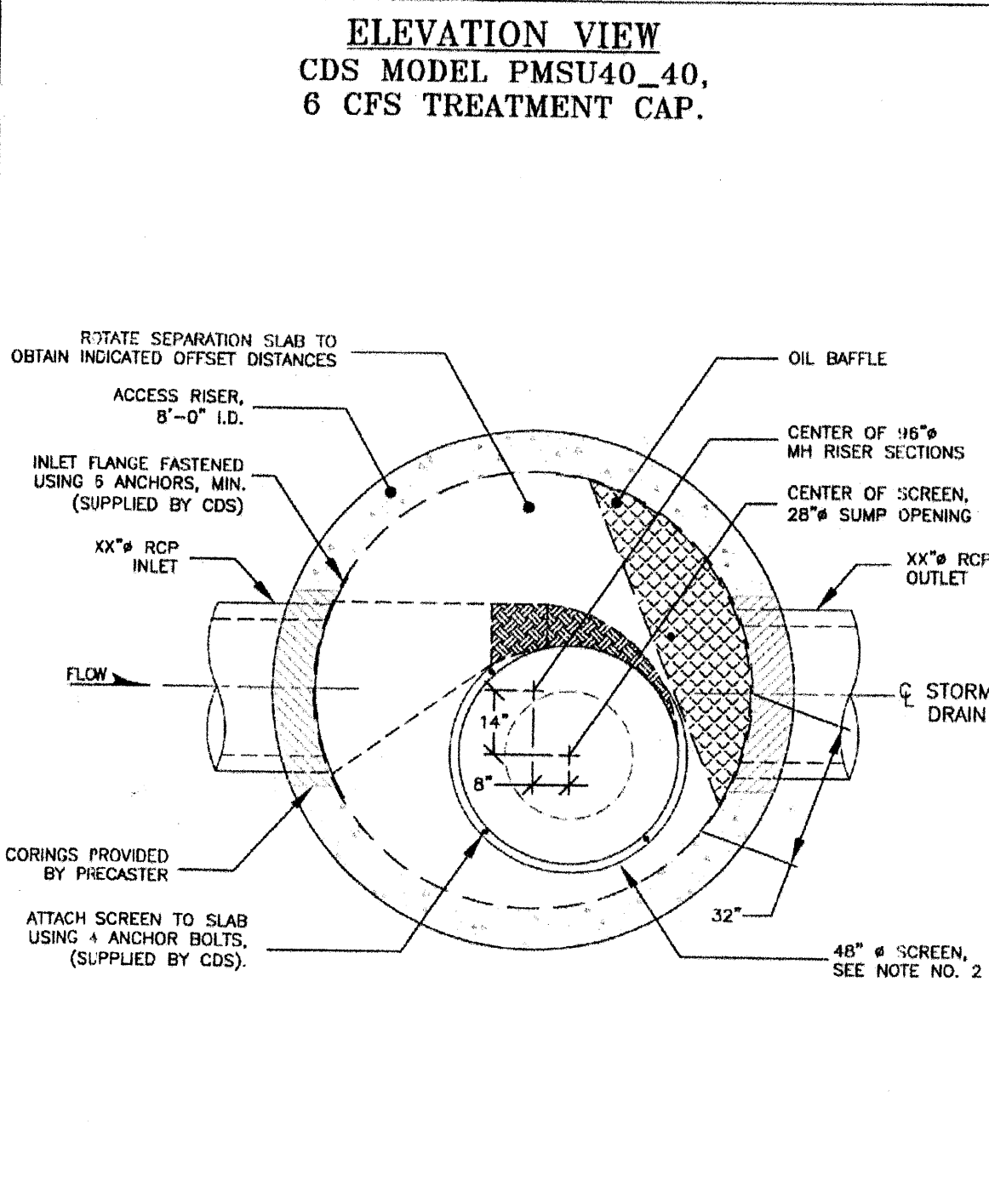
- STORM INLET CUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
- OUTLET PIPE, PER DESIGN REQUIREMENT.
- FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221

CONSTRUCTION NOTES:

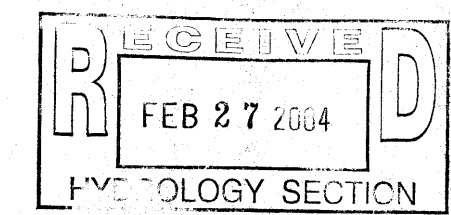
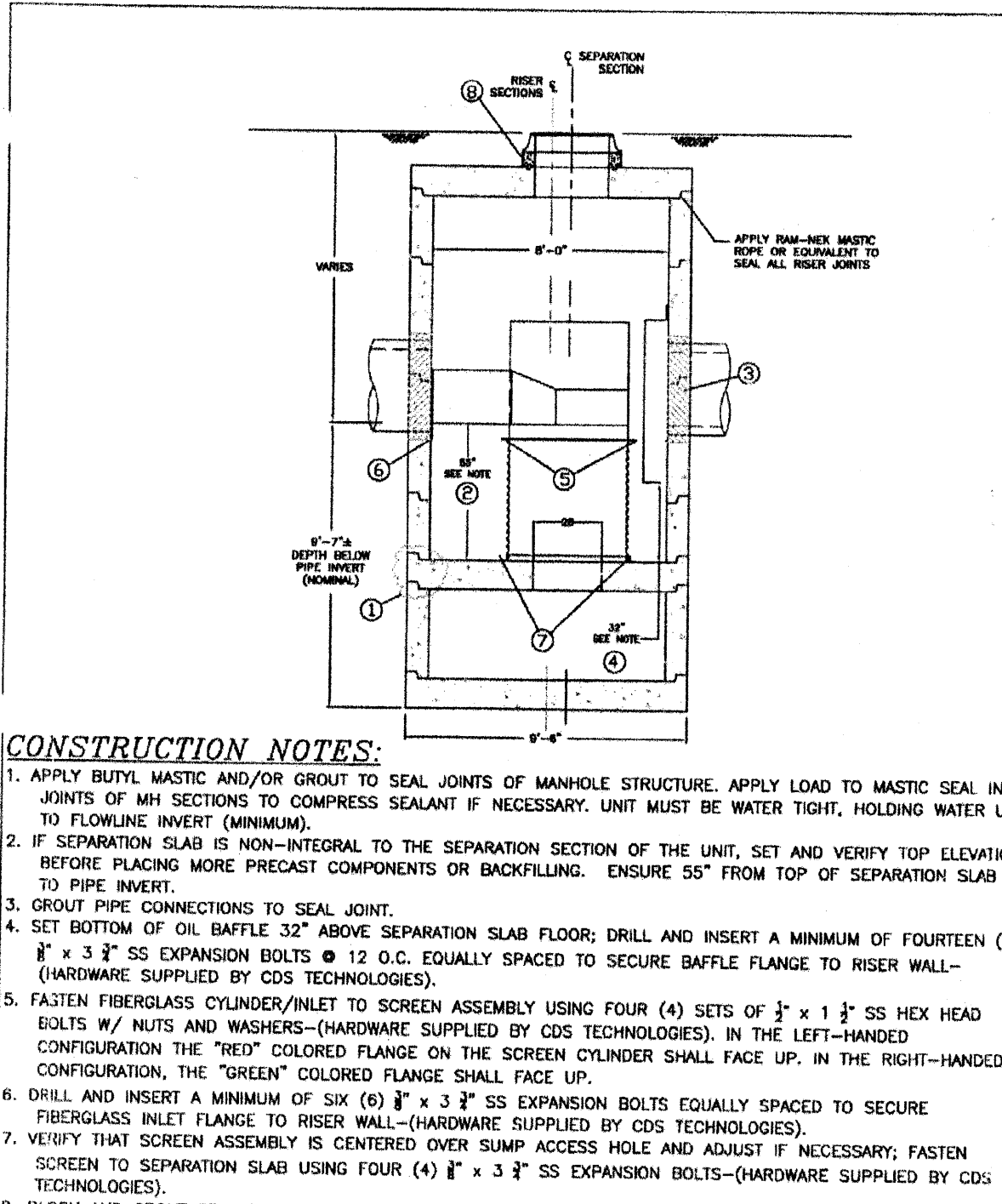
- FRAME & GRATE
- CUT ONE HORIZONTAL AND ONE VERTICAL BAR MAX. AT PIPE OPENING.
- NO. 4 BARS @ 6" O.C. EACH WAY
- USE STANDARD STEPS, SEE DWG 2229.
- CONC. FILL, SEE NOTE C DWG 2201
- INVERT PER DESIGN
- INSTALL STEPS ON DOWNSTREAM FACE
- CENTER SUPPORT ASSEMBLY



NOTE:
THE INTERNAL COMPONENTS ARE SHOWN IN THE RIGHT-HAND CONFIGURATION-THESE COMPONENTS MAY BE FURNISHED IN THE MIRROR IMAGE TO THAT SHOWN (LEFT-HAND CONFIGURATION).



NOTES:
1. THE INTERNAL COMPONENTS ARE SHOWN IN THE RIGHT-HAND CONFIGURATION-THESE COMPONENTS MAY BE FURNISHED IN THE MIRROR IMAGE TO THAT SHOWN (LEFT-HAND CONFIGURATION).
2. FOR PROPER INSTALLATION, GREEN FLANGE ON SCREEN FACES UP.



CDS TECHNOLOGIES	PROJECT/ DEVELOPMENT NAME	DATE	SCALE
	CITY & STATE	12/3/01	1"=3' SHEET
		DRAWN W. LORSCHIEDER	1

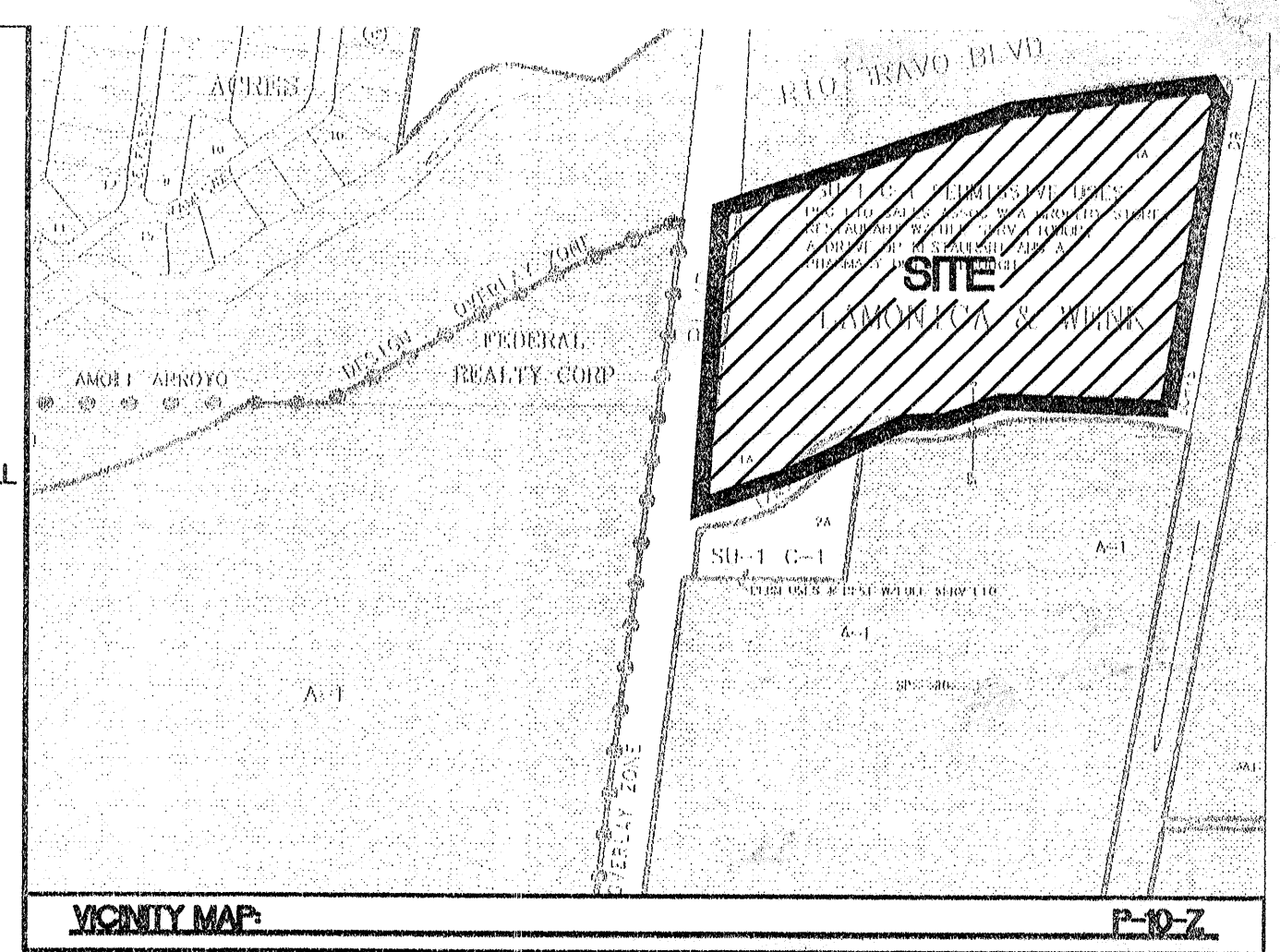
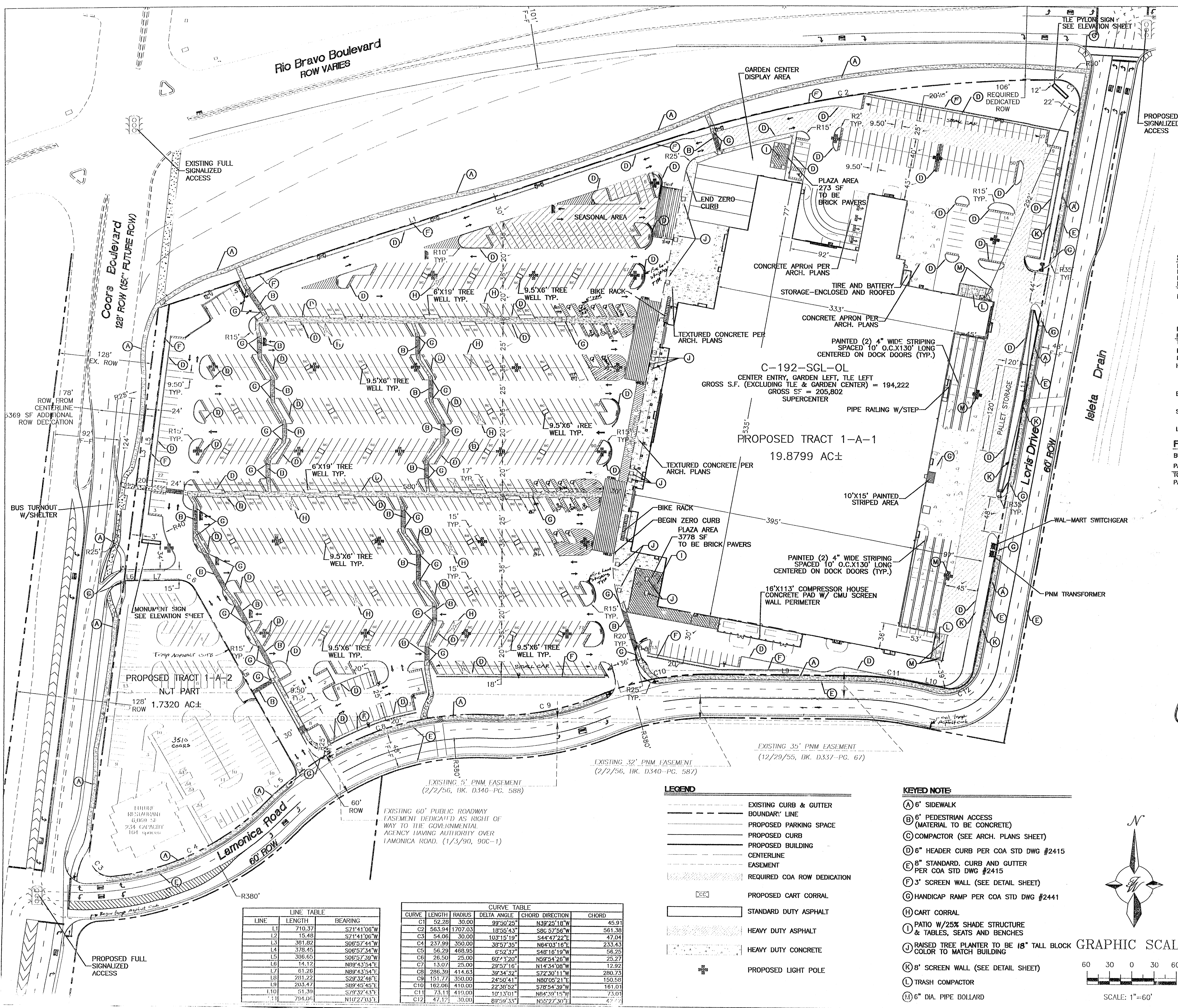
CDS TECHNOLOGIES	PROJECT/ DEVELOPMENT NAME	DATE	SCALE
	CITY & STATE	12/3/01	1"=2.5' SHEET
		DRAWN W. LORSCHIEDER	2

CDS TECHNOLOGIES	PROJECT/ DEVELOPMENT NAME	DATE	SCALE
	CITY & STATE	12/3/01	1"=3.5' SHEET
		DRAWN W. LORSCHIEDER	3

CDS TECHNOLOGIES	PROJECT/ DEVELOPMENT NAME	DATE	SCALE
	PMSU40_40 CONSTRUCTION NOTES	12/3/01	N.T.S. SHEET
		DRAWN J.S.F.	4

WATER QUALITY MANHOLE DETAILS NTS

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	ALBUQUERQUE SOUTH WAL-MART #5430-00		DRAWN BY WCVJ
	GRADING AND DRAINAGE DETAILS		DATE 2-26-04
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2294GRB-2-17-04X
SHEET #			6 OF 8
JOB #			220094



VICINITY MAP P-10-Z

LEGAL DESCRIPTION:
TRACT 1A, LAMONICA AND WENK

SITE DATA

PROPOSED USAGE:	RETAIL
PROPOSED COORS ROW DEDICATION:	1,236 AC±
PROPOSED TRACT 1-A-1 AREA:	19,879 AC±
PROPOSED TRACT 1-A-2 AREA:	1,732 AC±
TOTAL AREA:	21,765 AC±
BUILDING AREA TOTAL:	205,802 SF
BUILDING:	194,222 SF
GARDEN CENTER AND TLE:	11,580 SF
FAR:	24
MAXIMUM BUILDING HEIGHT:	33'-4"
PARKING REQUIRED BUILDING (1 PER 200):	971 SPACES
PARKING REQUIRED GARDEN CENTER AND TLE (1 PER 400):	29 SPACES
TOTAL PARKING REQUIRED:	1000 SPACES
PARKING PROVIDED:	1007 SPACES (108 SMALL CAR) 4.88 SPACES PER 1000 SF
HC PARKING PROVIDED:	20 SPACES
HC PARKING REQUIRED:	411 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	29 SPACES
BIKE SPACES REQUIRED:	29 SPACES (15 BIKE SPACES SHALL BE SECURED LOCKERS)
SHOWER PROVIDED:	2 SHOWER
SHOWER REQUIRED:	2 SHOWER
LANDSCAPE PROVIDED:	103,016 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	100,165 SF

FUTURE TRACT 1-A-2 SITE DATA:

BUILDING AREA TOTAL:	6,069 SF
PARKING REQUIRED BUILDING (1 SPACE PER 3 CUSTOMERS):	78 SPACES
TOTAL PARKING REQUIRED:	78 SPACES
PARKING PROVIDED:	104 SPACES (3 SMALL CAR)

PROJECT NUMBER: 1000650
APPLICATION NUMBER: CHDRB-CO27

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/15/03, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	Date 3/31/04
<i>[Signature]</i> Utilities Development	Date 3/31/04
<i>[Signature]</i> Parks & Recreation Department	Date 3/31/04
<i>[Signature]</i> City Engineer	Date 3/31/04
<i>[Signature]</i> Solid Waste Management	Date 3/31/04
<i>[Signature]</i> DRB Chairperson, Planning Department	Date 3/31/04

* Environmental Health Department (conditional) Date

* Environmental Health, if necessary 12/15/03

SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- SITE PLAN FOR BUILDING PERMIT-NOTES AND DETAILS
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE DETAILS
- MASTER UTILITY PLAN
- FIRE MARSHAL APPROVED MASTER UTILITY PLAN
- ELEVATIONS

NO.	DATE	REVISIONS	BY
1	5/17/05		RW

ENGINEER'S SEAL

ALBUQUERQUE SOUTH WAL-MART #5430-00

SITE PLAN FOR BUILDING PERMIT

THERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY JDN
DATE 3-17-04
2204SPB-2-17-04X

SHEET 1 OF 8
MAY 18 2005
PROBIOLOGY SECTION
220094

LINE TABLE

LINE	LENGTH	BEARING
L1	710.37	S71°41'06"W
L2	15.48	S71°41'06"W
L3	381.82	S06°57'44"W
L4	378.45	S06°57'34"W
L5	306.65	S06°57'39"W
L6	14.12	N89°43'54"E
L7	61.26	N89°43'54"E
L8	281.22	S28°32'48"E
L9	203.47	S89°45'45"E
L10	51.39	S79°32'43"E
L11	794.06	N10°27'03"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	52.20	30.00	99°50'25"	N39°25'18"W	45.91
C2	563.94	1207.03	18°58'43"	S86°37'58"W	561.36
C3	54.06	30.00	103°15'19"	S44°42'22"E	47.04
C4	237.99	350.00	38°57'35"	N64°03'16"E	233.43
C5	56.29	468.95	6°52'37"	S48°16'19"W	56.25
C6	26.50	25.00	60°43'20"	N59°54'26"W	25.27
C7	13.07	25.00	29°57'16"	N14°34'08"W	12.92
C8	286.39	414.63	38°34'32"	S72°30'11"W	280.73
C9	151.77	350.00	24°30'41"	N80°08'21"E	150.58
C10	162.06	410.00	22°30'52"	S78°54'39"W	161.01
C11	73.11	410.00	10°13'01"	N84°39'15"W	73.01
C12	47.17	30.00	89°59'33"	N55°27'30"E	47.27

