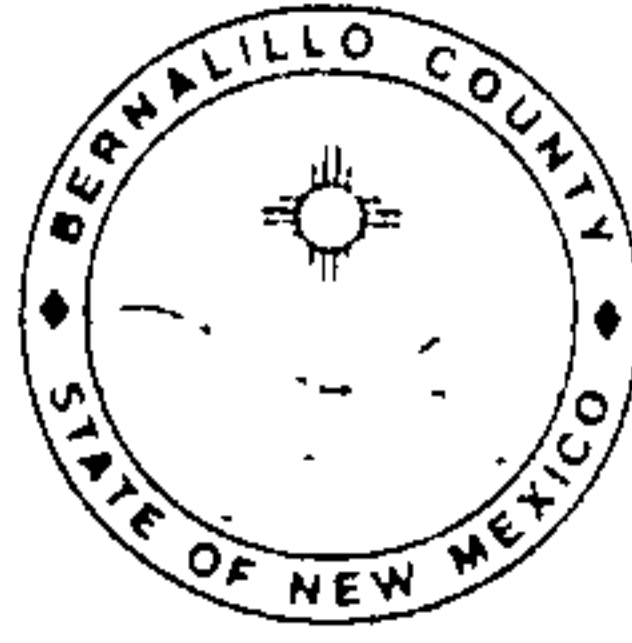


County of Bernalillo

State of New Mexico



BOARD OF COUNTY COMMISSIONERS

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DISTRICT 2

KEN SANCHEZ, VICE CHAIRMAN
DISTRICT 1

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JOE BOWDICH, SHERIFF

ORLANDO VIGIL, TREASURER

2400 BROADWAY, S.E.
ALBUQUERQUE, NEW MEXICO 87102
PUBLIC WORKS (505) 848-1500

November 13, 1998

Gilbert Aldaz, P.E.
Aldaz Engineering
1605 Blair Drive NE
Albuquerque, New Mexico 87112

RE: *Grading and Drainage Plan for Tract B-1-Z, Lands of Joseph Grevey (P13/D3)*
(PWD-98-184) Engineer's Stamp Dated 10/12/98.

Dear Mr. Aldaz:

Based on the information provided, the above referenced plan is approved for Building Permit release.

As you are aware, the Engineer's Certification is required prior to release of the Certificate of Occupancy for this site.

If you have any questions, please call me at 924-3982, or contact Brad Catanach at the County.

Sincerely,

A handwritten signature in cursive script, reading "Susan Calongne".

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
 Brad Catanach, Bernalillo County Public Works Division
 Randy Baker, Owner

File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Randy Baker ZONE ATLAS/DRNG. FILE #: P-13 3
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Tract B-1-A
 CITY ADDRESS: 2nd Street & Rossmoor Road
 ENGINEERING FIRM: Aldaz Engr. Inc. CONTACT: Gilbert Aldaz
 ADDRESS: 1605 Blair Dr NE PHONE: 237-1456
 OWNER: Randy Baker, DRB Elect. CONTACT: _____
 ADDRESS: 2915 Viola Rd SW PHONE: 877-8500
 ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER _____

PRE-DESIGN MEETING:

____ YES
☒ NO
 ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D. APPROVAL
 ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10-13-98BY: Gilbert Aldaz

RECEIVED
 OCT 22 1998
 HYDROLOGY SECTION

Case Routing Slip

14-Oct-98

PWD -98 - 184

Category: Submittal

Applicant Name: RANDY BAKER

Application Date: 14-Oct-98

Applicant Category: Owner

Due Date: 04-Nov-98

Owner Info

Agent Info

Egr/Svy Info

Name RANDY BAKER

ALDAZ ENGINEERING

Address 2915 VIOLA RD SW

1605 BLAIR DR NE

City Albuquerque

ALBUQUERQUE

State NM

NM

ZIP 87105

Ph 877-8500

237-1457

Legal Description: TR B-1-A LANDS OF JOSEPH GREVEY

UPC:

Zone Map P-13

Street Address: 2ND ST & ROOSMOOR RD

Submittal Type: Grading & Drainage Plan

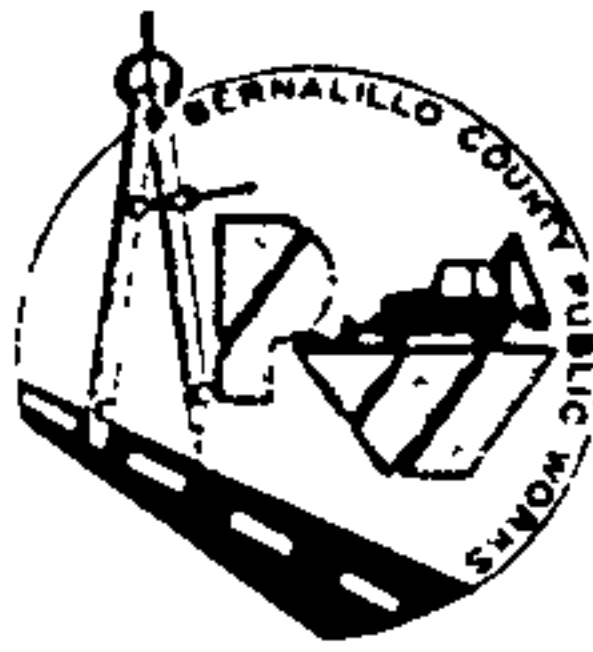
Comments Required From:

DRAN ☒ DRE ☐ ENGA ☐ INSP ☐ TRAF ☐ UTIL ☐ OTHE ☐

Brad

Original FP
10/15/98 10/15/98

BERNALILLO COUNTY



PWD SUBMITTAL

Use for all PWD applications EXCEPT Street Excavation

☒ NEW SUBMITTAL

☐ RESUBMITTAL

☐ FINAL SIGNOFF

TODAY'S DATE. 10-14-98

CASE NO. PWD-98-184

OWNER

OWNER	Randy Baker	PHONE	877-8500
MAILING ADDRESS	2915 Viola Rd SW	CITY	Alb ZIP 87105

AGENT

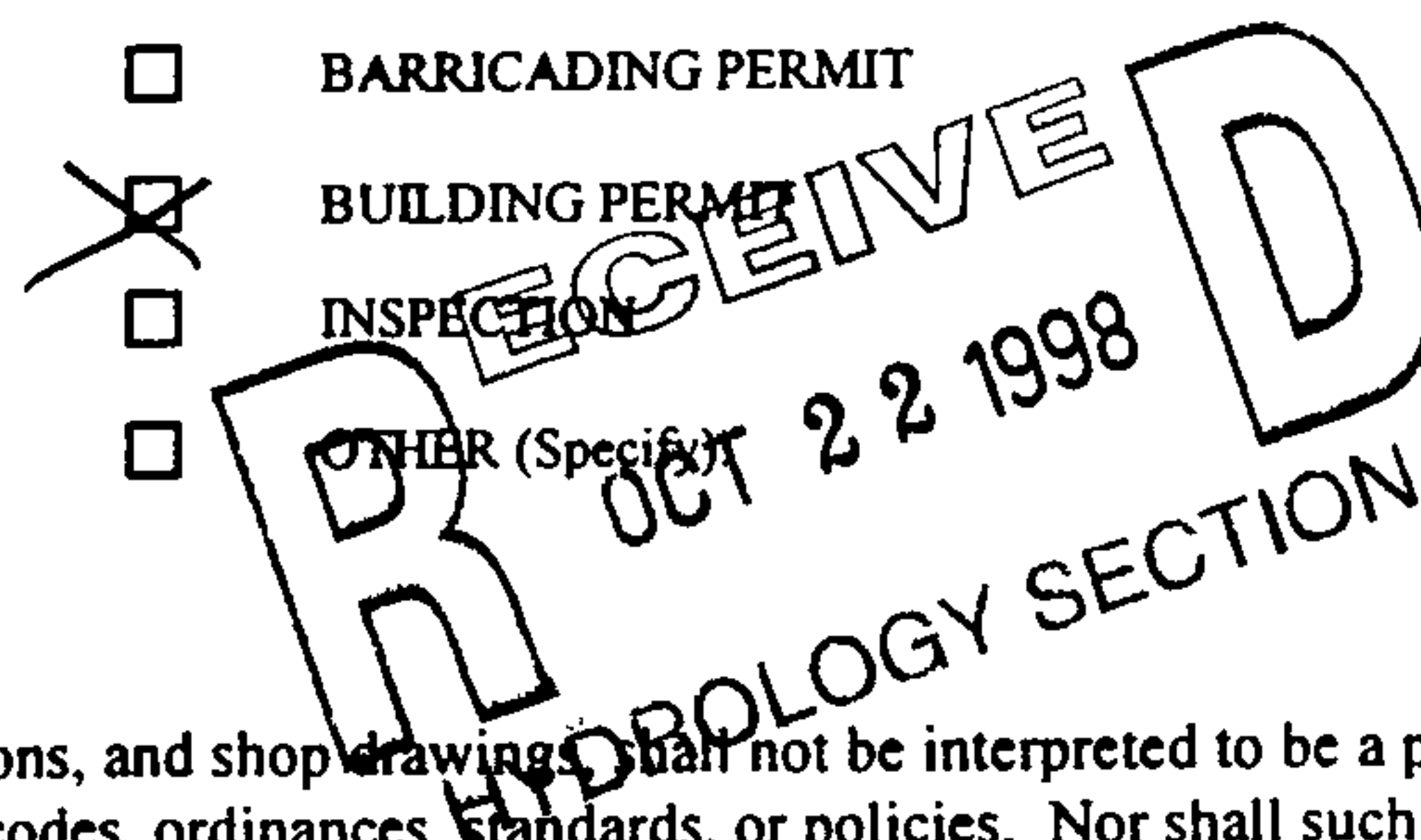
AGENT / CONTRACTOR	Aldaz Engineering Inc	PHONE	237-1456
MAILING ADDRESS	1605 Blair Dr NE	CITY	Alb ZIP NM
STATE LICENSE NO	EXP DATE	VOLUME	CLASS
ARCHITECT/ENGINEER	Civil	LICENSE NO	10848
		PHONE	

SITE INFORMATION

SITE ADDRESS / DIRECTIONS	2nd Street & Rossmoor Road	ZONE ATLAS NO	P-13
Just North of Rio Bravo			
LEGAL DESCRIPTION	Tract B-1-A, Lands of Joseph Grevey		
		LOT SIZE	
EXISTING BUILDING(S) AND USE	PROPOSED BUILDING(S): 6000SF		
UPC #	-	-	-

TYPE OF SUBMITTAL

- | | |
|---|--|
| ☐ REPLAT | ☐ TRAFFIC IMPACT ANALYSIS / TRAFFIC STUDY |
| ☐ MINOR SUBDIVISION | ☐ INFRASTRUCTURE LIST / DESIGN REVIEW |
| ☐ MAJOR SUBDIVISION | ☐ SPECIAL USE PERMIT |
| ☐ CONSTRUCTION DRAWINGS | ☐ BARRICADING PERMIT |
| ☒ GRADING & DRAINAGE PLAN | ☒ BUILDING PERMIT |
| ☐ AS-CONSTRUCTED GRADING & DRAINAGE PLAN | ☐ INSPECTION |
| ☐ VARIANCE REQUEST | ☐ OTHER (Specify) |
| ☐ LAND DIVISION | |



The issuance of a permit or a review or approval of plan specifications, computations, and shop drawings shall not be interpreted to be a permit for, or an approval of any variance or violation of any of the provisions of any COUNTY or STATE codes, ordinances, standards, or policies. Nor shall such issuance of a permit or approval of plans, specifications, computations, and shop drawings prevent any authorized COUNTY representative or COUNTY inspector from thereafter requiring the correction of errors in said plans, specifications, computations, or shop drawings or from stopping construction operations which are being carried on thereunder when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

☐ Owner ☒ Agent ☐ Contractor

Signature

[Signature]

Date

10-14-98

COUNTY

BERNALILLO COUNTY USE ONLY	
C/R's	TOTAL FEE
	Receipt No
	Received By

SUBMITTAL

FINAL SIGNOFF

TODAY'S DATE 2/8/99

CASE NO: PWDN 990025

OWNER	Pat Cordova	PHONE	877-7524										
MAILING ADDRESS	2321 Isleta SW	CITY	Albuq		ZIP	87105							
AGENT / CONTRACTOR	Bernie J. Montoya	PHONE	877-4841										
MAILING ADDRESS	4409 Karrol Rd SW	CITY	Albuq	ZIP	87121								
STATE LICENSE NO		EXP DATE		VOLUME	CLASS								
ARCHITECT/ENGINEER	Harold Bennett	LICENSE NO.	NMPE 10776	PHONE									
SITE ADDRESS / DIRECTIONS				ZONE ATLAS NO. P-13									
Site is located North of Rio Bravo & West of 2nd Street Behind the GAITHER STATION													
LEGAL DESCRIPTION TRACT B-1-B LANDS OF GREVEY													
				LOT SIZE: 2.0 ACRES									
EXISTING BUILDING(S) AND USE:				PROPOSED BUILDING(S): WAREHOUSE / OFFICE									
UPC #	1	-	013	-	05	-	349	-	750	-	010	-	509

TYPE OF SUBMITTAL

- | | |
|---|--|
| ☐ REPLAT | ☐ TRAFFIC IMPACT ANALYSIS / TRAFFIC STUDY |
| ☐ MINOR SUBDIVISION | ☐ INFRASTRUCTURE LIST / DESIGN REVIEW |
| ☐ MAJOR SUBDIVISION | ☐ SPECIAL USE PERMIT |
| ☐ CONSTRUCTION DRAWINGS | ☐ BARRICADING PERMIT |
| ☒ GRADING & DRAINAGE PLAN | ☒ BUILDING PERMIT |
| ☐ AS-CONSTRUCTED GRADING & DRAINAGE PLAN | ☐ INSPECTION |
| ☐ VARIANCE REQUEST | ☒ OTHER (Specify): DRAINAGE PLAN |
| ☐ LAND DIVISION | |