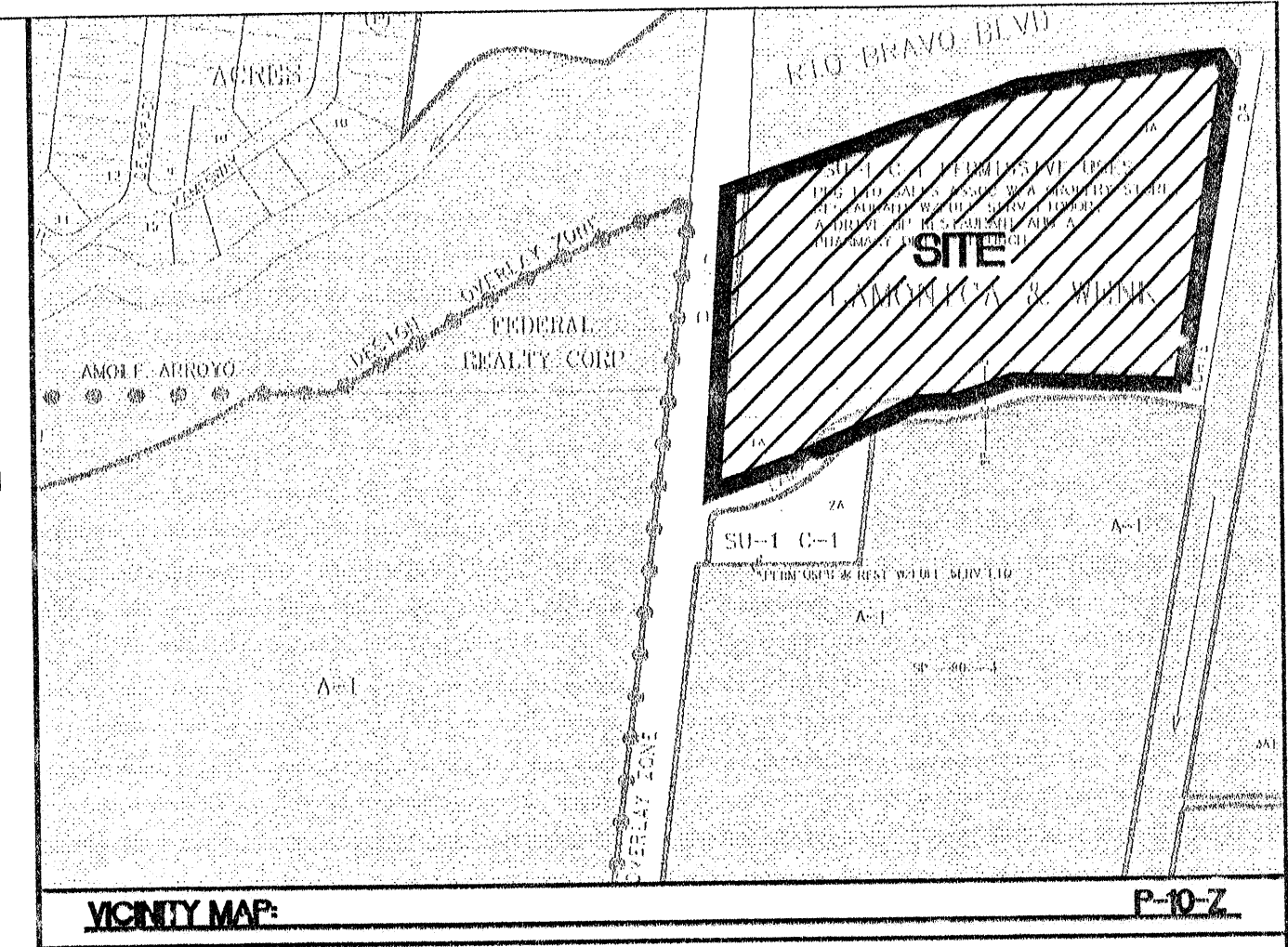
- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - PROPOSED PARKING SPACE
 - PROPOSED CURB
 - PROPOSED BUILDING
 - CENTERLINE
 - EASEMENT
 - REQUIRED COA ROW DEDICATION
 - PROPOSED CART CORRAL
 - STANDARD DUTY ASPHALT
 - HEAVY DUTY ASPHALT
 - HEAVY DUTY CONCRETE
 - PROPOSED LIGHT POLE

- KEYED NOTE**
- (A) 6' SIDEWALK
 - (B) 6' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) COMPACTOR (SEE ARCH. PLANS SHEET)
 - (D) 6" HEADER CURB PER COA STD DWG #2415
 - (E) 8" STANDARD CURB AND GUTTER PER COA STD DWG #2415
 - (F) 3' SCREEN WALL (SEE DETAIL SHEET)
 - (G) HANDICAP RAMP PER COA STD DWG #2441
 - (H) CART CORRAL
 - (I) PATIO W/25% SHADE STRUCTURE & TABLES, SEATS AND BENCHES
 - (J) RAISED TREE PLANTER TO BE 18" TALL BLOCK GRAPHIC SCALE COLOR TO MATCH BUILDING
 - (K) 8" SCREEN WALL (SEE DETAIL SHEET)
 - (L) TRASH COMPACTOR
 - (M) 6" DIA. PIPE BOLLARD



- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
 2. LANDSCAPE PLAN
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN

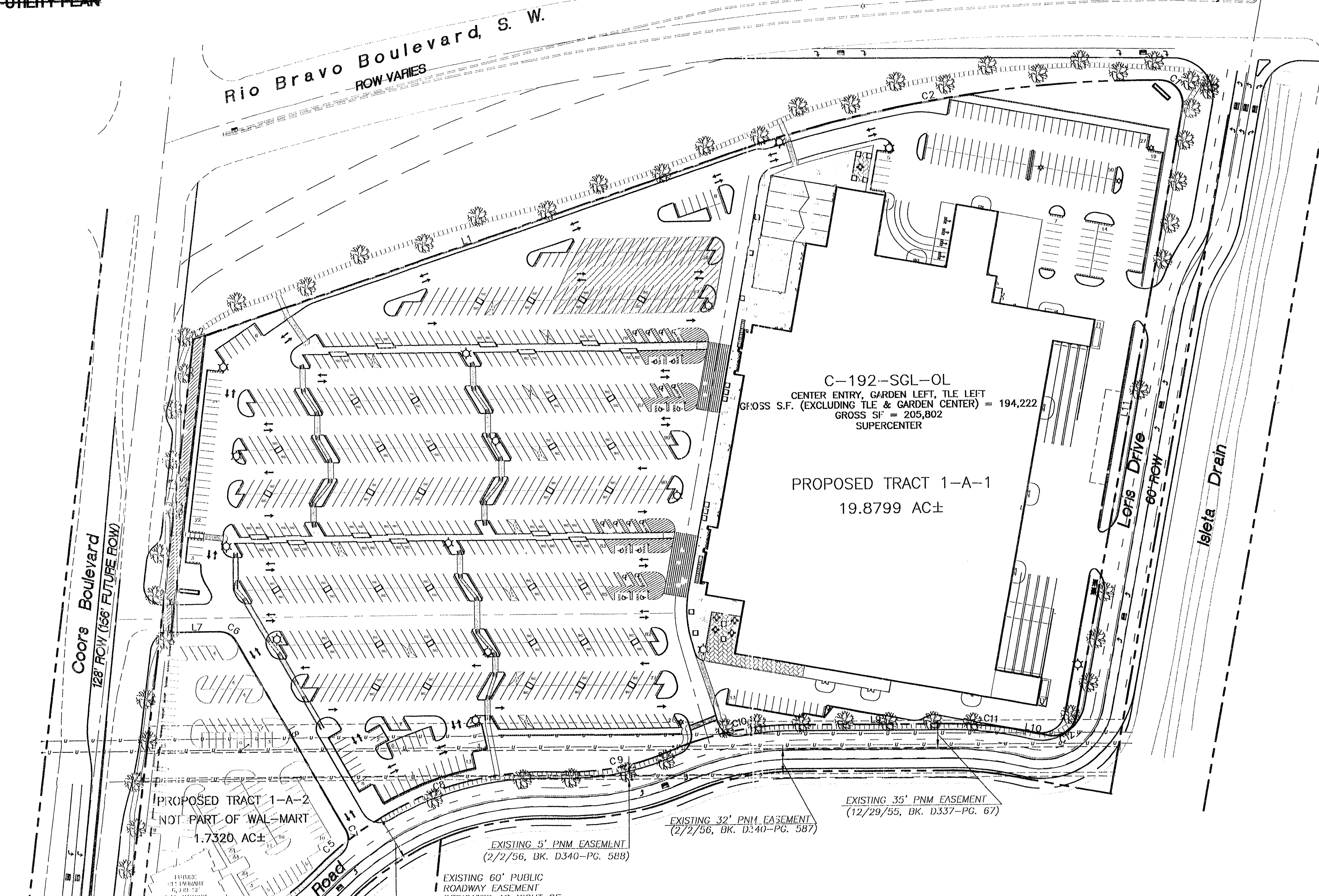
- LEGEND**
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 - PROPOSED PARKING SPACE
 - PROPOSED CURB
 - PROPOSED BUILDING
 - CENTERLINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - REQUIRED COA ROW DEDICATION
 - PROPOSED TREE
 - PROPOSED CART CORRAL
 - PROPOSED SITE LIGHTING



VICINITY MAP: P-10-Z
LEGAL DESCRIPTION:
 TRACT 1A, LAMONICA AND WENK

NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
- CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH BY PLAT.
- ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
- PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
- NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
- ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
- VINYL COATED, PLASTIC REFLECTIVE TYPE AWNINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
- ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND SHALL BE A GALVALUME FINISH.
- FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 30' HIGH POLES WITH FULLY SHIELDED FIXTURES. LIGHTS WITHIN 100' TO A RESIDENTIAL ZONED AREA SHALL BE 16' HIGH MAX. ALL FIXTURES SHALL BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
- PROPOSED CONDITIONS FOR SITE PLAN APPROVAL FOR THE ARCHITECTURAL DESIGN OF THE PAD SITE BUILDING SHALL BE COMPLIMENTARY TO THE ARCHITECTURE OF THE WAL-MART BUILDING UTILIZING SIMILAR MATERIALS, SUCH AS PITCHED CLAY TILE ROOF ELEMENTS, STUCCO WALL SURFACES, DECORATIVE MASONRY OR STONE WAINSCOTS, AND COLOR COORDINATED WINDOWS, DOORS AND TRIM.
- PROPOSED CONDITIONS FOR SITE PLAN APPROVAL OF THE PAD SITE BUILDING CONFIGURATION SHALL INCORPORATE VARIOUS MASSING AND FORMS TO ARTICULATE IT, INCLUDING PITCHED ROOF ELEMENTS, PILASTERS, PROJECTED ENTRIES, AND WINDOWS, AND CANOPIES.
- PROPOSED CONDITIONS FOR SITE PLAN APPROVAL SHALL HAVE ALL FOUR SIDES OF PAD SITE BUILDING EQUALLY ARTICULATED SO THAT NO FACE IS BLANK OR CONSIDERED THE "BACK" OF THE BUILDING.
- ALL GROUND AND ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH ARCHITECTURALLY INTEGRATED SCREENING ELEMENTS AT LEAST AS HIGH AS THE HIGHEST PART OF THE PIECE OF EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE COVERED TO PREVENT ANY GLARE FOR PASSING MOTORIST.
- PROPOSED CONDITIONS FOR SITE PLAN APPROVAL OF PAD SITE SERVICE AREAS SHALL BE SCREENED WITH ARCHITECTURALLY INTEGRATED SCREEN WALLS AND/OR LANDSCAPING.
- WHEN THE INTERCHANGE IS CONSTRUCTED AT COORS BLVD. AND RIO BRAVO BLVD. IT WILL BE CONSTRUCTED IN A MANNER THAT WILL PROVIDE SAFE AND EFFICIENT OPERATION OF THE INTERSECTING CORRIDORS.
- THE JURISDICTION RESPONSIBLE FOR THE FINAL DESIGN OF THE INTERCHANGE WILL STRIVE TO ACCOMMODATE ACCESS PROVISIONS TO LORIS DRIVE WHILE PRESERVING SAFE AND EFFICIENT OPERATION ON THE RIO BRAVO CORRIDOR. ANY MODIFICATIONS ON THE DEVELOPMENT PROPERTY TO THE LORIS DRIVE ACCESS TO RIO BRAVO BASED ON THE FINAL DESIGN OF THE RIO BRAVO/COORS INTERCHANGE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS. THE PROPERTY OWNERS WILL NOT BE ENTITLED TO COMPENSATION OR DAMAGES ASSOCIATED WITH MODIFICATIONS TO OR REDUCTIONS OF ACCESS AT LORIS DRIVE AND RIO BRAVO.
- SIGNAL TIMINGS AT THE INTERSECTION OF LORIS DRIVE AND RIO BRAVO BLVD. WILL BE SET TO ACCOMMODATE AND FAVOR THROUGH MOVEMENTS ON RIO BRAVO, TO THE EXTENT THAT MOVEMENTS ASSOCIATED WITH LORIS DRIVE WILL BE LIMITED TO A LEVEL OF SERVICE (LOS) NO BETTER THAN "E".
- ANY SIGNAL SYSTEM INSTALLED AT LORIS DRIVE AND RIO BRAVO BLVD. MUST BE COMPATIBLE WITH AND INTERCONNECT WITH THE RIO BRAVO SMART CORRIDOR SYSTEM.
- CART CORRAL SIGNAGE SHALL BE VISIBLE ABOVE PARKED VEHICLES TO ALERT CUSTOMERS OF LOCATION.
- ALL REFUSE CONTAINERS SHALL BE SCREENED FROM VIEW.
- PROPOSED BUILDING SHALL INCLUDE THE SALES OF PACKAGE LIQUORS PER STATE AND LOCAL STATUTES AT THE OWNERS OPTION.
- SETBACKS SHALL BE BY SITE PLAN PER ZONING CODE FOR SU-1 DESIGNATIONS.



SITE DATA

PROPOSED USAGE: RETAIL
 PROPOSED COORS ROW DEDICATION: .1236 AC±
 PROPOSED TRACT 1-A-1 AREA: 19.8799 AC±
 PROPOSED TRACT 1-A-2 AREA: 1.7320 AC±
 TOTAL AREA: 21.7355 AC±
 BUILDING AREA TOTAL: 205,802 SF
 BUILDINGS: 194,222 SF
 GARDEN CENTER AND TILE: 11,580 SF
 FAR: .24
 MAXIMUM BUILDING HEIGHT: 33'-4"

PARKING REQUIRED BUILDING (1 PER 200): 971 SPACES
 PARKING REQUIRED GARDEN CENTER AND TILE (1 PER 400): 29 SPACES
 TOTAL PARKING REQUIRED: 1000 SPACES
 TOTAL PARKING REQUIRED LESS 10% BUS CREDIT: 900 SPACES
 PARKING PROVIDED: 1005 SPACES (108 SMALL CAR)
 PARKING RATIO: 4.88 SPACES PER 1000 SF
 HC PARKING PROVIDED: 20 SPACES
 11 SPACES VAN ACCESSIBLE
 20 SPACES VAN ACCESSIBLE
 3 SPACES VAN ACCESSIBLE
 29 SPACES (15 BIKE SPACES SHALL BE SECURED LOCKERS)

BIKE SPACES PROVIDED: 29 SPACES
 BIKE SPACES REQUIRED: 29 SPACES

SHOWER PROVIDED: 2 SHOWER
 SHOWER REQUIRED: 2 SHOWER

LANDSCAPE PROVIDED: 103,016 SF 100,165 SF
 LANDSCAPE REQUIRED (15% OF NET LOT AREA):

FUTURE TRACT 1-A-2 SITE DATA:
 BUILDING AREA TOTAL: 6,069 SF
 PARKING REQUIRED BUILDING (1 SPACE PER 3 CUSTOMERS): 78 SPACES
 TOTAL PARKING REQUIRED: 78 SPACES
 PARKING PROVIDED: 104 SPACES (3 SMALL CAR)

PROJECT NUMBER: 03-020-D1-E23-103-DRS-01/04
APPLICATION NUMBER: 1000650

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

City Engineer	11-19-03
Public Works & Transportation Division	Date
Utilities Development	11-19-03
Parks & Recreation Department	Date
City Engineer	11-19-03
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	11/19/03
	Date

NOTE: FOR REFERENCE ONLY

ALBUQUERQUE SOUTH WAL-MART #5430-00

SITE PLAN FOR SUBDIVISION

TERRA WEST, L.L.C.
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

GRAPHIC SCALE
 80 40 0 40 80
 SCALE: 1"=80'

ENGINEER'S SEAL
 RONALD R. BOHANNAN
 P.E. #7868

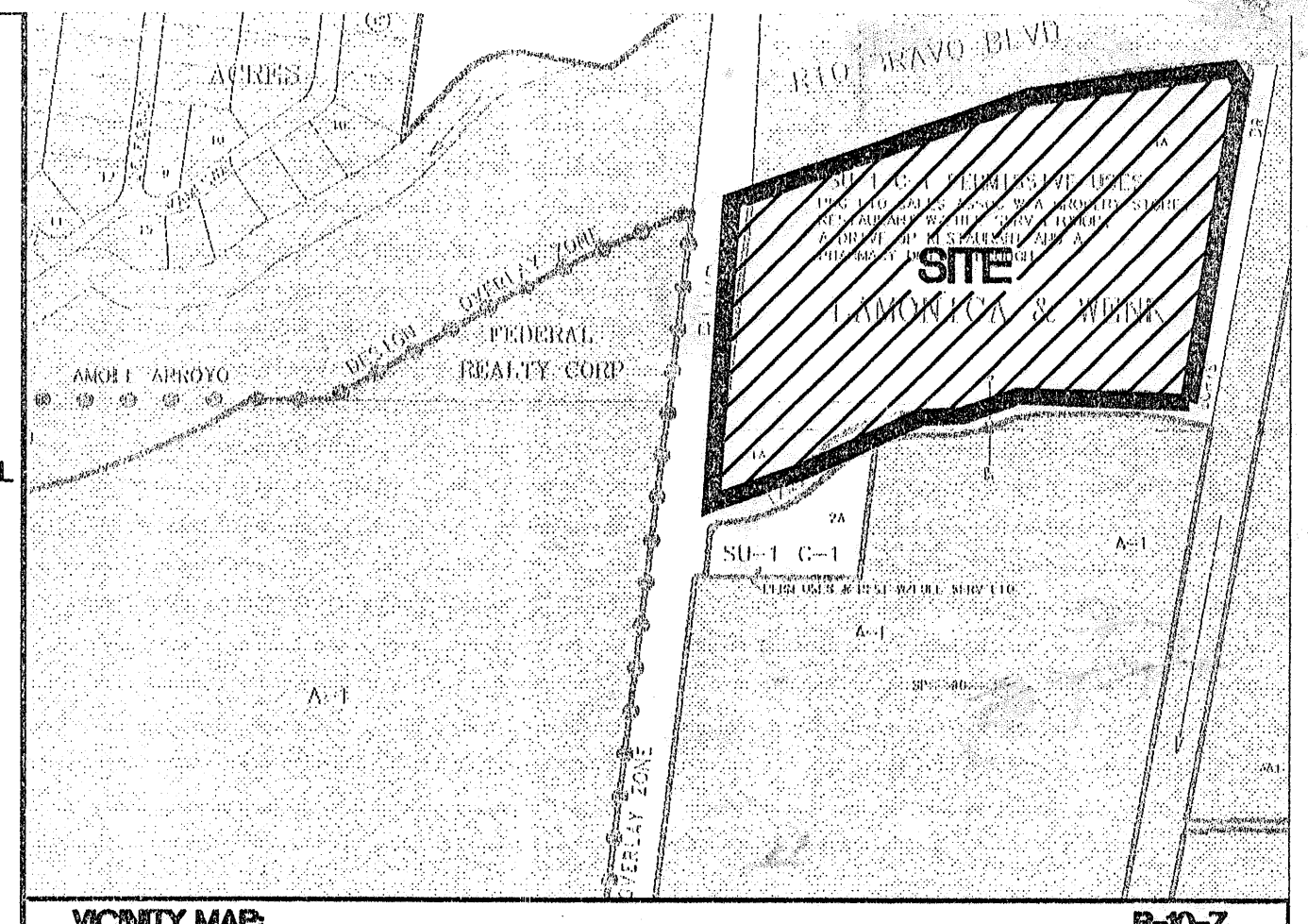
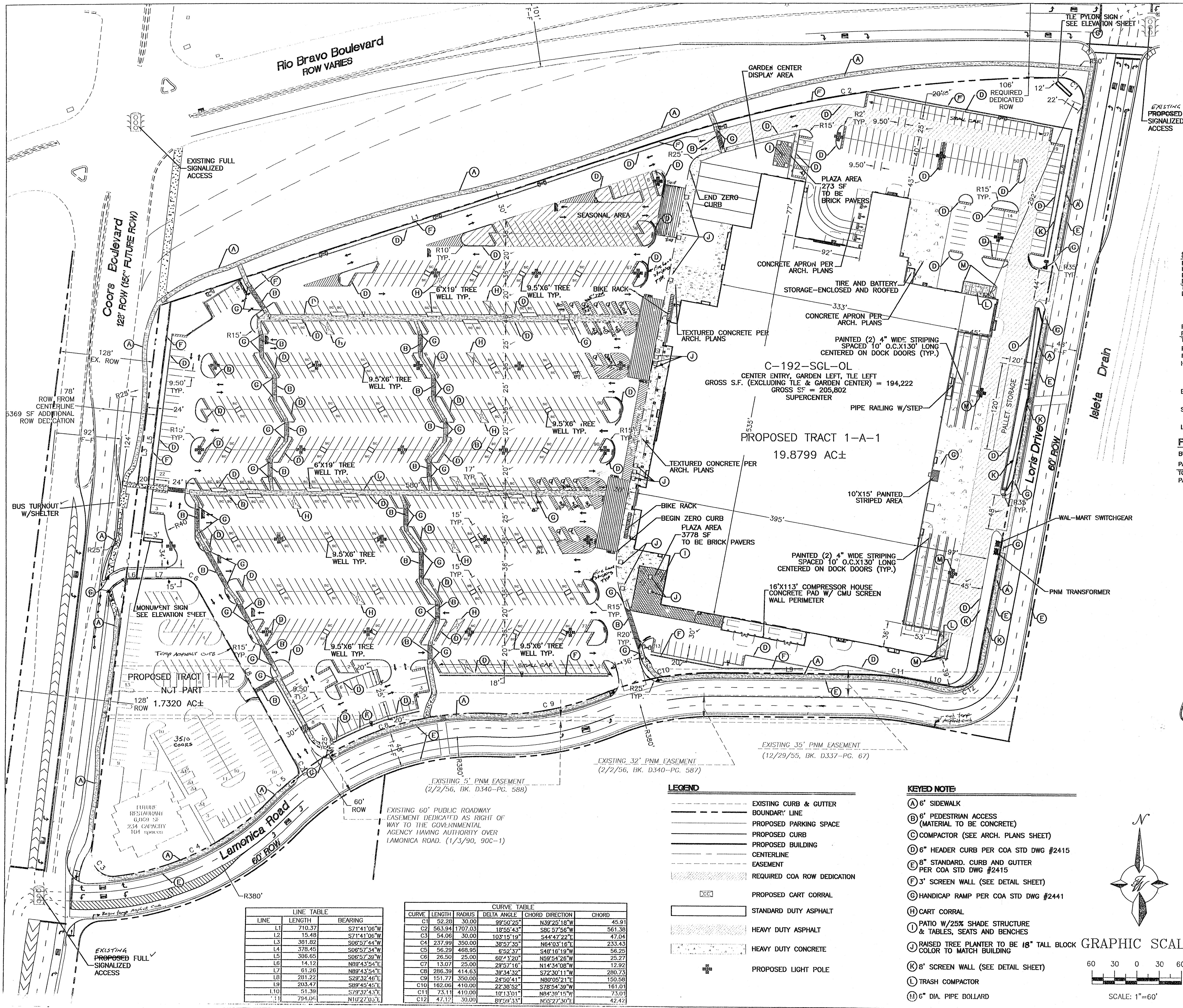
DRAWN BY: WCVJ
 DATE: 11-19-03
 22845PSD-11-17-03X
 SHEET # 1 OF 1
 JOB # 220094

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	52.28	30.00	99°50'25"	N38°25'18"W	45.91
C2	563.94	1707.03	18°55'43"	S80°57'56"W	561.38
C3	54.06	30.00	103°15'19"	S41°47'22"E	47.04
C4	237.99	350.00	38°57'32"	N61°03'16"E	233.43
C5	56.29	468.95	6°52'37"	S48°16'19"W	56.25
C6	26.50	25.00	60°43'20"	N39°54'26"W	25.27
C7	13.07	25.00	28°57'16"	N14°34'08"W	12.92
C8	286.39	414.63	39°34'32"	S72°30'11"W	280.73
C9	151.77	350.00	24°50'41"	N80°05'21"E	150.58
C10	162.06	410.00	22°38'52"	S78°54'39"W	161.01
C11	73.11	410.00	10°13'01"	N84°39'15"W	73.01
C12	47.12	30.00	89°59'33"	N55°27'30"E	42.42

LINE TABLE

LINE	LENGTH	BEARING
L1	710.27	S71°41'06"W
L2	15.48	S71°41'06"W
L3	381.82	S06°57'44"W
L4	378.45	S06°57'34"W
L5	386.65	S06°57'39"W
L6	14.12	N89°43'54"E
L7	61.23	N89°43'54"E
L8	281.22	S29°32'46"E
L9	203.47	S89°45'46"E
L10	51.39	S72°32'43"E
L11	784.06	N11°27'03"E



VICINITY MAP: P-10-Z
 LEGAL DESCRIPTION: TRACT 1A, LAMONICA AND WENK

SITE DATA

PROPOSED USAGE:	RETAIL
PROPOSED COORS ROW DEDICATION:	1,236 AC±
PROPOSED TRACT 1-A-1 AREA:	19,879 AC±
PROPOSED TRACT 1-A-2 AREA:	1,732 AC±
TOTAL AREA:	21,736 AC±
BUILDING AREA TOTAL:	205,802 SF
BUILDING:	194,222 SF
GARDEN CENTER AND TLE:	11,580 SF
FAR:	.24
MAXIMUM BUILDING HEIGHT:	33'-4"
PARKING REQUIRED BUILDING (1 PER 200):	971 SPACES
PARKING REQUIRED - GARDEN CENTER AND TLE (1 PER 400):	29 SPACES
TOTAL PARKING REQUIRED:	1000 SPACES
PARKING PROVIDED:	1007 SPACES (108 SMALL CAR) 482 (850 W/15% BUS CREDIT)
PARKING RATIO:	4.88 SPACES PER 1000 SF
HC PARKING PROVIDED:	20 SPACES
HC PARKING REQUIRED:	44+ SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	29 SPACES
BIKE SPACES REQUIRED:	29 SPACES (15 BIKE SPACES SHALL BE SECURED LOCKERS)
SHOWER PROVIDED:	2 SHOWER
SHOWER REQUIRED:	2 SHOWER
LANDSCAPE PROVIDED:	103,016 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	100,165 SF

FUTURE TRACT 1-A-2 SITE DATA

BUILDING AREA TOTAL:	6,069 SF
PARKING REQUIRED BUILDING (1 SPACE PER 3 CUSTOMERS):	78 SPACES
TOTAL PARKING REQUIRED:	78 SPACES
PARKING PROVIDED:	104 SPACES (3 SMALL CAR)

PROJECT NUMBER: 1000650
APPLICATION NUMBER: C-DRB-00277

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1-18-03, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	Date: 3-31-04
<i>[Signature]</i> Utilities Development	Date: 3/31/04
<i>[Signature]</i> Parks & Recreation Department	Date: 3/31/04
<i>[Signature]</i> City Engineer	Date: 3/31/04
<i>[Signature]</i> Solid Waste Management	Date: 3/31/04
<i>[Signature]</i> DRB Chairperson, Planning Department	Date: 3/31/04

* Environmental Health Department (conditional) Date

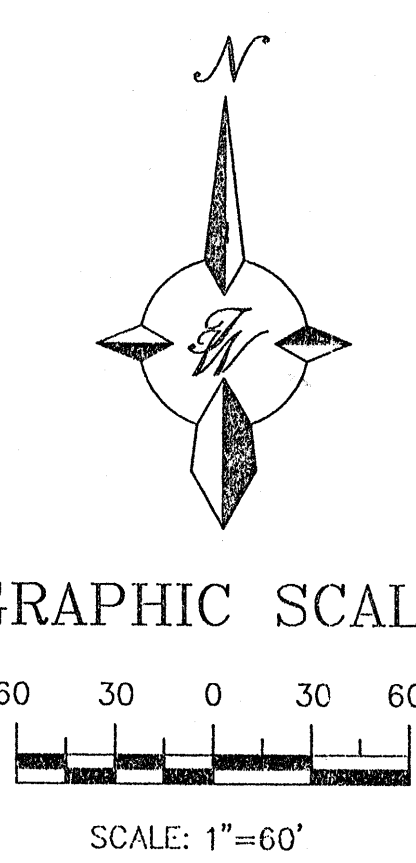
* Environmental Health, if necessary 12/18/03

- SHEET INDEX**
- SITE PLAN FOR BUILDING PERMIT
 - SITE PLAN FOR BUILDING PERMIT-NOTES AND DETAILS
 - LANDSCAPE PLAN
 - GRADING AND DRAINAGE PLAN
 - GRADING AND DRAINAGE PLAN
 - GRADING AND DRAINAGE DETAILS
 - MASTER UTILITY PLAN
 - FIRE MARSHAL APPROVED MASTER UTILITY PLAN
 - ELEVATIONS

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PROPOSED PARKING SPACE
- PROPOSED CURB
- PROPOSED BUILDING CENTERLINE
- EASEMENT
- REQUIRED COA ROW DEDICATION
- PROPOSED CART CORRAL
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- HEAVY DUTY CONCRETE
- PROPOSED LIGHT POLE

- KEYED NOTE:**
- (A) 6" SIDEWALK
 - (B) 6" PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) COMPACTOR (SEE ARCH. PLANS SHEET)
 - (D) 6" HEADER CURB PER COA STD DWG #2415
 - (E) 8" STANDARD CURB AND GUTTER PER COA STD DWG #2415
 - (F) 3" SCREEN WALL (SEE DETAIL SHEET)
 - (G) HANDICAP RAMP PER COA STD DWG #2441
 - (H) CART CORRAL
 - (I) PATIO W/25% SHADE STRUCTURE & TABLES, SEATS AND BENCHES
 - (J) RAISED TREE PLANTER TO BE 18" TALL BLOCK GRAPHIC SCALE COLOR TO MATCH BUILDING
 - (K) 8" SCREEN WALL (SEE DETAIL SHEET)
 - (L) TRASH COMPACTOR
 - (M) 6" DIA. PIPE BOLLARD



LINE TABLE

LINE	LENGTH	BEARING
L1	710.37	S21°41'06"W
L2	15.48	S71°41'06"W
L3	301.02	S06°57'44"W
L4	378.45	S06°57'34"W
L5	306.65	S06°57'39"W
L6	14.12	N89°43'24"E
L7	61.26	N89°43'24"E
L8	201.22	S28°32'46"E
L9	203.47	S89°45'45"E
L10	51.39	S79°32'43"E
L11	794.04	N10°27'03"E

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
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C9	151.77	350.00	24°50'41"	N80°05'21"E	150.58
C10	162.06	410.00	22°38'52"	S78°54'38"W	161.01
C11	73.11	410.00	10°13'01"	N84°39'15"W	73.01
C12	47.12	30.00	89°59'33"	N53°27'30"E	42.42

RECEIVED
 JAN 09 2006

NO.	DATE	REVISIONS	BY

ENGINEER'S SEAL: *[Signature]* 3/31/04

ALBUQUERQUE SOUTH WAL-MART #5430-00

SITE PLAN FOR BUILDING PERMIT

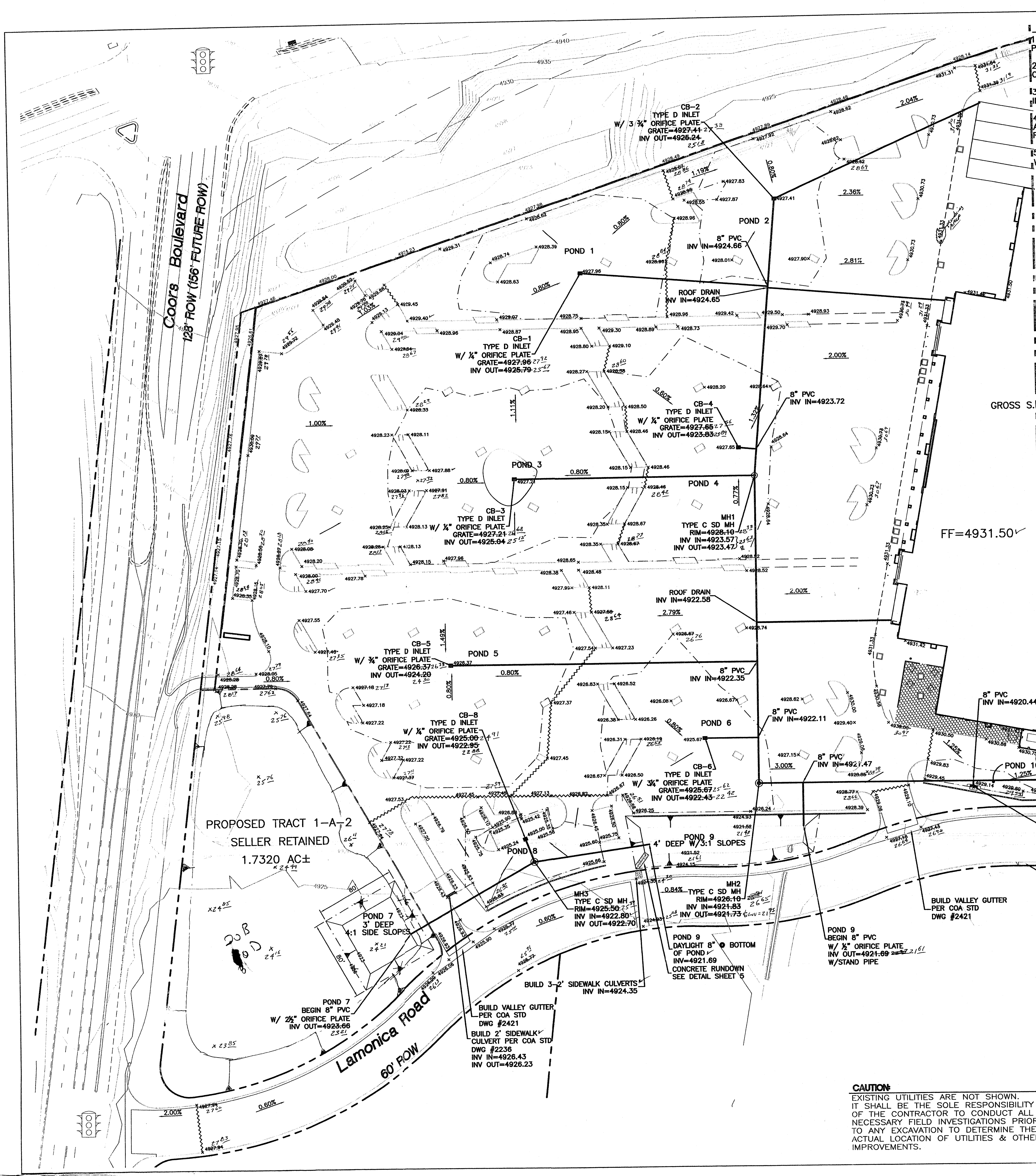
TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. BOHANNAN
 P.E. #7868

DRAWN BY: JDN
 DATE: 3-17-04
 2294SPB-2-17-04X

SHEET #
1 OF 8

JOB #
 220094



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

STORM SEWER PIPE INFORMATION

LOCATION	PIPE SIZE	LF	SLOPE
CB-1 TO MAIN LINE	8" PVC	188.55	0.60%
CB-2 TO MH-1	8" PVC	278.12	0.60%
CB-3 TO MH-1	8" PVC	241.22	0.60%
CB-4 TO MAIN LINE	8" PVC	17.93	0.60%
CB-5 TO MAIN LINE	8" PVC	307.81	0.60%
CB-6 TO MAIN LINE	8" PVC	53.39	0.60%
MH-1 TO MH-2	8" PVC	308.98	0.60%
CB-8 TO MH-3	8" PVC	24.77	0.60%
POND 7 TO MH-3	8" PVC	143.55	0.60%
MH-3 TO POND 9	8" PVC	116.90	0.60%
POND 9 TO MAIN LINE	8" PVC	43.00	0.50%
MH-2 TO MH-4	8" PVC	371.16	0.60%

DRAINAGE CERT SURVEY WORK BY OTHERS
12/28/91
DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, N.M.P.E. #788, OF THE FIRM TERRA WEST, L.L.C., CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/10/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR 30-DAY TEMPORARY CERTIFICATION OF DRAINAGE FOR OCCUPANCY.

NOTE EXCEPTIONS HERE: CONTRACTOR TO PROVIDE GRADING AS-BUILTS AND COMPLETE SIDEWALK CULVERT INSPECTION WITH COA STORM DRAIN MAINTENANCE DEPT. COMPLETE MASS GRADING OF TRACT 1-A-2 INCLUDING ORIFICE PLATE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 5/10/05
DRAINAGE CERT SURVEY WORK BY OTHERS
12/28/91
DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, N.M.P.E. #788, OF THE FIRM TERRA WEST, L.L.C., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/13/05. THE RECORD INFORMATION EXTENDED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, N.M.P.S. #950, OF THE FIRM SURV-TEK.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6/13/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE EXCEPTIONS HERE: NO EXCEPTIONS TAKEN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 6/13/05
DRAINAGE CERT SURVEY WORK BY OTHERS
12/28/91
DRAINAGE CERTIFICATION

BUILD TYPE C INLET
W/ 2 1/2" ORIFICE PLATE
GRATE=4929.14 2.85%
INV OUT=4920.48 2.54%

BUILD 20' DRIVEPAD
PER COA STD DWG #2425

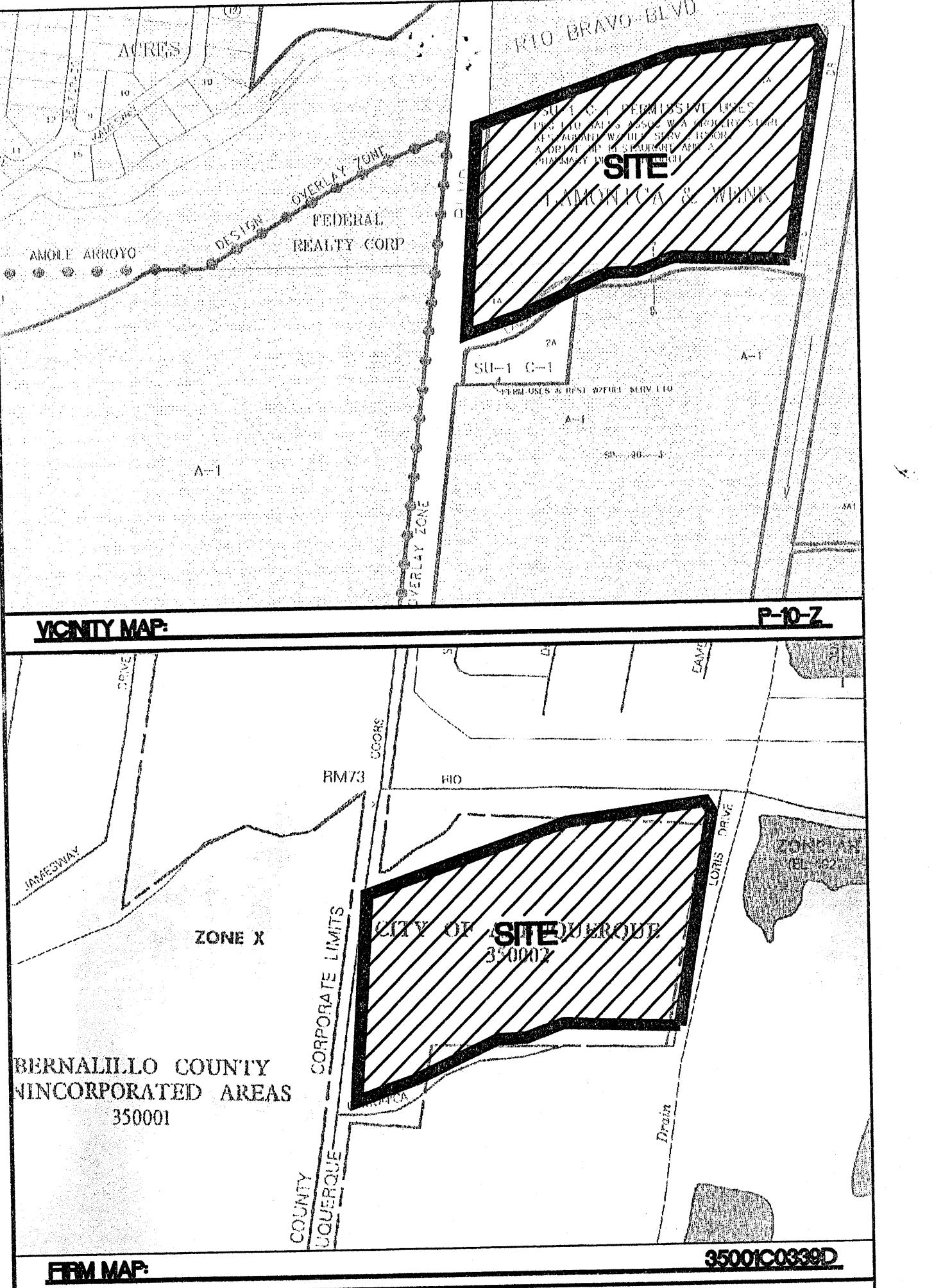
BUILD VALLEY GUTTER
PER COA STD DWG #2421

POND 9
DAYLIGHT 8" PVC
W/ 1/2" ORIFICE PLATE
INV OUT=4921.69 2.15%
CONCRETE RUNDOWN
SEE DETAIL SHEET 6

POND 9
BEGIN 8" PVC
W/ 1/2" ORIFICE PLATE
W/ STAND PIPE

CAUTION
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

GRAPHIC SCALE
60 30 0 30 60
SCALE: 1"=60'



LEGAL DESCRIPTION
TRACT 1A, LAMONICA AND WENK

NOTES
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. SEE SHEET 3B FOR ALL DETAILS.

LEGEND

- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- GRADING HIGH POINT
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL DATE

NO.	DATE	AS-BUILT	REMARKS	BY
1	6/10/05			

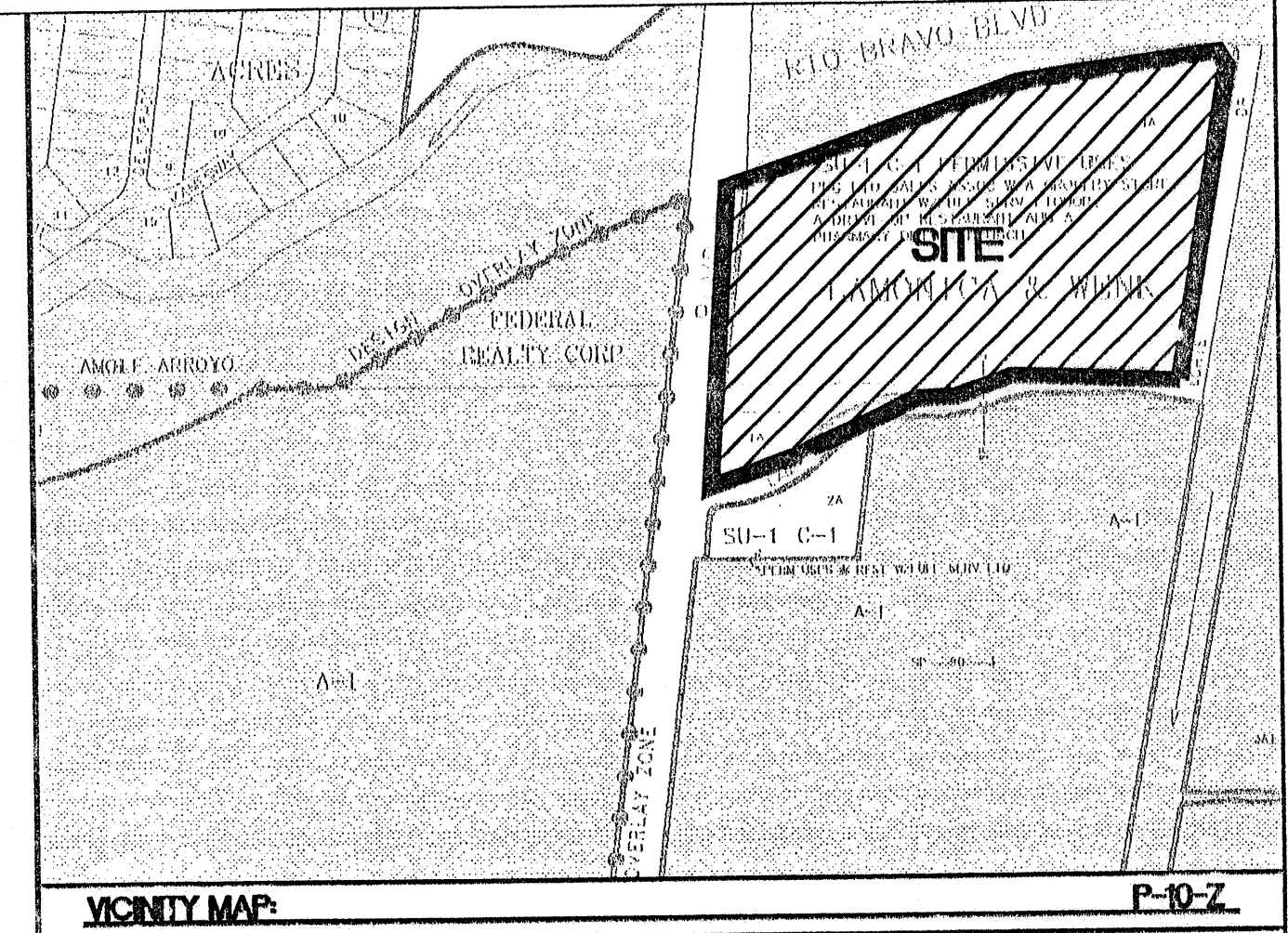
REVISIONS

ENGINEER'S SEAL	ALBUQUERQUE SOUTH WAL-MART #5430-00	DRAWN BY
	GRADING AND DRAINAGE PLAN	WCVJ
		DATE
	2294GRB-2-17-04X	
	SHEET #	4 OF 8
	JOB #	220094

TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

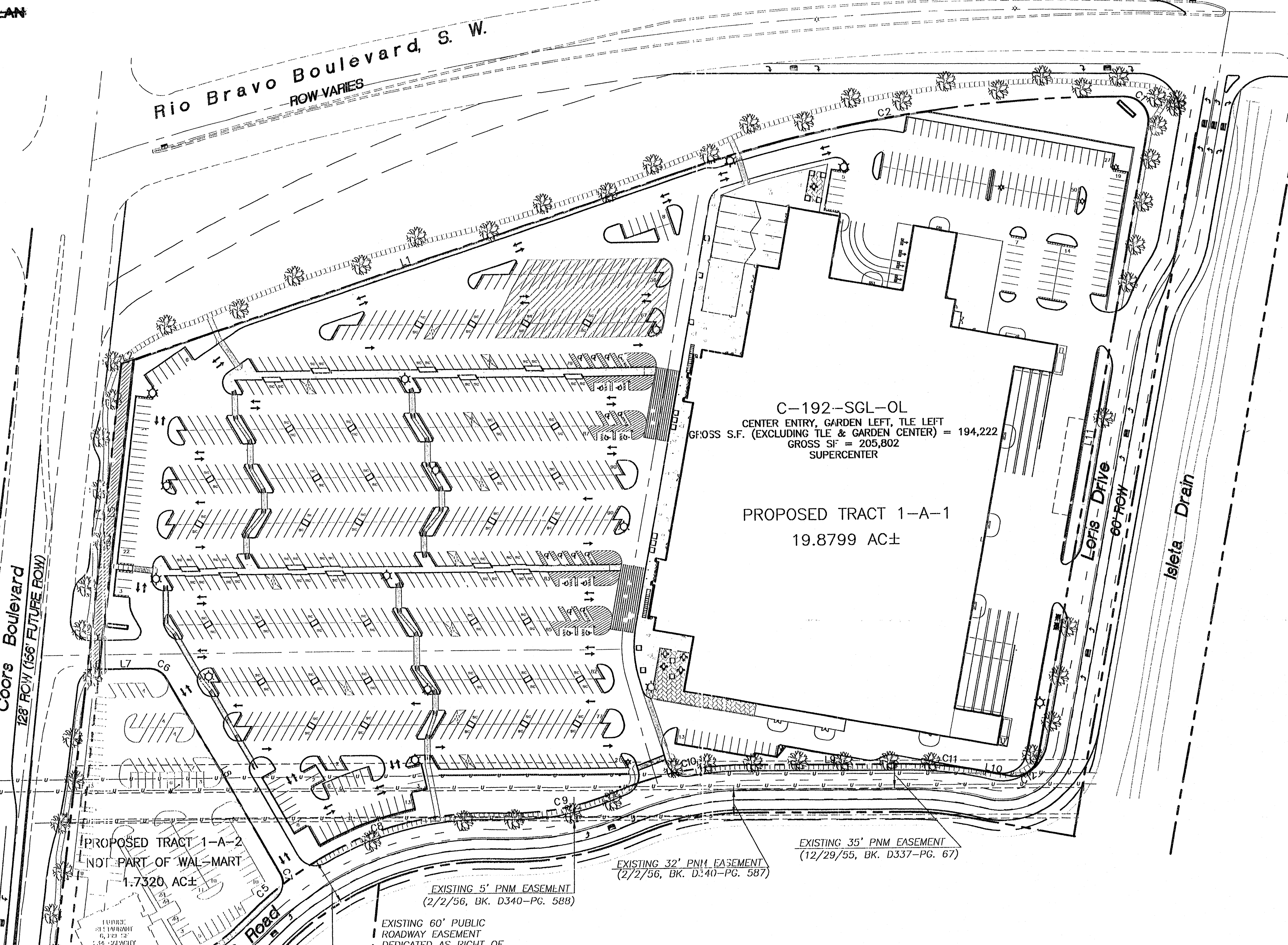
- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
 2. LANDSCAPE PLAN
 3. GRADING AND DRAINAGE PLAN
 4. MASTER UTILITY PLAN

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - PROPOSED PARKING SPACE
 - PROPOSED CURB
 - PROPOSED BUILDING
 - CENTERLINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - REQUIRED COA ROW DEDICATION
 - PROPOSED TREE
 - PROPOSED CART CORRAL
 - PROPOSED SITE LIGHTING



LEGAL DESCRIPTION:
TRACT 1A, LAMONICA AND WENK

- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 - CROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH BY PLAT.
 - ALL WHEELCHAIR RAMPS SHALL BE BUILT PER COA STD DWG. #2441.
 - PARAPETS/SCREEN WALLS SHALL BE EQUAL TO OR ABOVE THE TOP OF ALL HVAC EQUIPMENT.
 - NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
 - ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTURALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
 - VINYL COATED, PLASTIC REFLECTIVE TYPE AV. LINGS, FASCIA, BUILDING PANELS, SIGN RACEWAYS OR ROOFS SHALL NOT BE PERMITTED.
 - ALL METAL ROOFING SHALL BE CONSISTENT ON ALL BUILDINGS AND CANOPIES AND SHALL BE A GALVALUME FINISH.
 - FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 30' HIGH POLES WITH FULLY SHIELDED FIXTURES. LIGHTS WITHIN 100' TO A RESIDENTIAL ZONED AREA SHALL BE 16' HIGH MAX. ALL FIXTURES SHALL BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECT BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
 - PROPOSED CONDITIONS FOR SITE PLAN APPROVAL FOR THE ARCHITECTURAL DESIGN OF THE PAD SITE BUILDING SHALL BE COMPLEMENTARY TO THE ARCHITECTURE OF THE WAL-MART BUILDING UTILIZING SIMILAR MATERIALS, SUCH AS PITCHED CLAY TILE ROOF ELEMENTS, STUCCO WALL SURFACES, DECORATIVE MASONRY OR STONE WAINSCOTS, AND COLOR COORDINATED WINDOWS, DOORS AND TRIM.
 - PROPOSED CONDITIONS FOR SITE PLAN APPROVAL OF THE PAD SITE BUILDING CONFIGURATION SHALL INCORPORATE VARIED MASSING AND FORMS TO ARTICULATE IT, INCLUDING PITCHED ROOF ELEMENTS, PILASTERS, PROJECTED ENTRIES, AND WINDOWS, AND CANOPIES.
 - PROPOSED CONDITIONS FOR SITE PLAN APPROVAL SHALL HAVE ALL FOUR SIDES OF PAD SITE BUILDING EQUALLY ARTICULATED SO THAT NO FACE IS BLANK OR CONSIDERED THE "BACK" OF THE BUILDING.
 - ALL GROUND AND ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW WITH ARCHITECTURALLY INTEGRATED SCREENING ELEMENTS AT LEAST AS HIGH AS THE HIGHEST PART OF THE PIECE OF EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE COVERED TO PREVENT ANY GLARE FOR PASSING MOTORIST.
 - PROPOSED CONDITIONS FOR SITE PLAN APPROVAL OF PAD SITE SERVICE AREAS SHALL BE SCREENED WITH ARCHITECTURALLY INTEGRATED SCREEN WALLS AND/OR LANDSCAPING.
 - WHEN THE INTERCHANGE IS CONSTRUCTED AT COORS BLVD. AND RIO BRAVO BLVD. IT WILL BE CONSTRUCTED IN A MANNER THAT WILL PROVIDE SAFE AND EFFICIENT OPERATION OF THE INTERSECTING CORRIDORS.
 - THE JURISDICTION RESPONSIBLE FOR THE FINAL DESIGN OF THE INTERCHANGE WILL STRIVE TO ACCOMMODATE ACCESS PROVISIONS TO LORIS DRIVE WHILE PRESERVING SAFE AND EFFICIENT OPERATION ON THE RIO BRAVO CORRIDOR. ANY MODIFICATIONS ON THE DEVELOPMENT PROPERTY TO THE LORIS DRIVE ACCESS TO RIO BRAVO BASED ON THE FINAL DESIGN OF THE RIO BRAVO/COORS INTERCHANGE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS. THE PROPERTY OWNERS WILL NOT BE ENTITLED TO COMPENSATION OR DAMAGES ASSOCIATED WITH MODIFICATIONS TO OR REDUCTIONS OF ACCESS AT LORIS DRIVE AND RIO BRAVO.
 - SIGNAL TIMINGS AT THE INTERSECTION OF LORIS DRIVE AND RIO BRAVO BLVD. WILL BE SET TO ACCOMMODATE AND FAVOR THROUGH MOVEMENTS ON RIO BRAVO, TO THE EXTENT THAT MOVEMENTS ASSOCIATED WITH LORIS DRIVE WILL BE LIMITED TO A LEVEL OF SERVICE (LOS) NO BETTER THAN "C".
 - ANY SIGNAL SYSTEM INSTALLED AT LORIS DRIVE AND RIO BRAVO BLVD. MUST BE COMPATIBLE WITH AND INTERCONNECT WITH THE RIO BRAVO SMART CORRIDOR SYSTEM.
 - CART CORRAL SIGNAGE SHALL BE VISIBLE ABOVE PARKED VEHICLES TO ALERT CUSTOMERS OF LOCATION.
 - ALL REFUSE CONTAINERS SHALL BE SCREENED FROM VIEW.
 - PROPOSED BUILDING SHALL INCLUDE THE SALES OF PACKAGE LIQUORS PER STATE AND LOCAL STATUTES AT THE OWNERS OPTION.
 - SETBACKS SHALL BE BY SITE PLAN PER ZONING CODE FOR SU-1 DESIGNATIONS.



SITE DATA

PROPOSED USAGE:	RETAIL
PROPOSED COORS ROW DEDICATION:	1,236 AC±
PROPOSED TRACT 1-A-1 AREA:	19,879 AC±
PROPOSED TRACT 1-A-2 AREA:	1,732 AC±
TOTAL AREA:	21,735 AC±
BUILDING AREA TOTAL:	205,802 SF
BUILDING:	194,222 SF
GARDEN CENTER AND TILE:	11,580 SF
FAR:	.24
MAXIMUM BUILDING HEIGHT:	33'-4"
PARKING REQUIRED BUILDING (1 PER 200):	971 SPACES
PARKING REQUIRED GARDEN CENTER AND TILE (1 PER 400):	29 SPACES
TOTAL PARKING REQUIRED:	1000 SPACES
TOTAL PARKING REQUIRED LESS 10% BUS CREDIT:	900 SPACES
PARKING PROVIDED:	1005 SPACES (108 SMALL CAR)
PARKING RATIO:	4.88 SPACES PER 1000 SF
HC PARKING PROVIDED:	20 SPACES
	11 SPACES VAN ACCESSIBLE
	20 SPACES
	3 SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	29 SPACES (15 BIKE SPACES SHALL BE SECURED LOCKERS)
BIKE SPACES REQUIRED:	29 SPACES
SHOWER PROVIDED:	2 SHOWER
SHOWER REQUIRED:	2 SHOWER
LANDSCAPE PROVIDED:	103,016 SF
LANDSCAPE REQUIRED (15% OF NET LOT AREA):	100,165 SF

FUTURE TRACT 1-A-2 SITE DATA:

BUILDING AREA TOTAL:	6,069 SF
PARKING REQUIRED BUILDING (1 SPACE PER 3 CUSTOMERS):	78 SPACES
TOTAL PARKING REQUIRED:	78 SPACES
PARKING PROVIDED:	104 SPACES (3 SMALL CAR)

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	52.28	30.00	99°50'25"	S23°25'18"W	45.91
C2	563.94	1707.03	18°55'43"	S80°57'56"W	561.38
C3	54.06	30.00	103°15'19"	S41°47'22"E	47.04
C4	237.99	350.00	38°57'32"	N61°03'11"E	233.43
C5	56.29	468.95	6°52'37"	S48°16'19"W	56.25
C6	26.50	25.00	60°43'20"	N59°54'26"W	25.27
C7	13.07	25.00	29°57'16"	N14°34'08"W	12.92
C8	286.39	414.63	39°34'32"	S72°30'11"W	280.73
C9	151.77	350.00	24°50'41"	N80°05'21"E	150.58
C10	162.06	410.00	22°38'52"	S78°54'39"W	161.01
C11	73.11	410.00	10°13'01"	N84°39'15"W	73.01
C12	47.12	30.00	89°59'33"	N55°27'30"E	42.42

LINE TABLE

LINE	LENGTH	BEARING
L1	710.77	S71°14'06"W
L2	15.48	S71°14'06"W
L3	381.82	S06°57'44"W
L4	378.45	S06°57'44"W
L5	386.65	S06°57'39"W
L6	14.12	N89°43'54"E
L7	81.23	N89°43'54"E
L8	281.22	S29°32'46"E
L9	203.47	S89°45'45"E
L10	51.39	S79°32'43"E
L11	794.06	N10°27'04"E

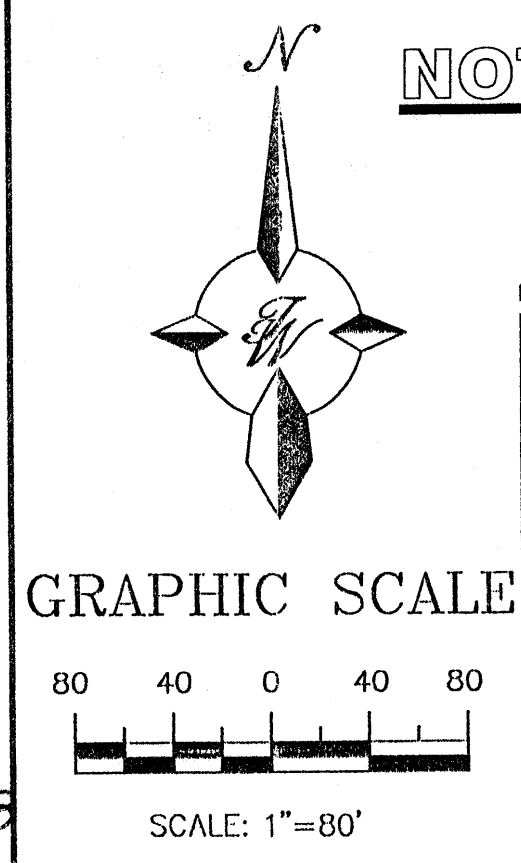
PROJECT NUMBER: 03-060-D1783-103-DRS-0140

APPLICATION NUMBER: 1000650

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 11/19/03 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

City Engineer, Transportation Division	Date
<i>Roger A. Rice</i>	11-19-03
Utilities Development	Date
<i>Christina Sandoval</i>	11/19/03
Parks & Recreation Department	Date
<i>Richard A. Cook</i>	11/19/03
City Engineer	Date
<i>VA</i>	
Environmental Health Department (conditional)	Date
<i>VA</i>	
Solid Waste Management	Date
<i>Sharon Watson</i>	11/19/03
DRB Chairperson, Planning Department	Date

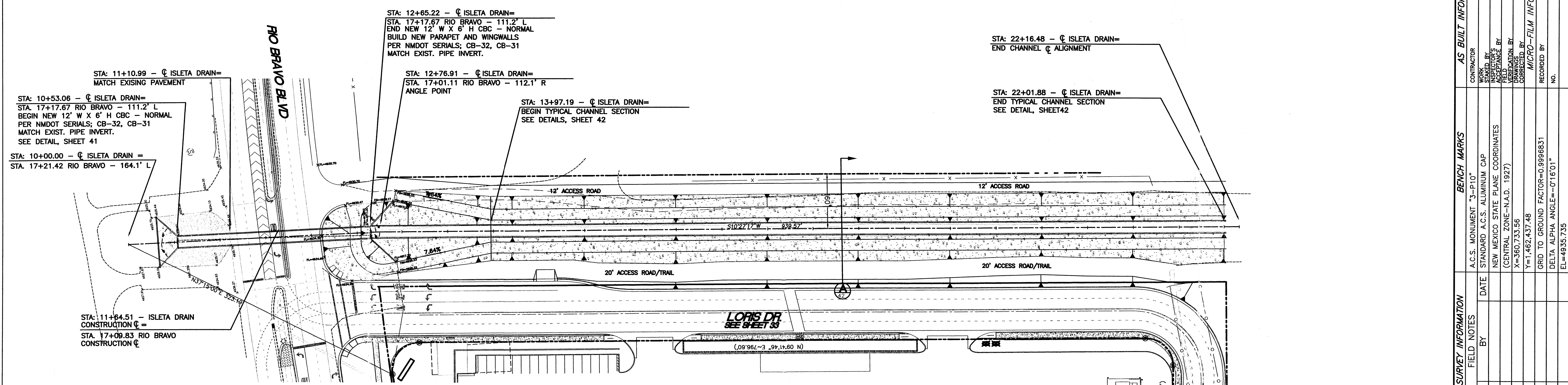


NOTE: FOR REFERENCE ONLY

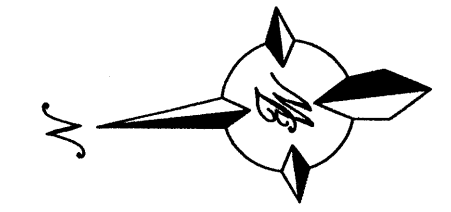
ENGINEER'S SEAL	ALBUQUERQUE SOUTH WAL-MART #5430-00	DRAWN BY WCVJ
<i>Ronald R. Bohannon</i>	SITE PLAN FOR SUBDIVISION	DATE 11-19-03
RONALD R. BOHANNON P.E. #868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2284SPSD-11-17-03X
		SHEET # 1 OF 4
		JOB # 220094

10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00 19+00 20+00 21+00 22+00

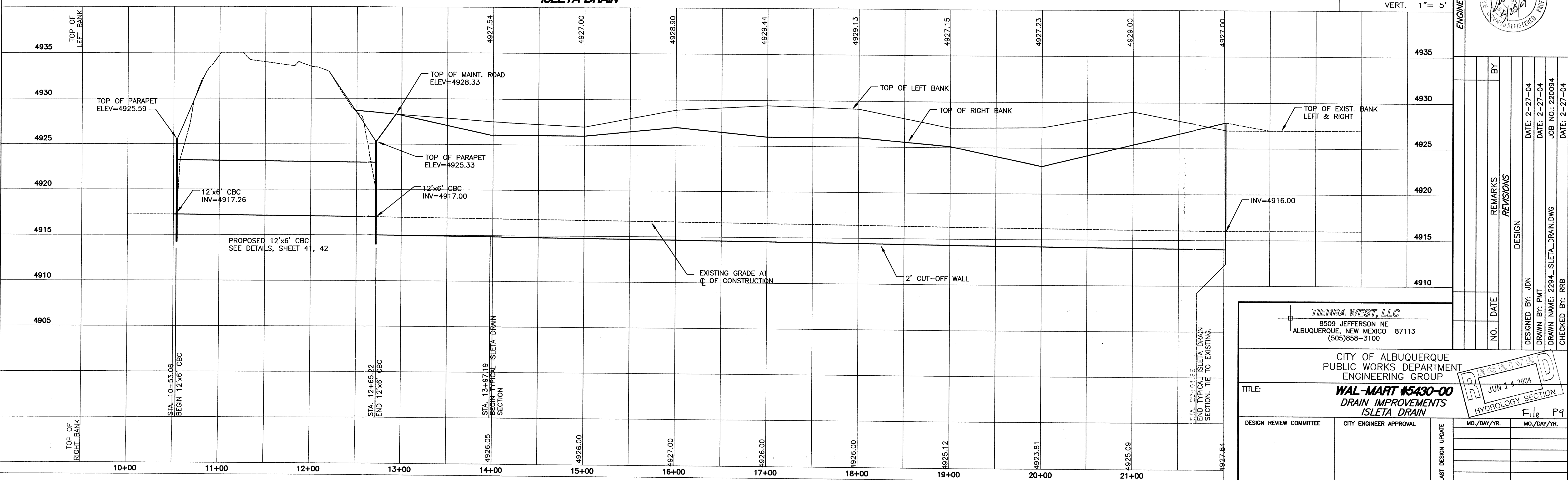
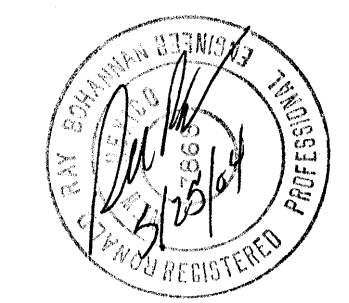
NOTE:
1. SEE SHEET 42 FOR TYPICAL CHANNEL SECTION



SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	FIELD NOTES	CONTRACTOR	DATE
				WORKED BY	DATE
				INSPECTOR'S ACCEPTANCE BY	DATE
				VERIFICATION BY	DATE
				DRAWN BY	DATE
				CHECKED BY	DATE
				MICRO-FILM INFORMATION	DATE
				RECORDED BY	DATE
				NO.	



SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **WAL-MART #5430-00**
DRAIN IMPROVEMENTS
ISLETA DRAIN

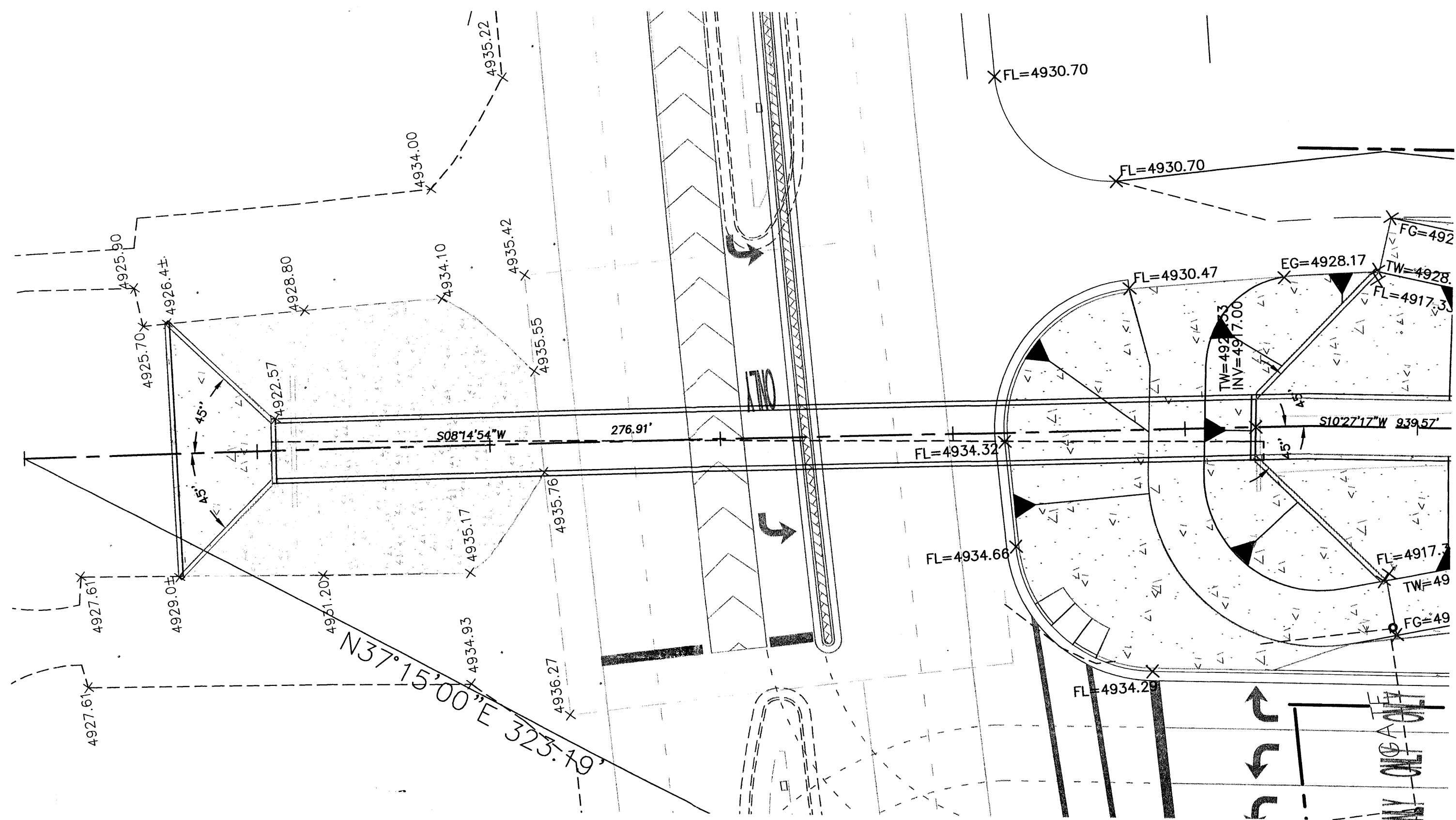
DESIGNED BY: JDN
DRAWN BY: PMT
CHECKED BY: RRB

DATE: 2-27-04
DATE: 2-27-04
JOB NO: 220094
DATE: 2-27-04

DESIGN REVIEW COMMITTEE: [] CITY ENGINEER APPROVAL: []

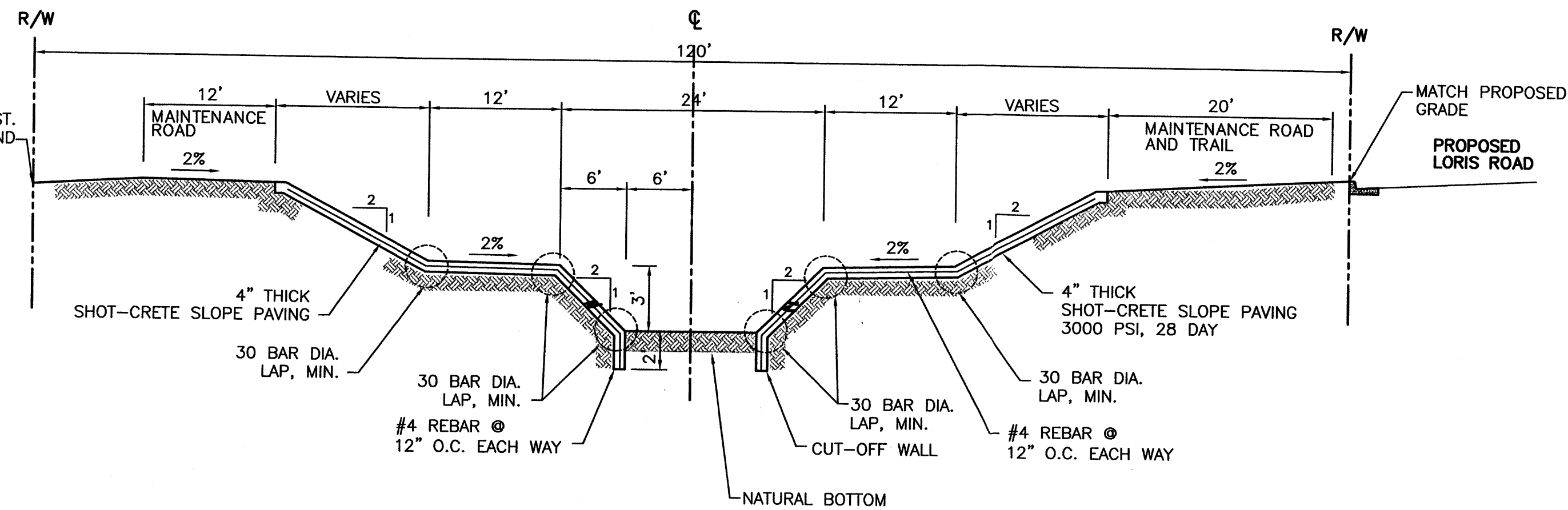
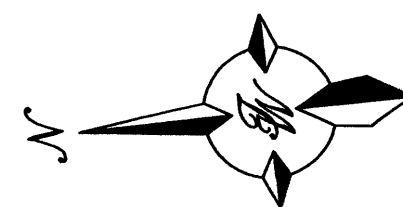
LAST DESIGN UPDATE: []

CITY PROJECT NO. [] ZONE MAP NO. P-10-7 SHEET 23 OF 47



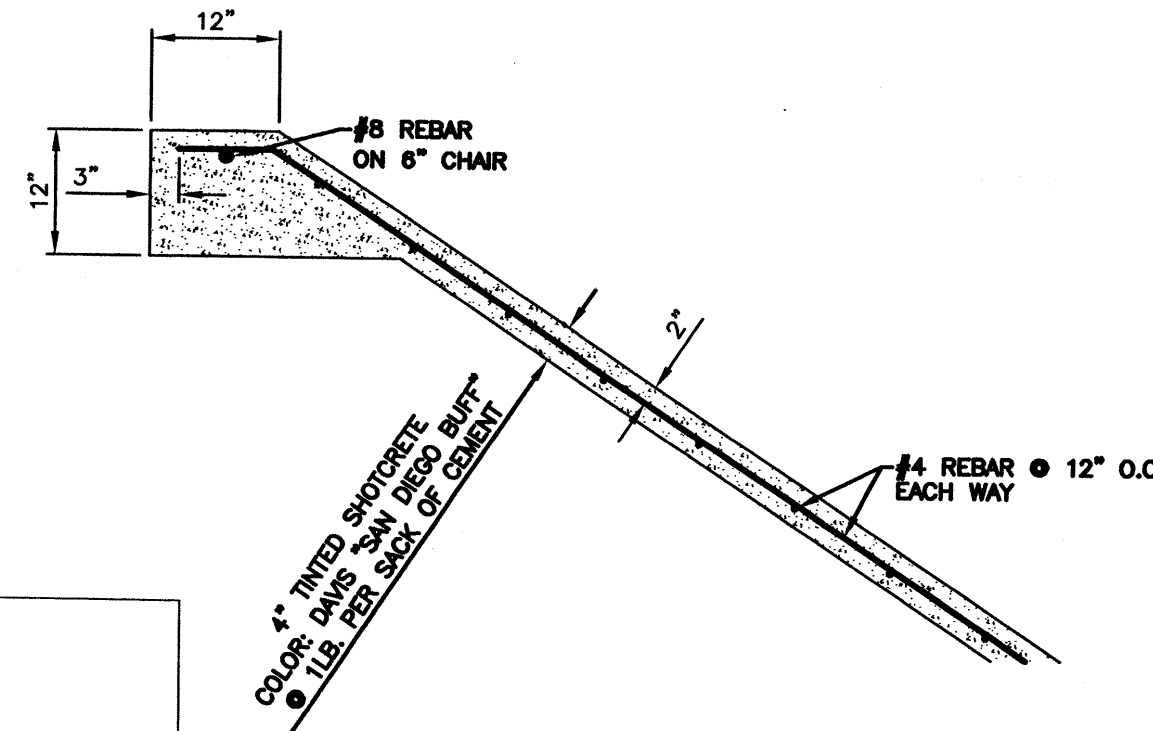
**ISLETA DRAIN
12' x 6' CBC DETAIL**

SCALE: 1"=20'



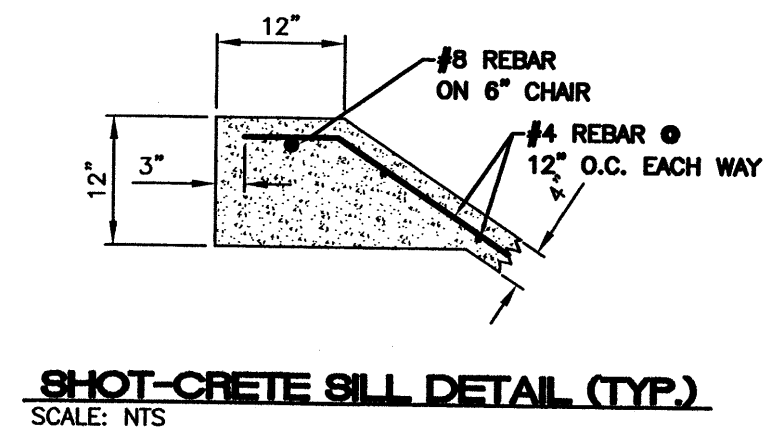
**ISLETA DRAIN
TYPICAL CHANNEL SECTION - A**

SCALE: 1"=10'



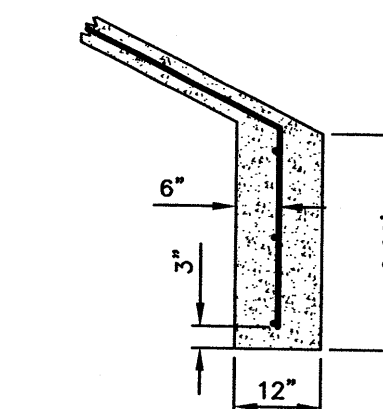
SHOT-CRETE LINING DETAIL

SCALE: NTS



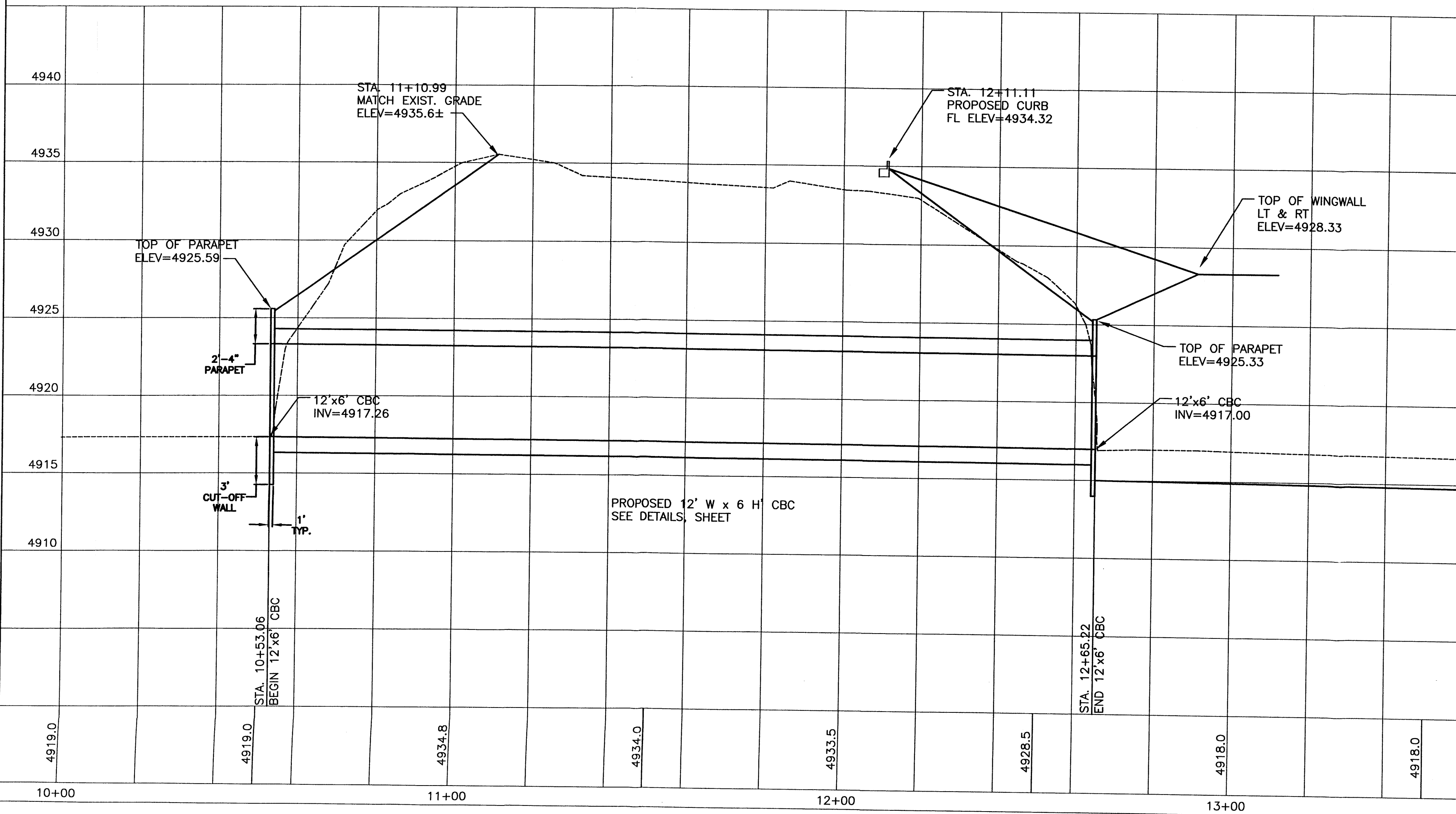
SHOT-CRETE SILL DETAIL (TYP.)

SCALE: NTS



SHOT-CRETE FOOTING DETAIL (TYP.)

SCALE: NTS



TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **WAL-MART #5430-00**
ISLETA DRAIN DETAIL SHEET

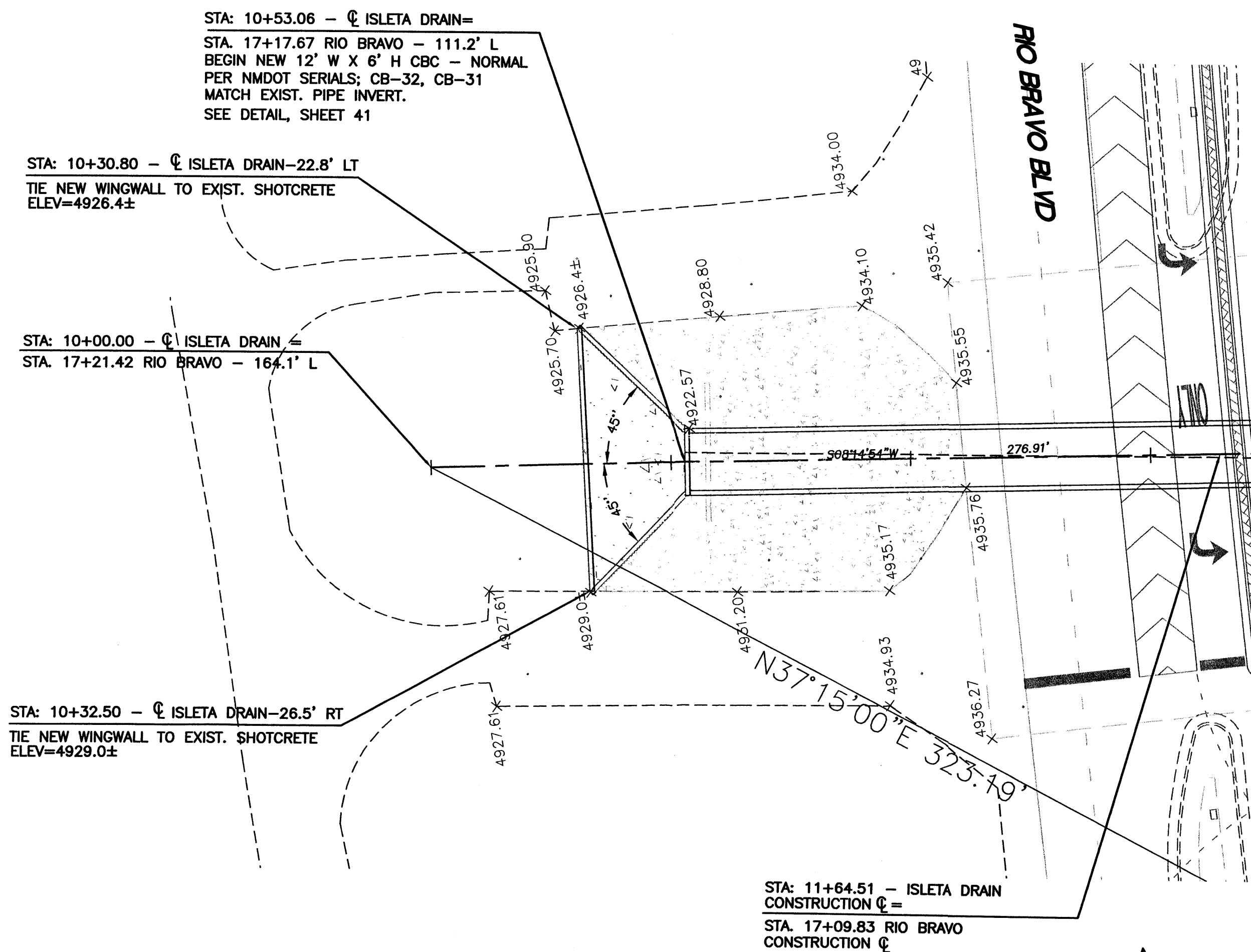
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET OF
		P-10-Z	24 47

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORKS SHOWN	DATE
INSPECTOR'S VERIFICATION BY	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

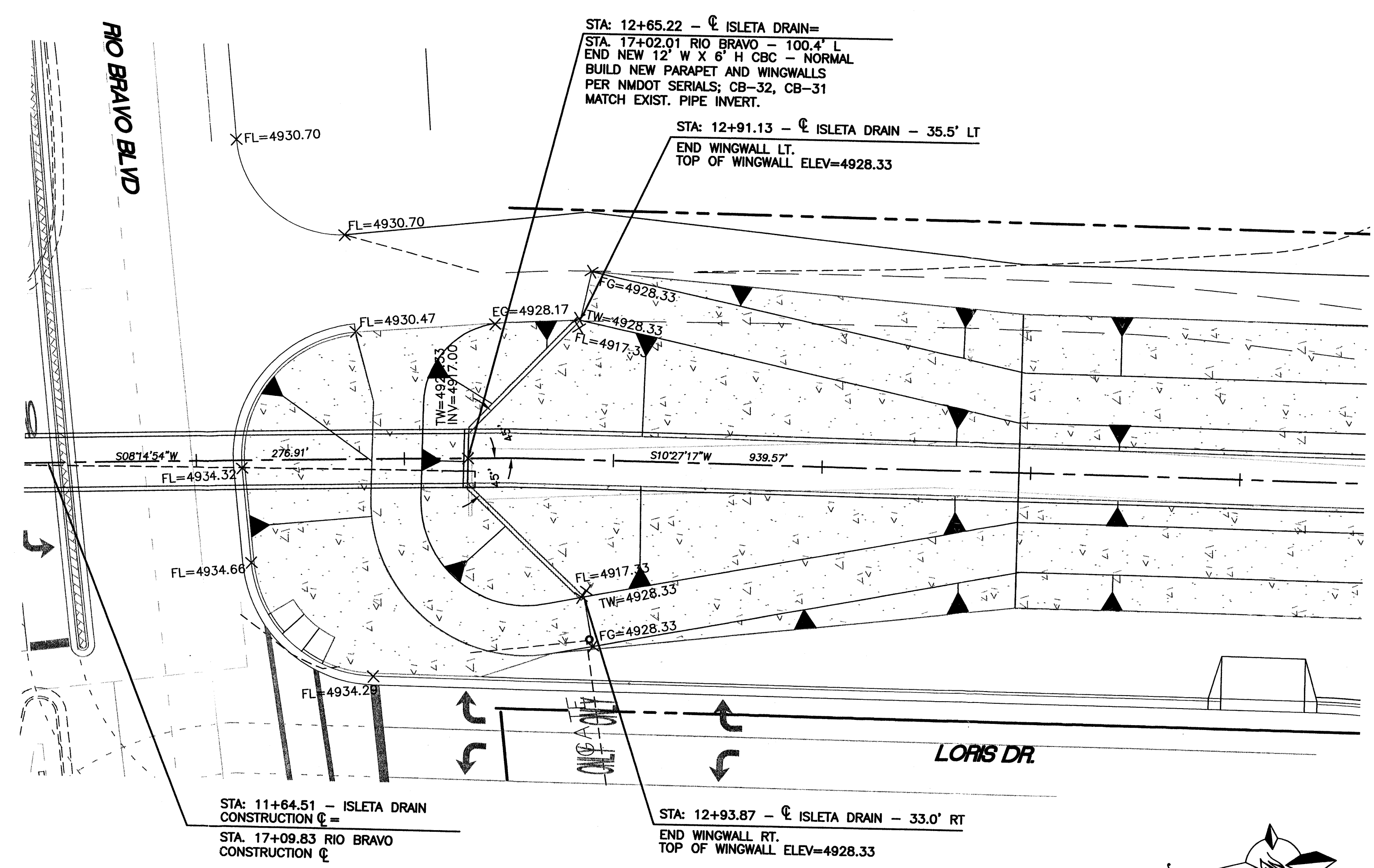
BENCH MARKS	
A.C.S. MONUMENT "3-P10"	
STANDARD A.C.S. ALUMINUM CAP	
NEW MEXICO STATE PLANE COORDINATES	
(CENTRAL ZONE-N.A.D. 1927)	
X=360,733.56	
Y=1,462,437.48	
GRID TO GROUND FACTOR=0.9996831	
DELTA ALPHA ANGLE=-0°16'01"	
EL=4935.735	

SURVEY INFORMATION	
NO.	FIELD NOTES
BY	

ENGINEER'S SEAL	
NO.	DATE
BY	
REMARKS	
REVISIONS	
DESIGN	
DESIGNED BY: JDN	DATE: 2-27-04
DRAWN BY: PMT	DATE: 2-27-04
DRAWN NAME: 2294-ISLETA_DRAIN.DWG	JOB NO.: 220094
CHECKED BY: RRB	DATE: 2-27-04



**ISLETA DRAIN - STA. 10+53
WINGWALL DETAIL**
SCALE: 1"=20'



**ISLETA DRAIN - STA. 12+65
WINGWALL DETAIL**
SCALE: 1"=20'

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

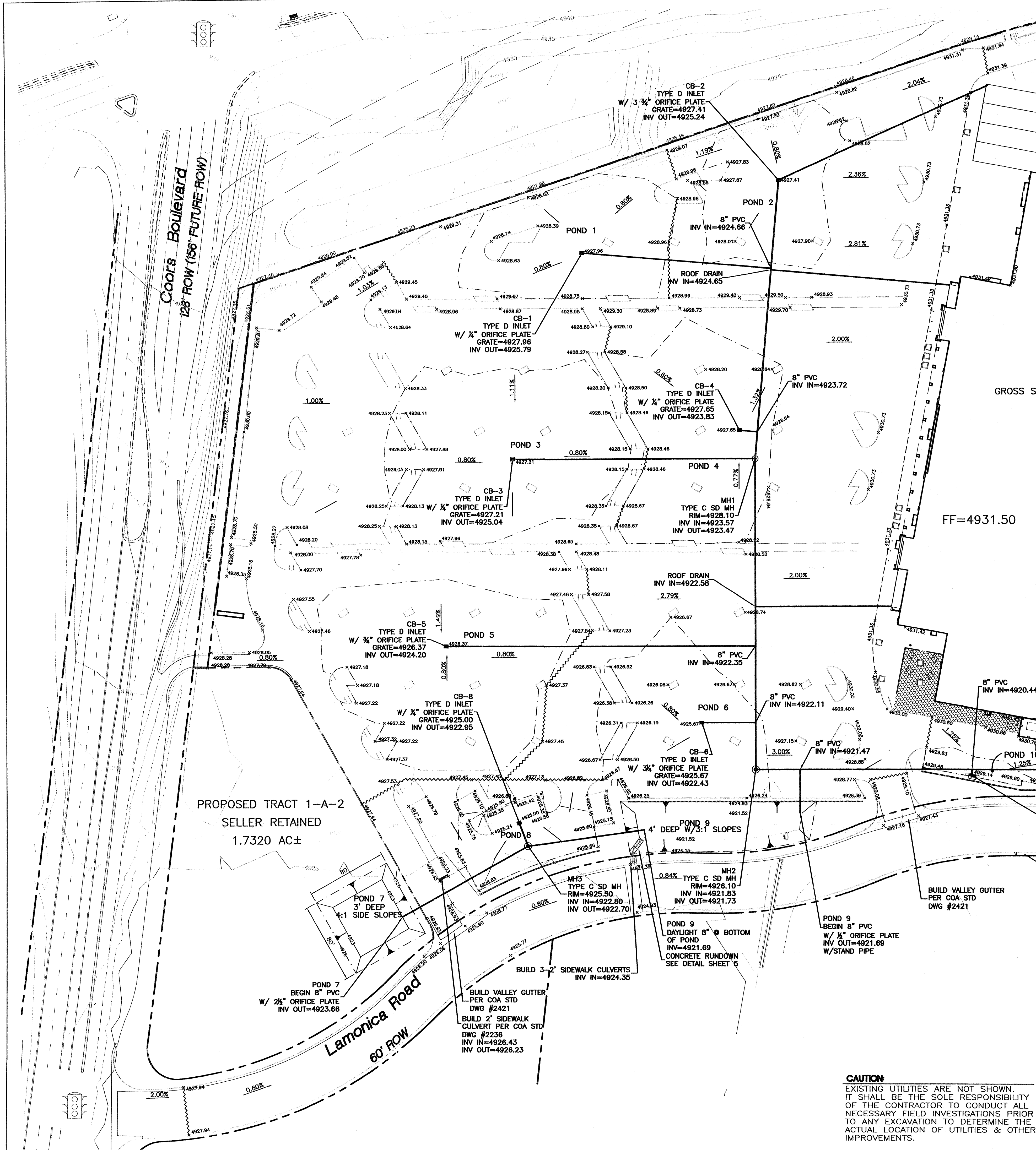
TITLE: **WAL-MART #5430-00**
ISLETA DRAIN WINGWALL DETAIL SHEET

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. -		ZONE MAP NO. P-10-7	SHEET 25 OF 47

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	BY	FIELD NOTES	A.C.S. MONUMENT "3-P10"	CONTRACTOR	DATE	NO.
				STANDARD A.C.S. ALUMINUM CAP <td></td> <td></td> <td></td>			
				NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) <td>INSPECTOR'S <td>DATE</td> <td></td> </td>	INSPECTOR'S <td>DATE</td> <td></td>	DATE	
				X=360,733.56 <td>FIELD CHANGE BY <td>DATE</td> <td></td> </td>	FIELD CHANGE BY <td>DATE</td> <td></td>	DATE	
				Y=1,462,437.48 <td>VERIFICATION BY <td>DATE</td> <td></td> </td>	VERIFICATION BY <td>DATE</td> <td></td>	DATE	
				GRID TO GROUND FACTOR=0.9996831 <td>CORRECTED BY <td>DATE</td> <td></td> </td>	CORRECTED BY <td>DATE</td> <td></td>	DATE	
				DELTA ALPHA ANGLE=0°16'01" <td>MICRO-FILM INFORMATION <td>DATE</td> <td></td> </td>	MICRO-FILM INFORMATION <td>DATE</td> <td></td>	DATE	
				EL=4895.735 <td>RECORDED BY <td>DATE</td> <td></td> </td>	RECORDED BY <td>DATE</td> <td></td>	DATE	



NO.	DATE	REMARKS	BY
		DESIGN	
	DATE: 2-27-04		
	DATE: 2-27-04		
	JOB NO.: 220094		
	DATE: 2-27-04		



- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

STORM SEWER PIPE INFORMATION

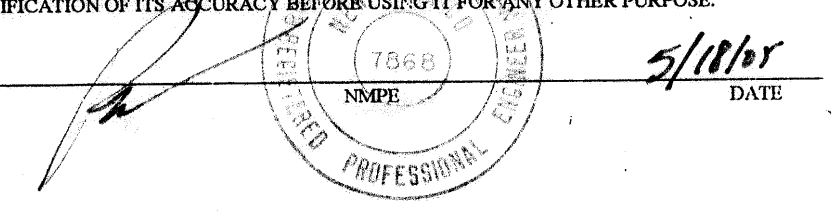
LOCATION	PIPE SIZE	LF	SLOPE
CB-1 TO MAIN LINE	8" PVC	188.55	0.60%
CB-2 TO MH-1	8" PVC	278.12	0.60%
CB-3 TO MH-1	8" PVC	241.22	0.60%
CB-4 TO MAIN LINE	8" PVC	17.93	0.60%
CB-5 TO MAIN LINE	8" PVC	307.81	0.60%
CB-6 TO MAIN LINE	8" PVC	53.39	0.60%
MH-1 TO MH-2	8" PVC	308.98	0.60%
CB-8 TO MH-3	8" PVC	24.77	0.60%
POND 7 TO MH-3	8" PVC	143.55	0.60%
MH-3 TO POND 9	8" PVC	116.90	0.60%
POND 9 TO MAIN LINE	8" PVC	43.00	0.50%
MH-2 TO MH-4	8" PVC	371.16	0.60%

DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/01
DRAINAGE CERTIFICATION

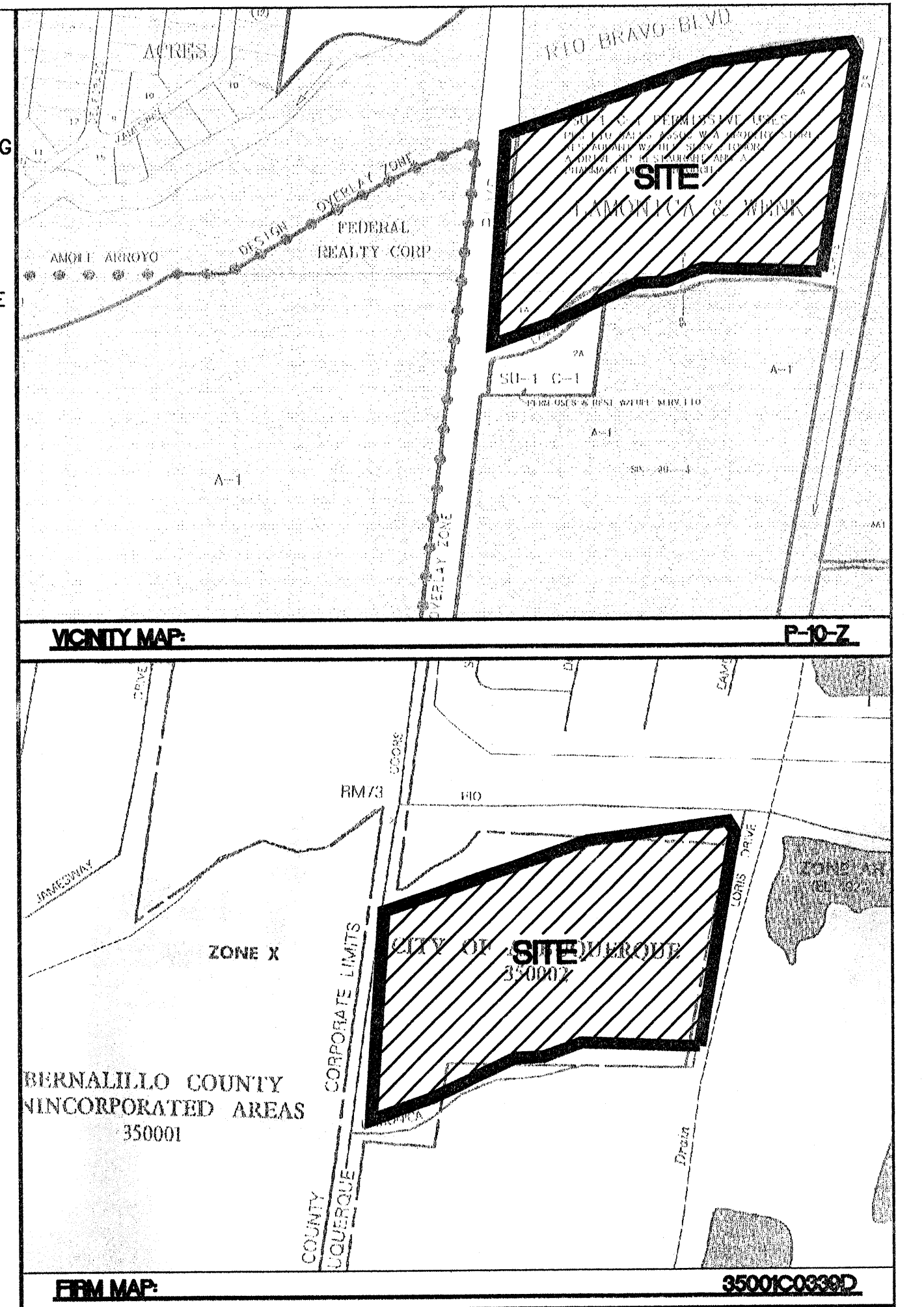
I, RONALD R. BOHANNAN, N.M.P.E. #7868, OF THE FIRM TIERRA WEST, L.L.C., CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/10/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR 30-DAY TEMPORARY CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE: EXCEPTIONS HERE: CONTRACTOR TO PROVIDE GRADING AS-BUILTS AND COMPLETE SIDEWALK CURB/VERT INSPECTION WITH COA STORM DRAIN MAINTENANCE DEPT. COMPLETE MASS GRADING OF TRACT 1-A-2 INCLUDING ORIFICE PLATE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



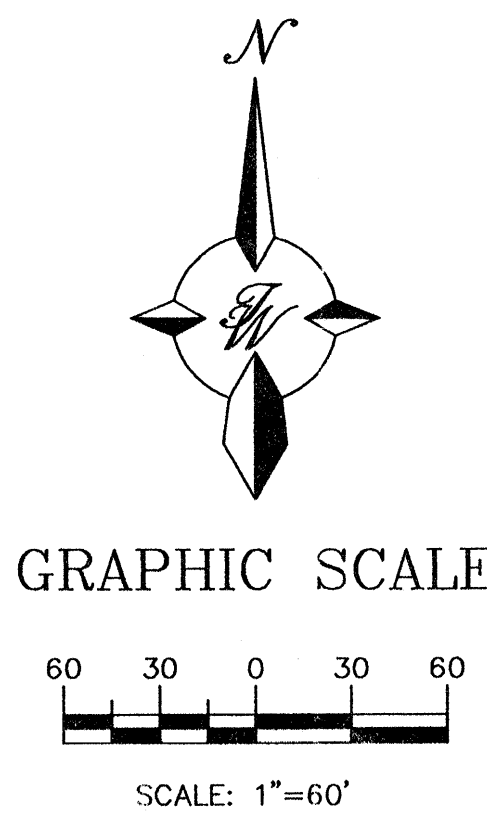
MATCHLINE SEE SHEET 2



LEGAL DESCRIPTION
TRACT 1A, LAMONICA AND WENK
NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. SEE SHEET 3B FOR ALL DETAILS.

LEGEND

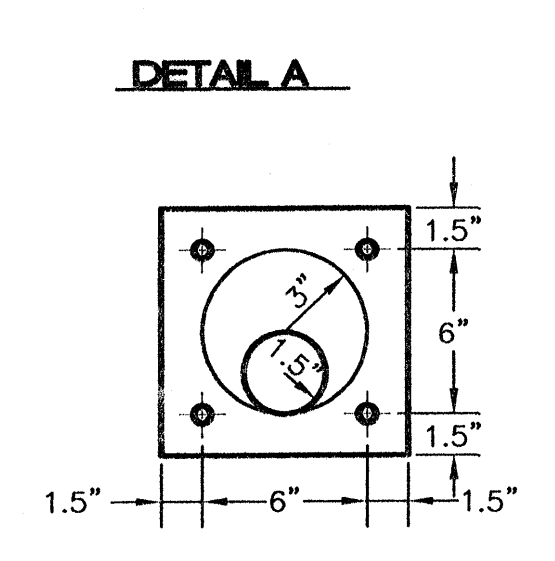
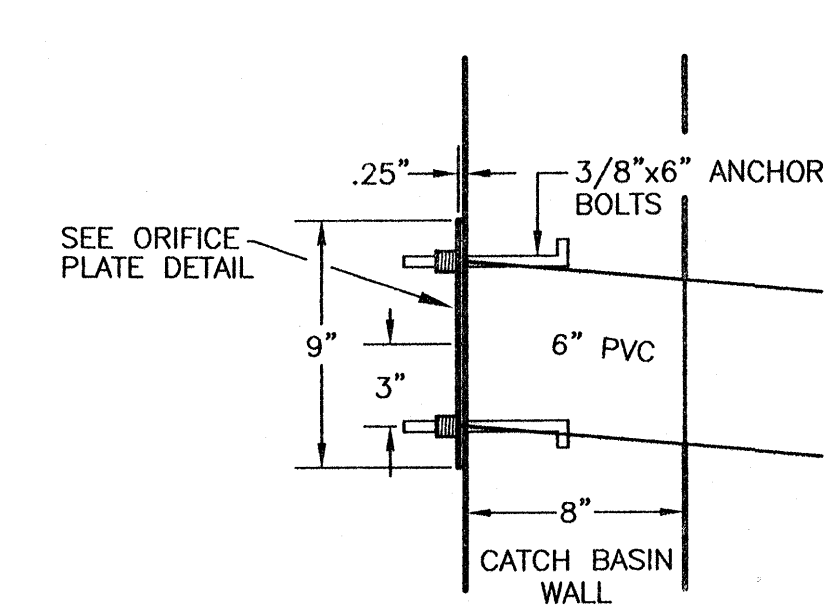
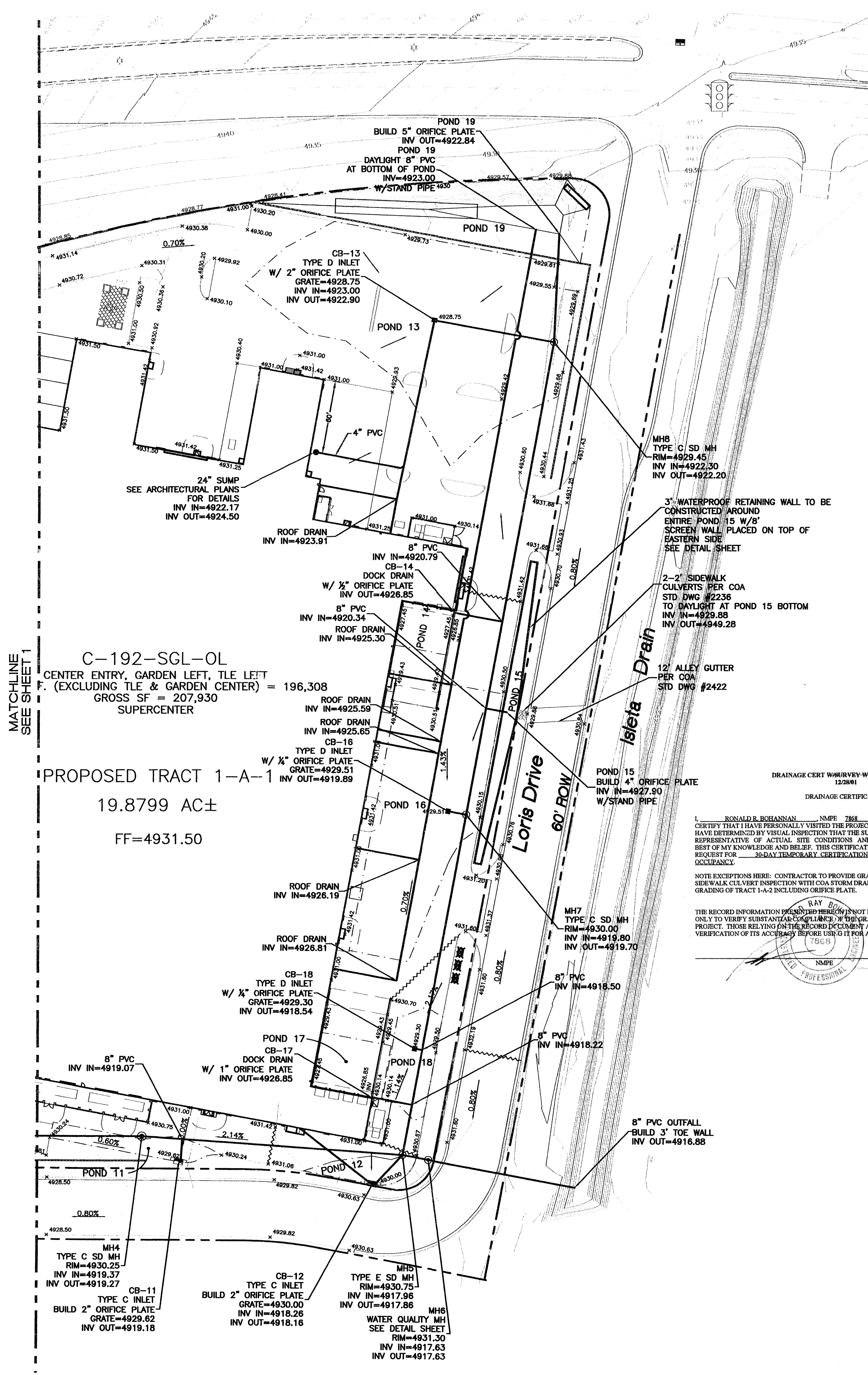
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- GRADING HIGH POINT
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION



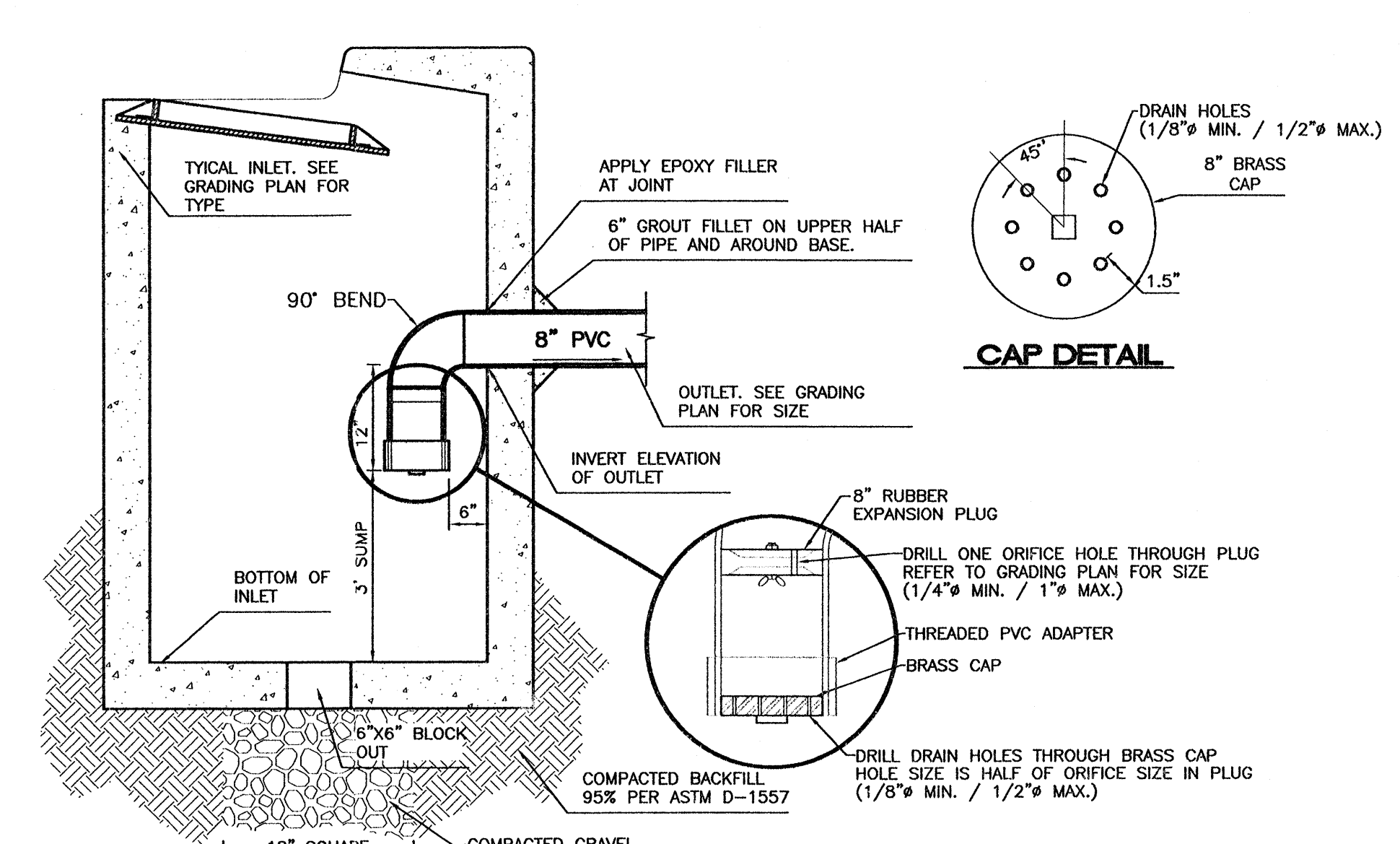
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ROUGH GRADING APPROVAL

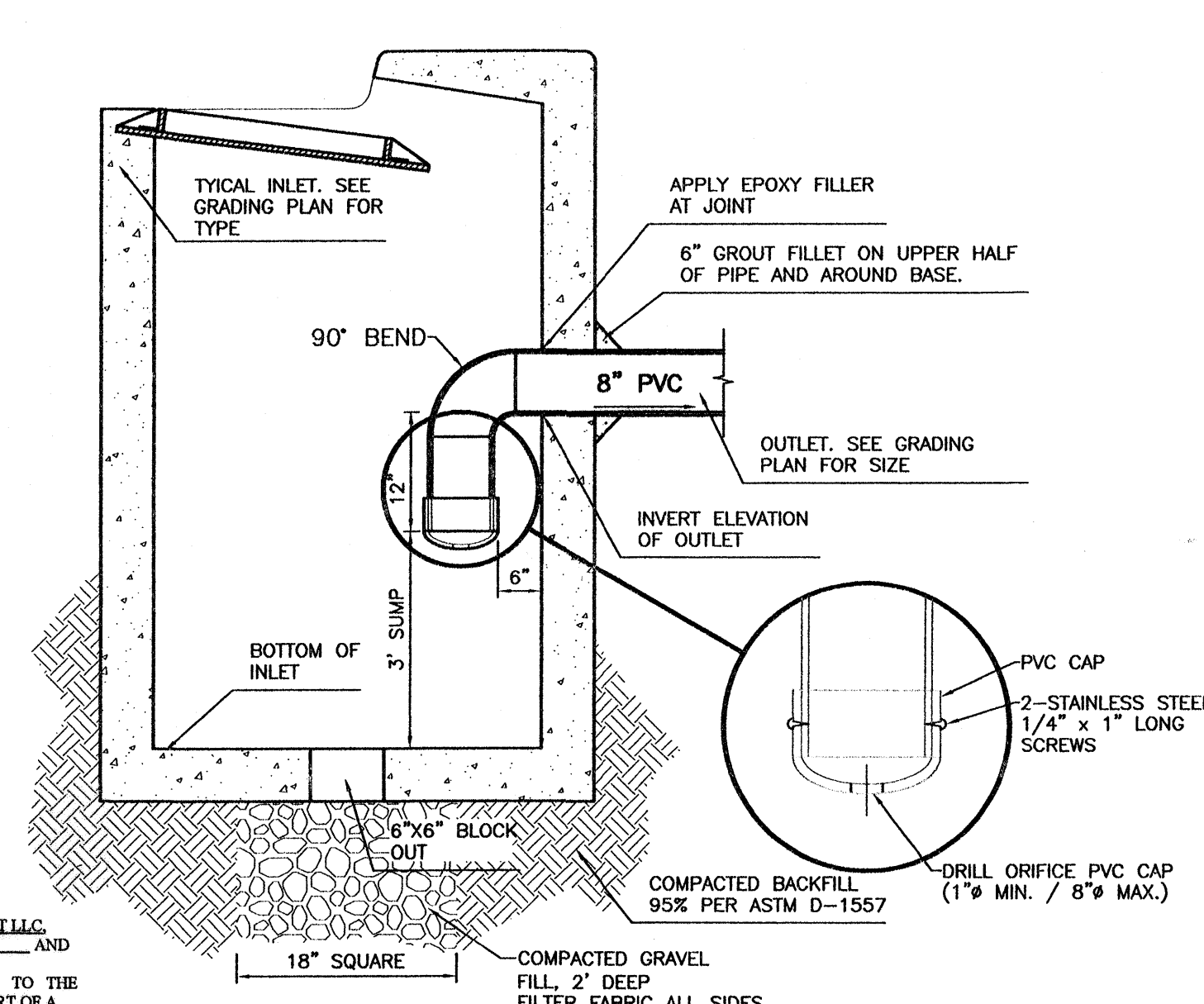
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		DRAWN BY: WCVJ	
		DATE: 2-25-04	
ALBUQUERQUE SOUTH WAL-MART #5430-00 GRADING AND DRAINAGE PLAN		2294GRB-2-17-04X	
TIERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # 4 OF 8	
RONALD R. BOHANNAN P.E. #7868		JOB # 220094	



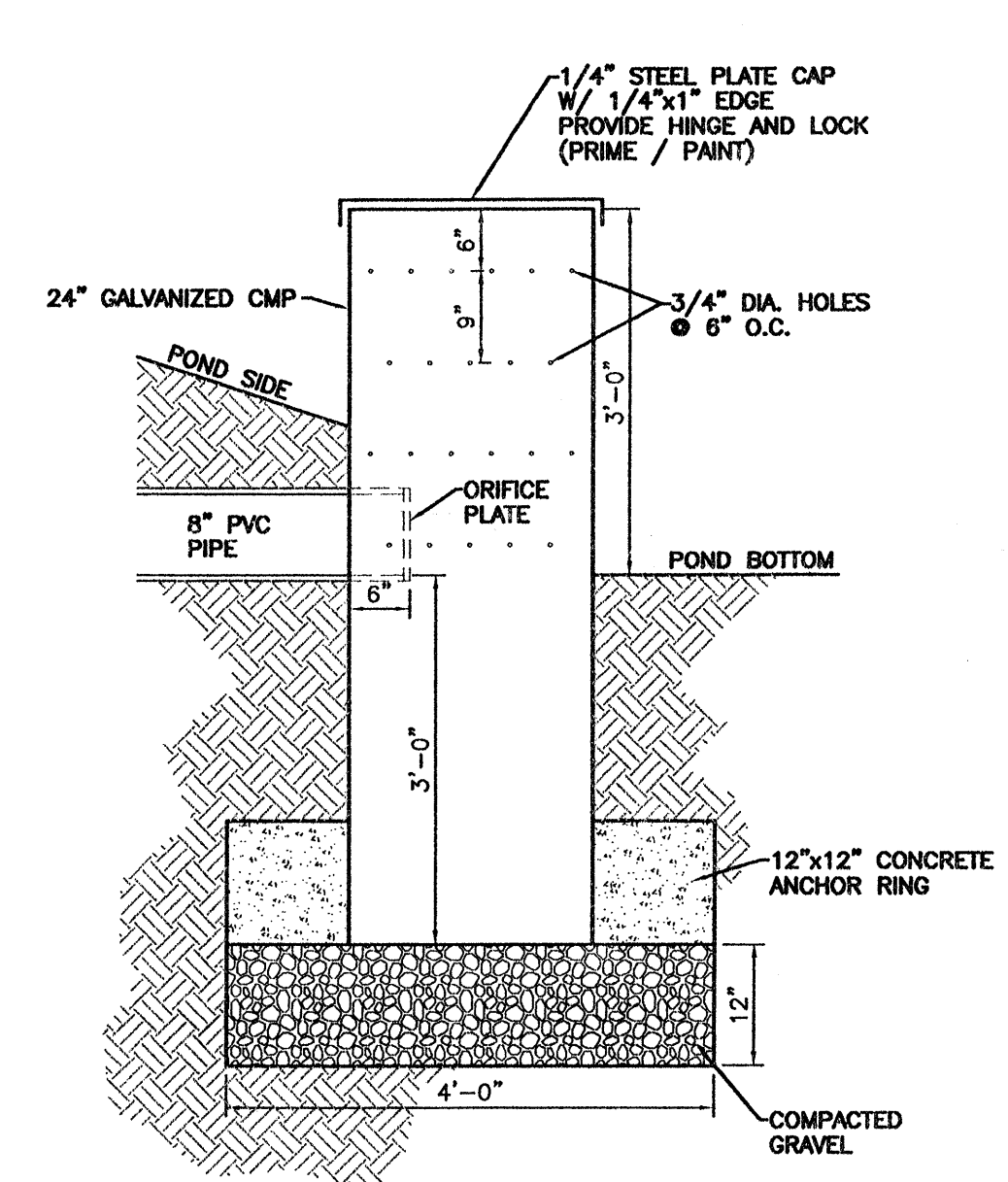
NOTE: TO BE USED AT TRUCK DOCKS



NOTE: INLET TO BE CLEANED OUT AFTER EACH MAJOR EVENT OR WHEN SUMP ACCUMULATES DEBRIS.



NOTE: INLET TO BE CLEANED OUT AFTER EACH MAJOR EVENT OR WHEN SUMP ACCUMULATES DEBRIS.



DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12/28/01
DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, N.M.P.E. #7868, OF THE FIRM TERRA WEST, LLC, CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/14/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR 30-DAY TEMPORARY CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

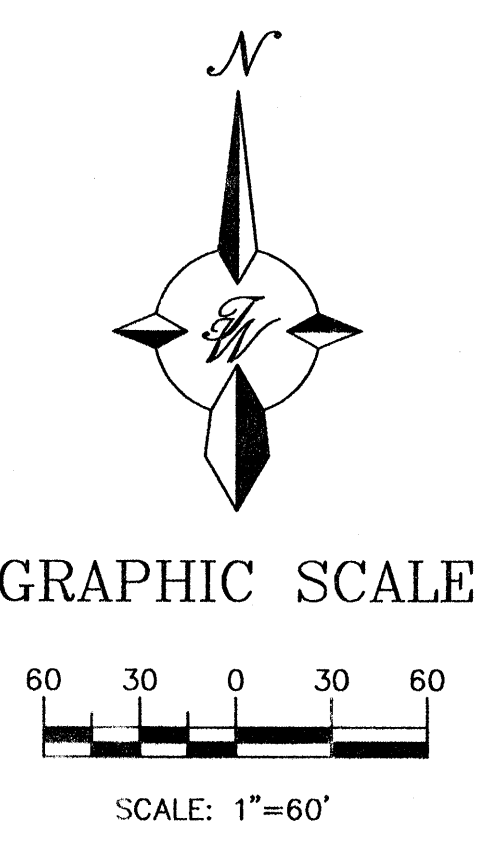
NOTE: EXCEPTIONS HERE: CONTRACTOR TO PROVIDE GRADING AS-BUILTS AND COMPLETE SIDEWALK CULVERT INSPECTION WITH COA STORM DRAIN MAINTENANCE DEPT. COMPLETE MASS GRADING OF TRACT 1-A-2 INCLUDING ORIFICE PLATE.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN AN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

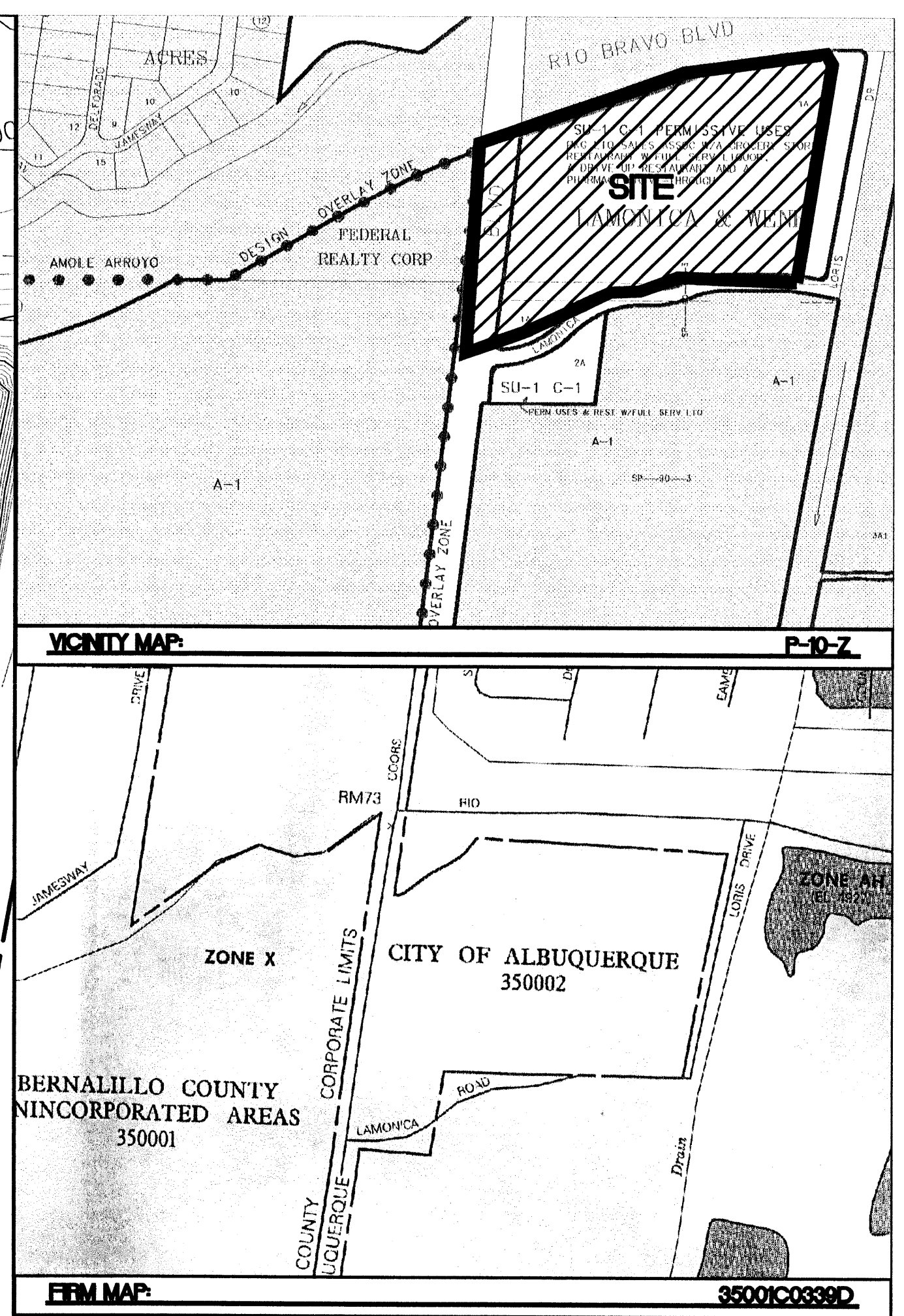
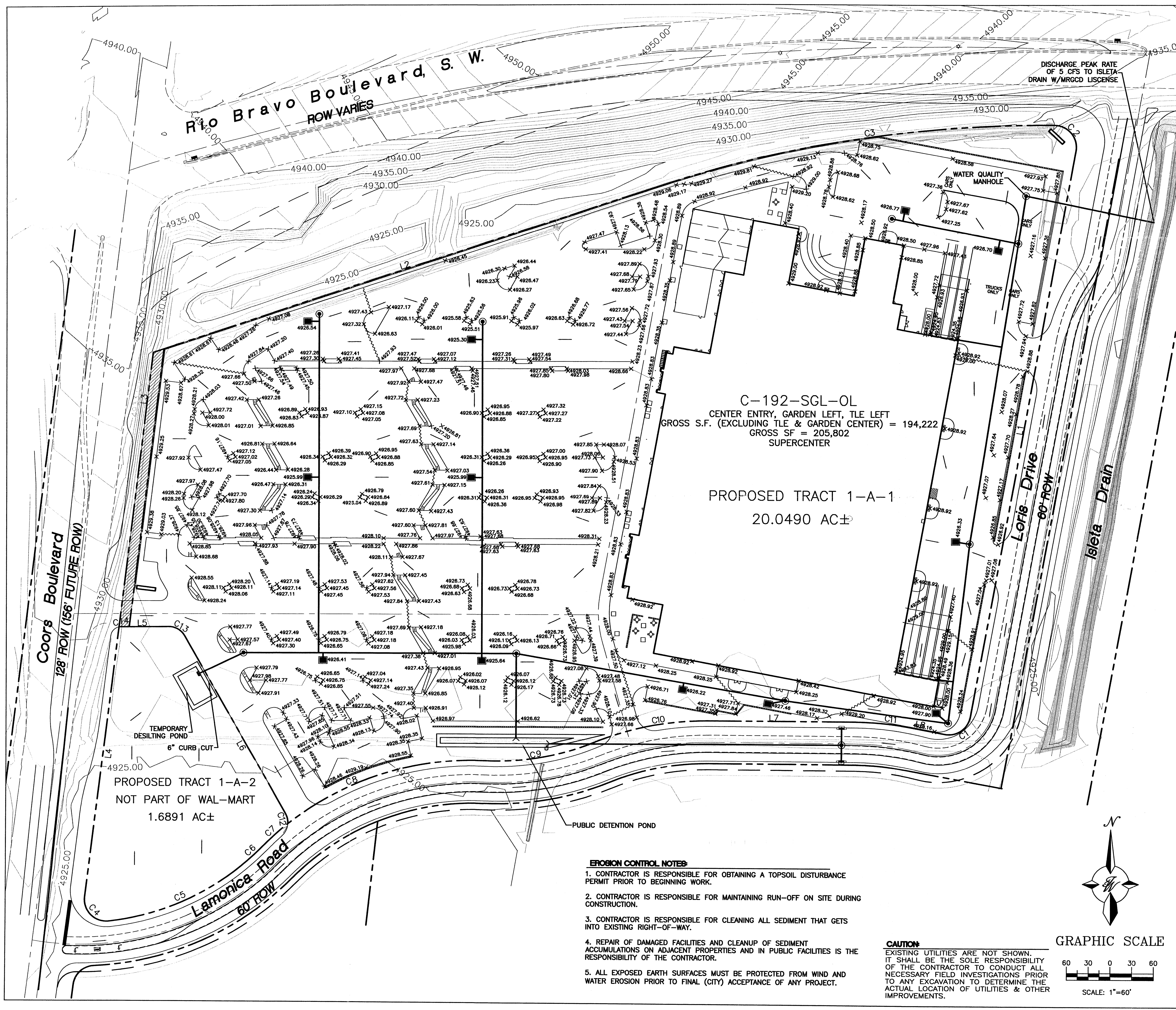
RAY BOHANNAN
N.M.P.E.
5/14/04
DATE

STORM SEWER PIPE INFORMATION

LOCATION	PIPE SIZE	LF	SLOPE
CB-11 TO MAIN LINE	8" PVC	17.41	0.60%
CB-12 TO MH-5	8" PVC	33.68	0.60%
CB-3 TO MH-1	8" PVC	241.22	0.60%
MH-4 TO MH-5	8" PVC	217.82	0.60%
MH-5 TO MH-6	8" PVC	22.00	0.60%
MH-6 TO OUTFALL	8" PVC	124.13	0.60%
MH-7 TO MH-5	8" PVC	288.56	0.60%
MH-8 TO MH-7	8" PVC	399.19	0.60%
CB-13 TO MH-8	8" PVC	101.22	0.60%
CB-14 TO MAIN LINE	8" PVC	40.53	15.12%
CB-16 TO MAIN LINE	8" PVC	15.32	0.60%
CB-17 TO MAIN LINE	8" PVC	33.86	25.49%
CB-18 TO MAIN LINE	8" PVC	6.49	0.60%
POND 15 TO MAIN LINE	8" PVC	17.48	43.25%
ROOF DRAIN TO POND 19	8" PVC	307.04	0.60%
POND 19 TO MH-8	8" PVC	89.79	0.60%



NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		ALBUQUERQUE SOUTH WAL-MART #5430-00	DRAWN BY WCWJ
			DATE 2-26-04
		GRADING AND DRAINAGE PLAN	2294GRB-2-17-04X
		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 5 OF 8
RONALD R. BOHANNAN P.E. #7868			JOB # 220094



LEGAL DESCRIPTION:
 TRACT 1A, LAMONICA AND WENK
NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

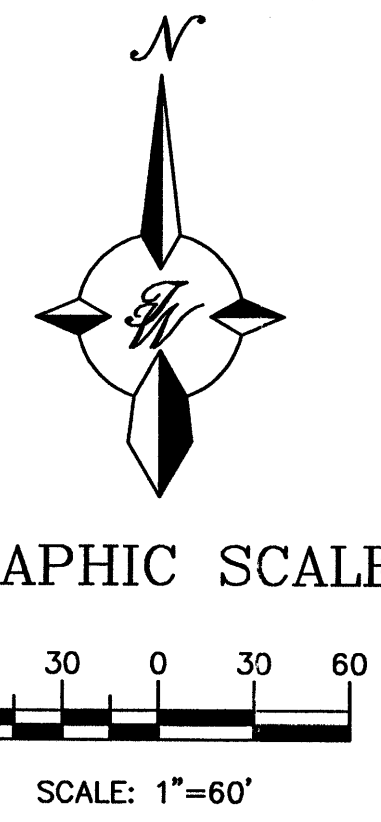
LEGEND

	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED DBL "A" INLET
	PROPOSED SGNL "A" INLET
	PROPOSED SGNL "D" INLET
	PROPOSED DBL "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

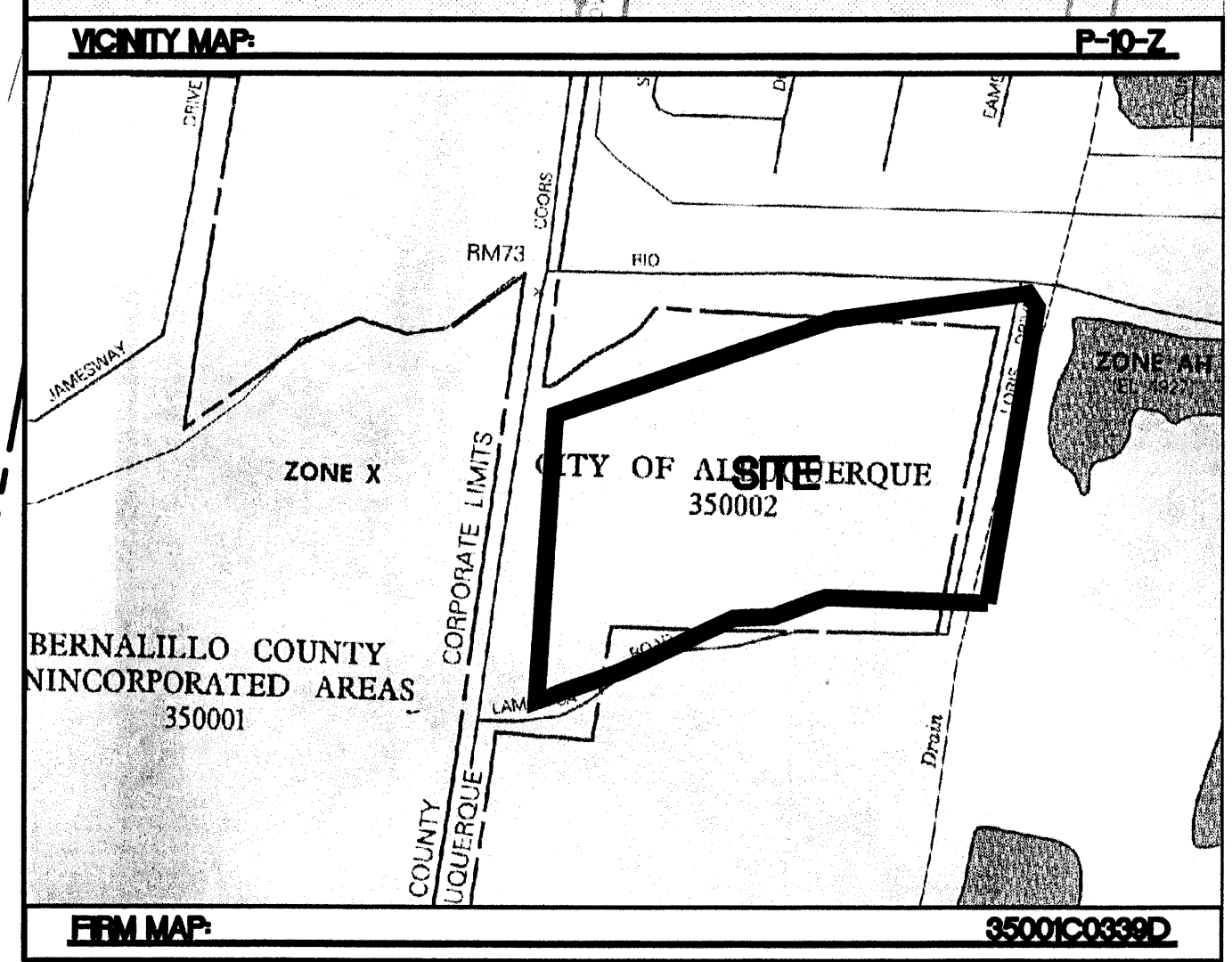
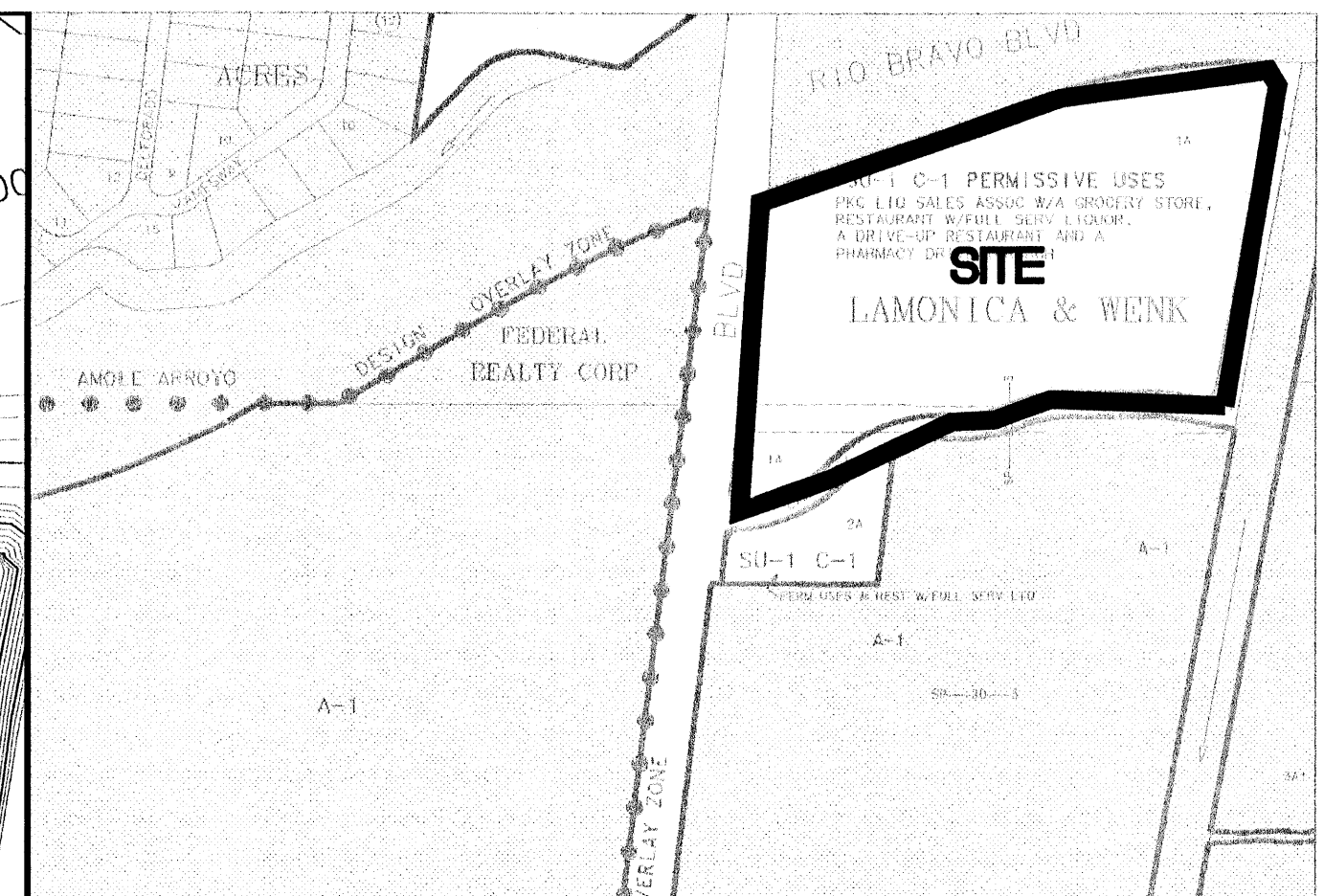
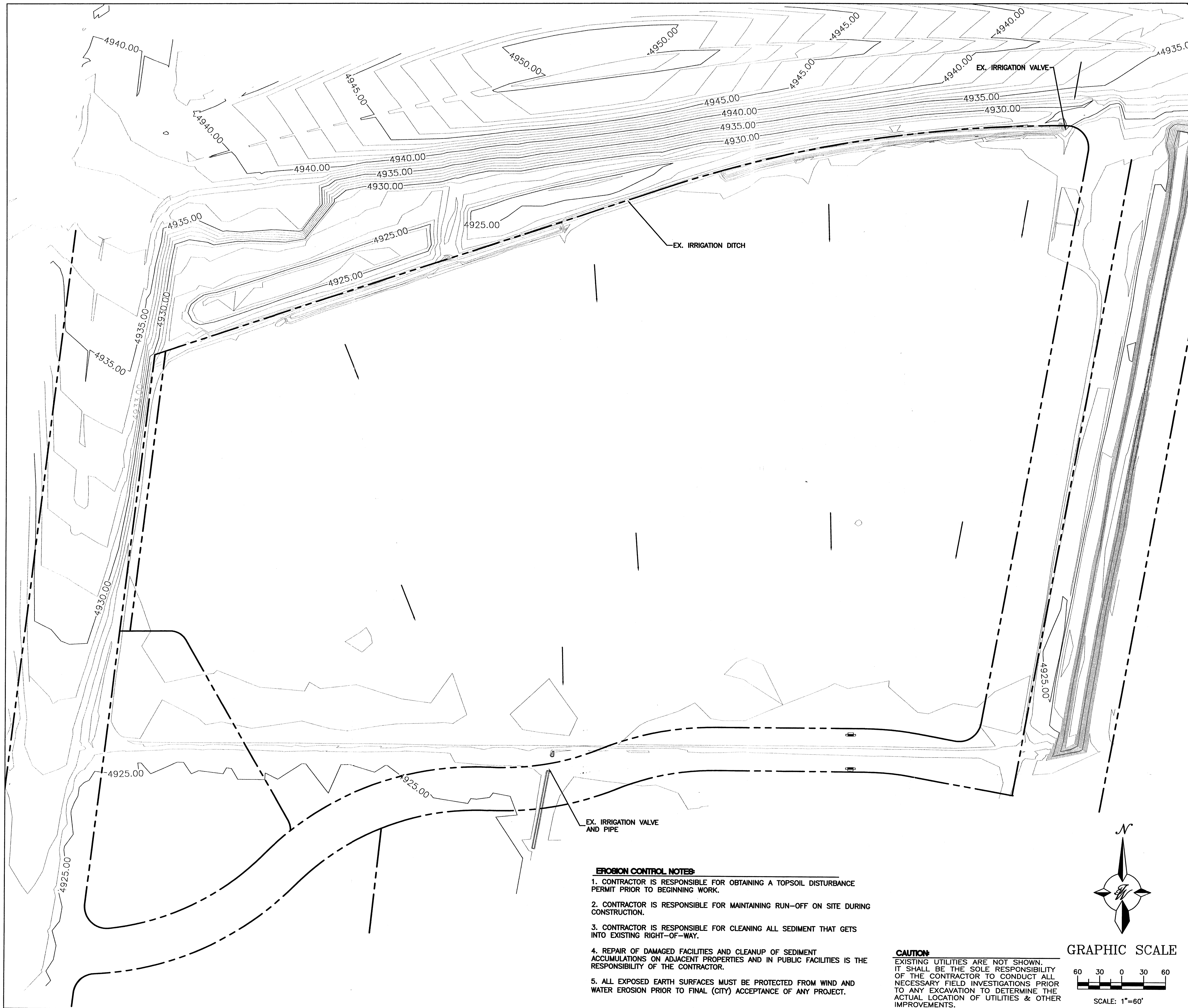
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ROUGH GRADING APPROVAL

	ALBUQUERQUE SOUTH WAL-MART #5430-00	DRAWN BY WCVJ DATE 11-04-03 2294GRB.DWG
	ULTIMATE GRADING AND DRAINAGE PLAN	SHEET # 3 OF 4 JOB # 220094

NOV 04 2003
 TIERRA WEST, L.L.C.
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100



LEGAL DESCRIPTION:
TRACT 1A, LAMONICA AND WENK

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

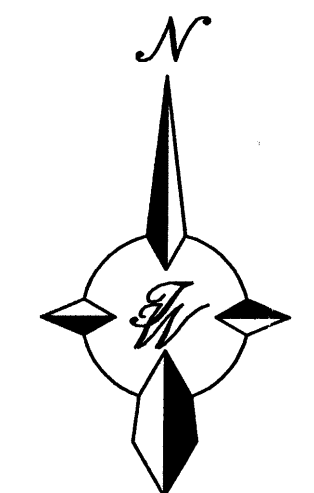
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	BOUNDARY LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION

EROSION CONTROL NOTES:

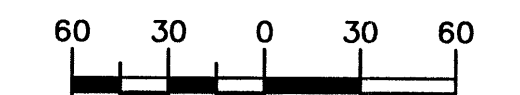
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:

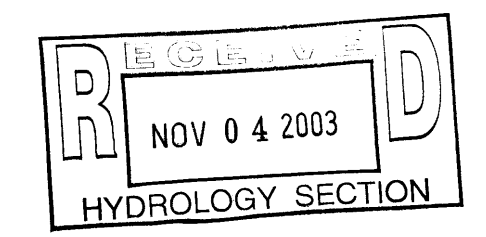
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GRAPHIC SCALE

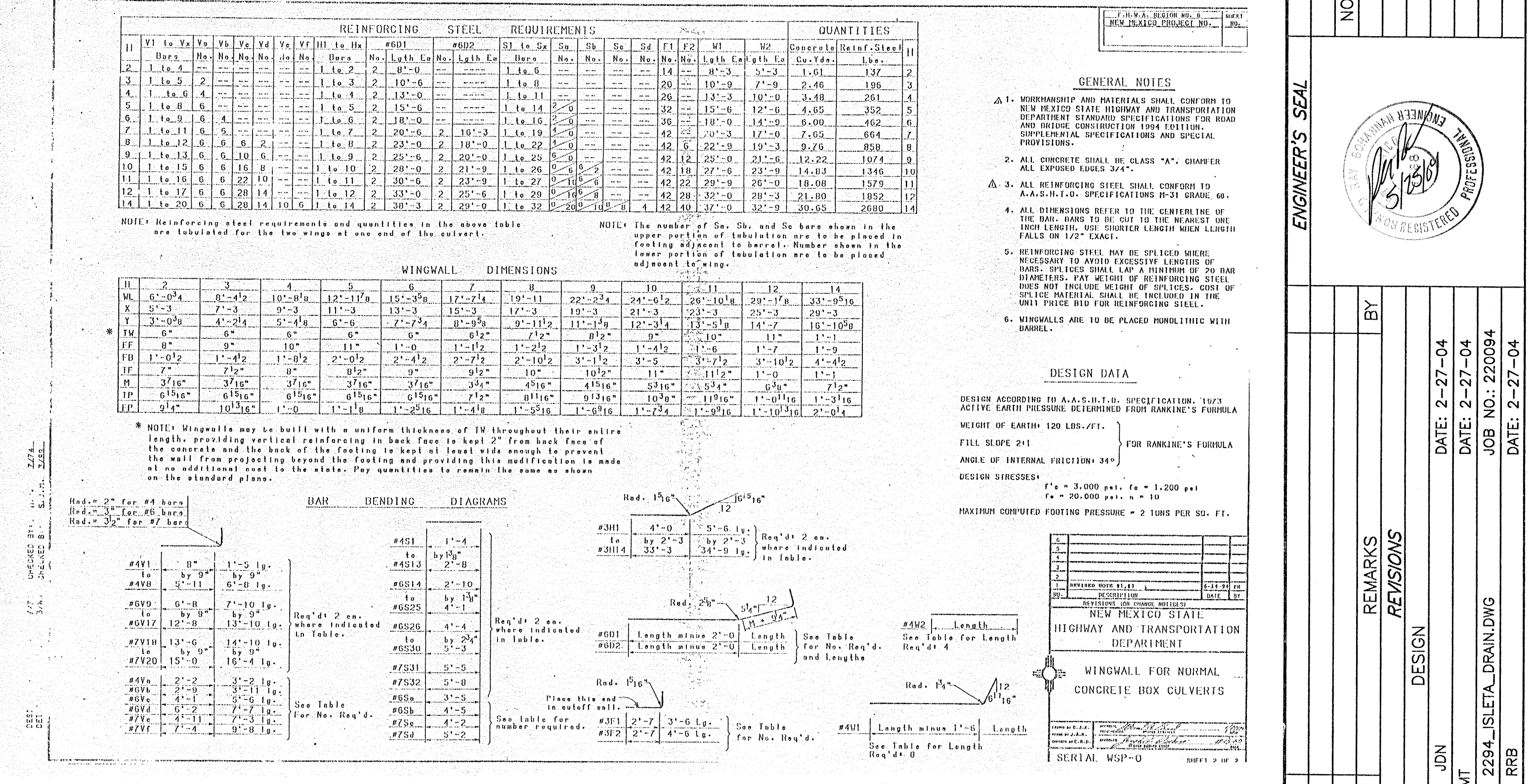
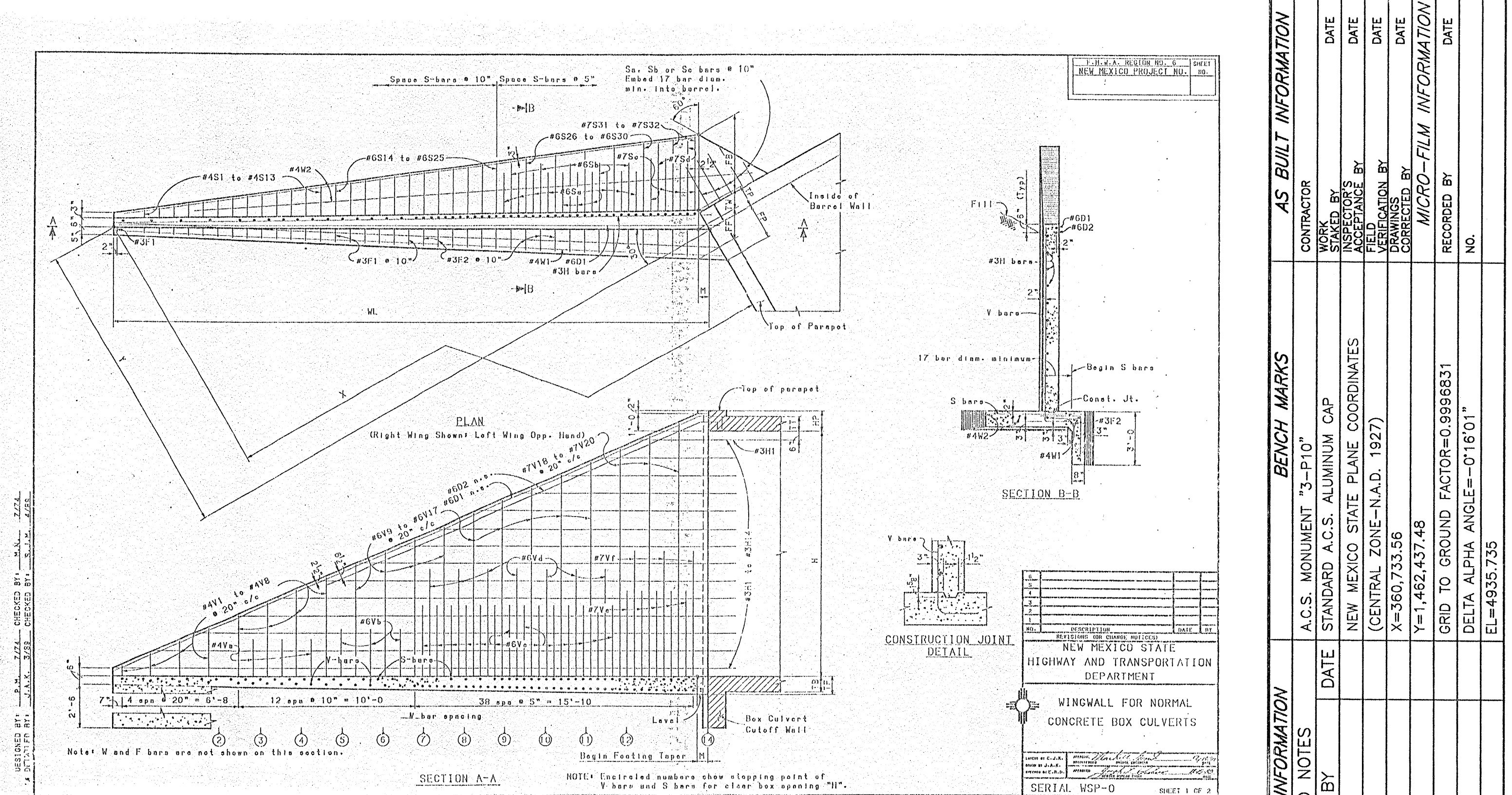
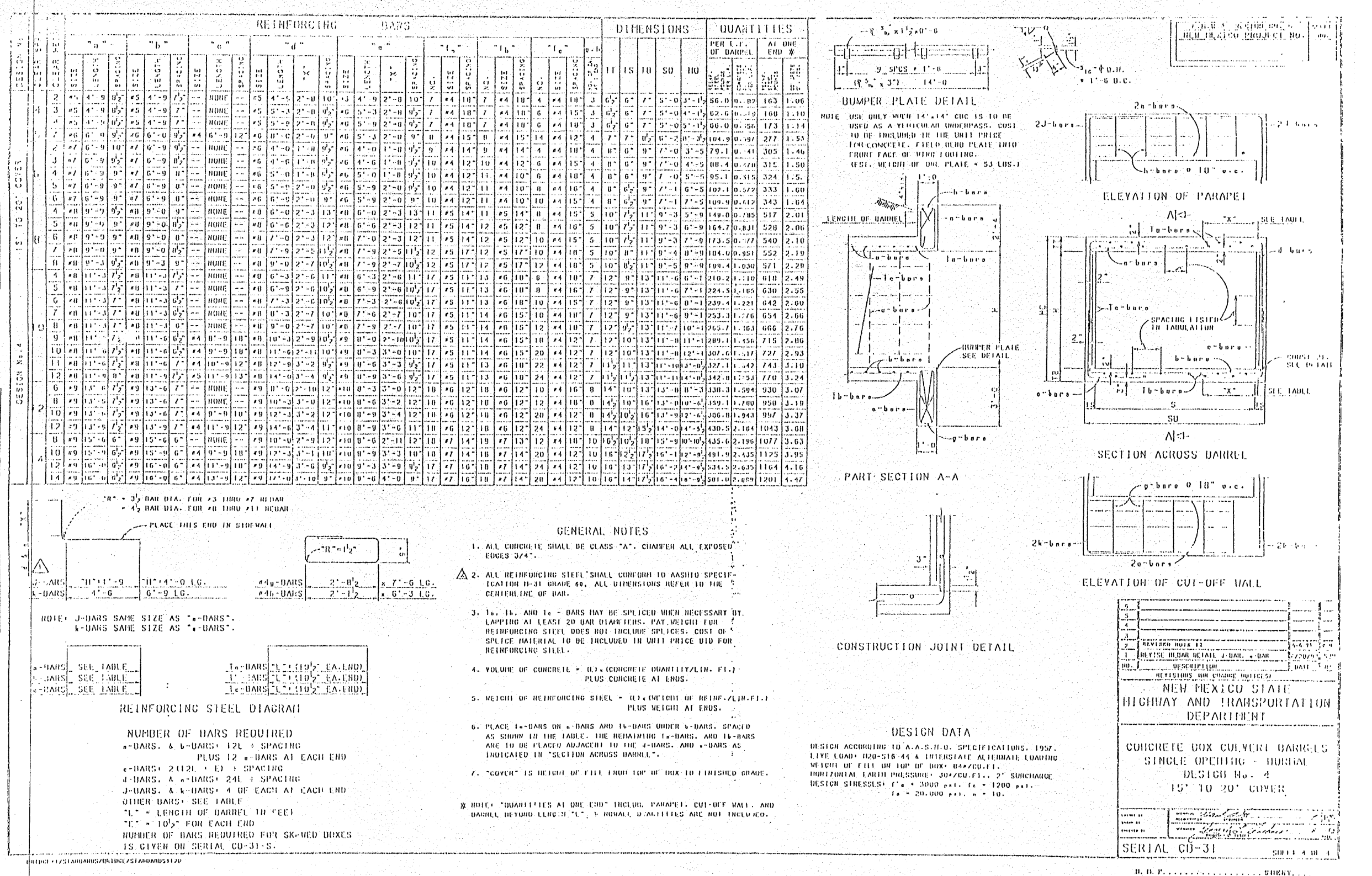
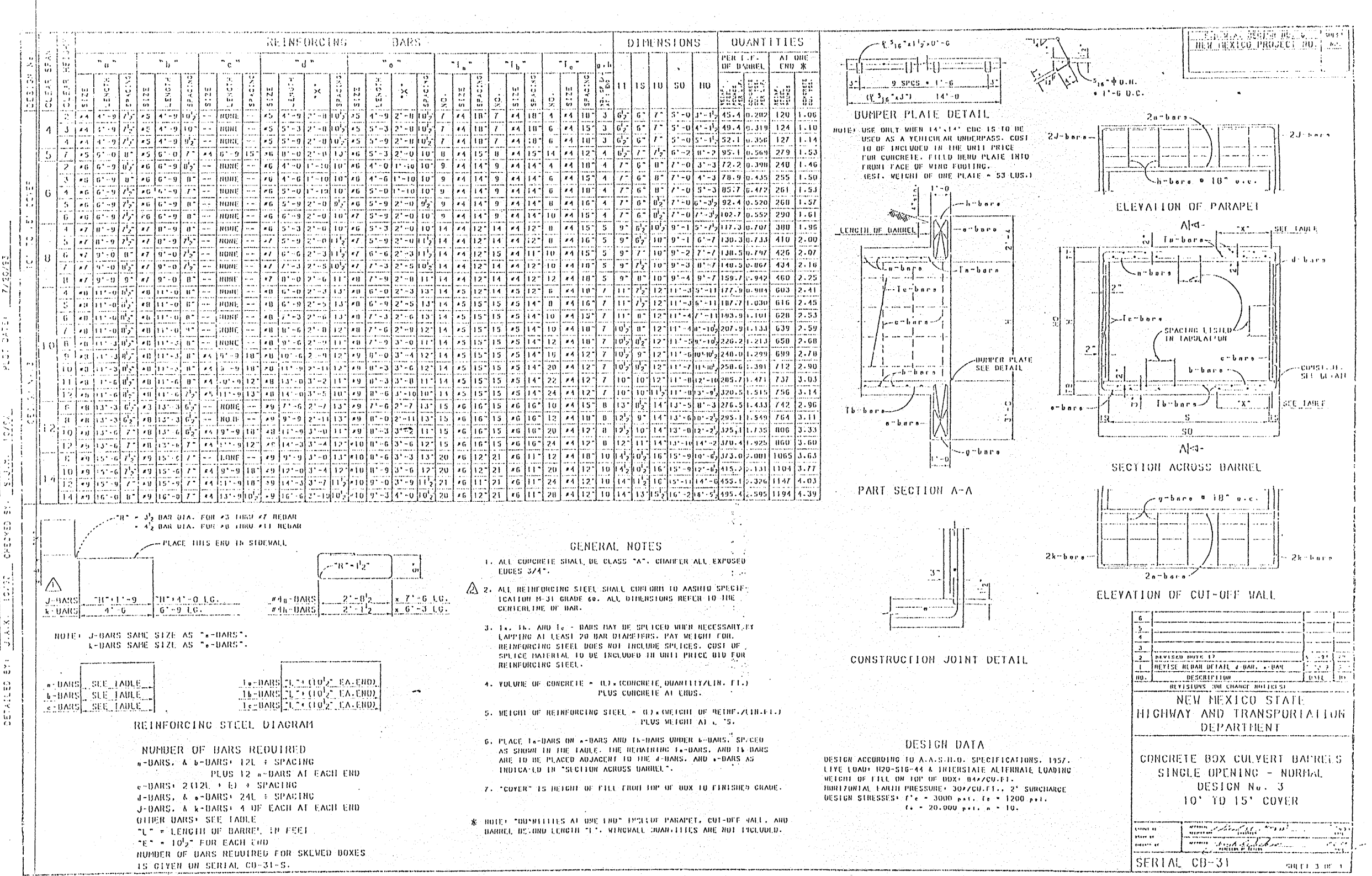


SCALE: 1"=60'

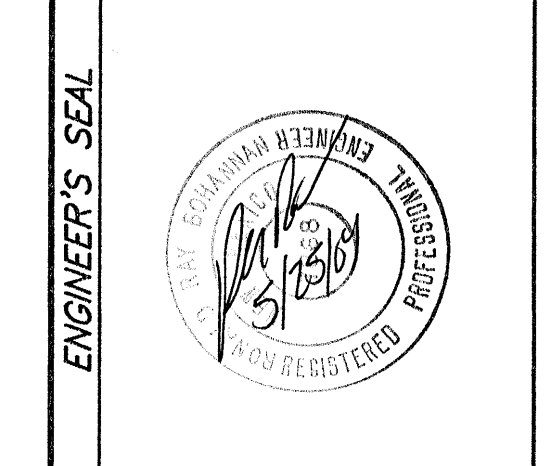


ROUGH GRADING APPROVAL _____ DATE _____

ENGINEER'S SEAL 	ALBUQUERQUE SOUTH WAL-MART #5430-00	DRAWN BY WCKJ
	INTERIM GRADING AND DRAINAGE PLAN	DATE 11-04-03 2294GRB.DWG
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2 OF 4 JOB # 220094	



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	WORK DATE	DATE	NO.	FIELD NOTES	NO.
NEW MEXICO PROJECT NO.	DATE	DATE	DATE	DATE	DATE
BY	BY	BY	BY	BY	BY
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE
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DATE	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE



ENGINEER'S SEAL		REVISIONS	
NO.	DATE	BY	REMARKS
1	2-27-04	JDN	DESIGN
2	2-27-04	PMT	REVISIONS
3	2-27-04	RRB	DESIGN

TERRA WEST, L.L.C.
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP**

**TITLE: WAL-MART #5430-00
 ISLETA DRAIN - NMDOT SERIALS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **P-10-7** SHEET **26** OF **47**