RECEIVED
FEB 08 1999
HYDROLOGY SECTION

The issuance of a permit or a review or approval of plan specifications, computations, and shop drawings, shall not be interpreted to be a permit for, or an approval of any variance or violation of any of the provisions of any COUNTY or STATE codes, ordinances, standards, or policies. Nor shall such issuance of a permit or approval of plans, specifications, computations, and shop drawings prevent any authorized COUNTY representative or COUNTY inspector from thereafter requiring the correction of errors in said plans, specifications, computations, or shop drawings or from stopping construction operations which are being carried on thereunder when in violation of any COUNTY or STATE codes, ordinances, standards, or policies.

☐ Owner ☒ Agent ☐ Contractor

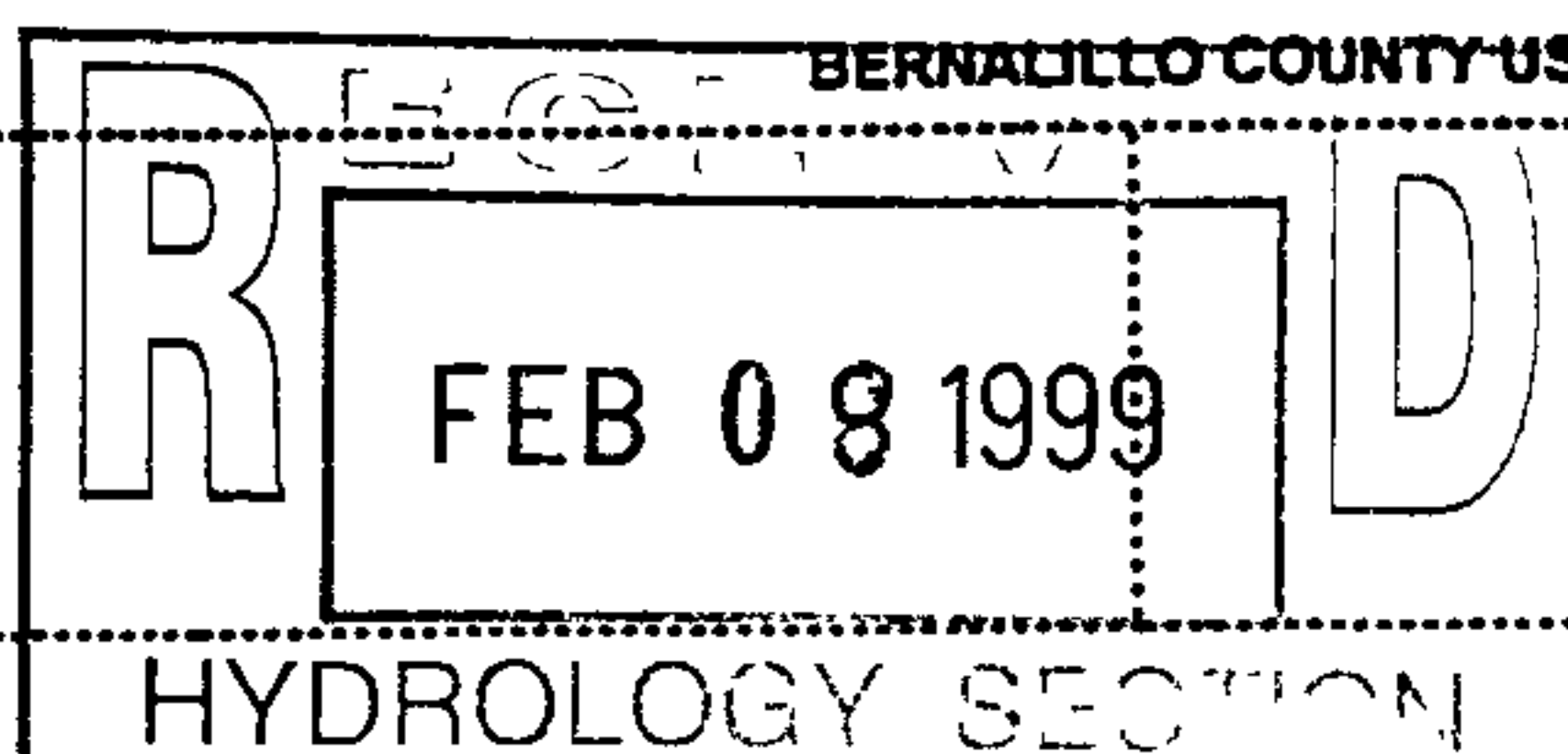
Signature

Bernie J. Montoya

Date

2/8/99

C/R's:



TOTAL FEE.

Receipt No.:

Received By: