

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 3, 2024

Scott Eddings, P.E.
Huitt-Zollers Inc.
333 Rio Rancho Blvd
Rio Rancho, NM 87124

RE: MDS - Montage Subdivision Unit 6
Grading and Drainage Submittal for Building Permit
Grading Plan Engineer's Stamp Date: 11/27/23
Hydrology File: R16D003C

Dear Mr. Eddings,

Based upon the information provided in your submittal received 11/21/2024, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house).

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

NM 87103

1. Once the grading is complete (the earth pad is done for the house), please attach a **site photo** with the Hydrology submittal for Pad Certification and Building Permit approval.
2. An Engineer's Certification of the compacted pad and grading (Pad Certification), per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language must be placed on the certification.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



TRACT A-1-A-4-B

MATCHLINE
SEE SHEET 1

2

Designed By:

MONTAGE UNIT 6
QUESTA DEL ORO, LLC

GRADING PLAN

FOR INFORMATION ONLY
NOT A PART OF W.O.

City Project No.

Zone Map No.

Sheet

11/27/23

PROJ #: R313544.01
DATE: NOV. 27. 2023

6wg

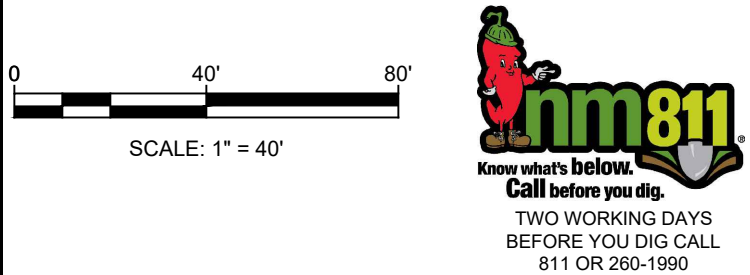
DWG NAME: 10-1

7.

9



1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAT FOR LOT DIMENSIONS.
3. SEE DETAILS G13B&C FOR TYPICAL LOT GRADING.
4. SEE SHEETS G13D FOR WALL DIAGRAM.
5. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
6. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
7. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



Designed By:



MONTAGE UNIT 6
QUESTA DEL ORO, LLC

TITLE:

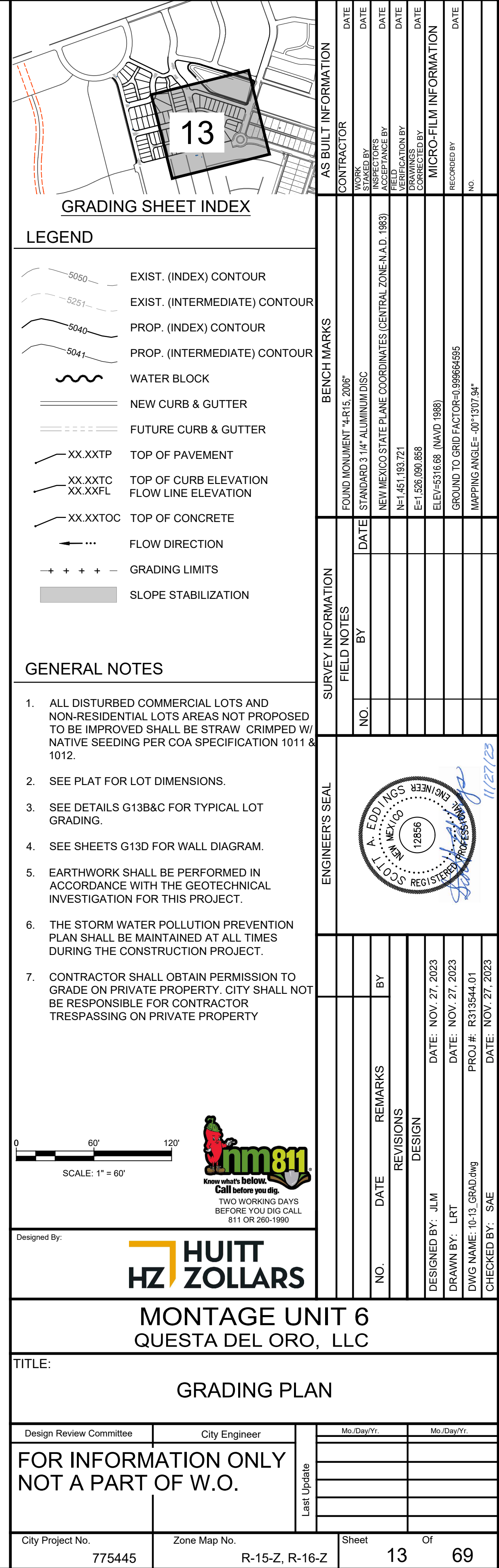
GRADING PLAN

Design Review Committee	City Engineer	Last Update
FOR INFORMATION ONLY NOT A PART OF W.O.		
City Project No. 775445	Zone Map No. R-15-Z, R-16	

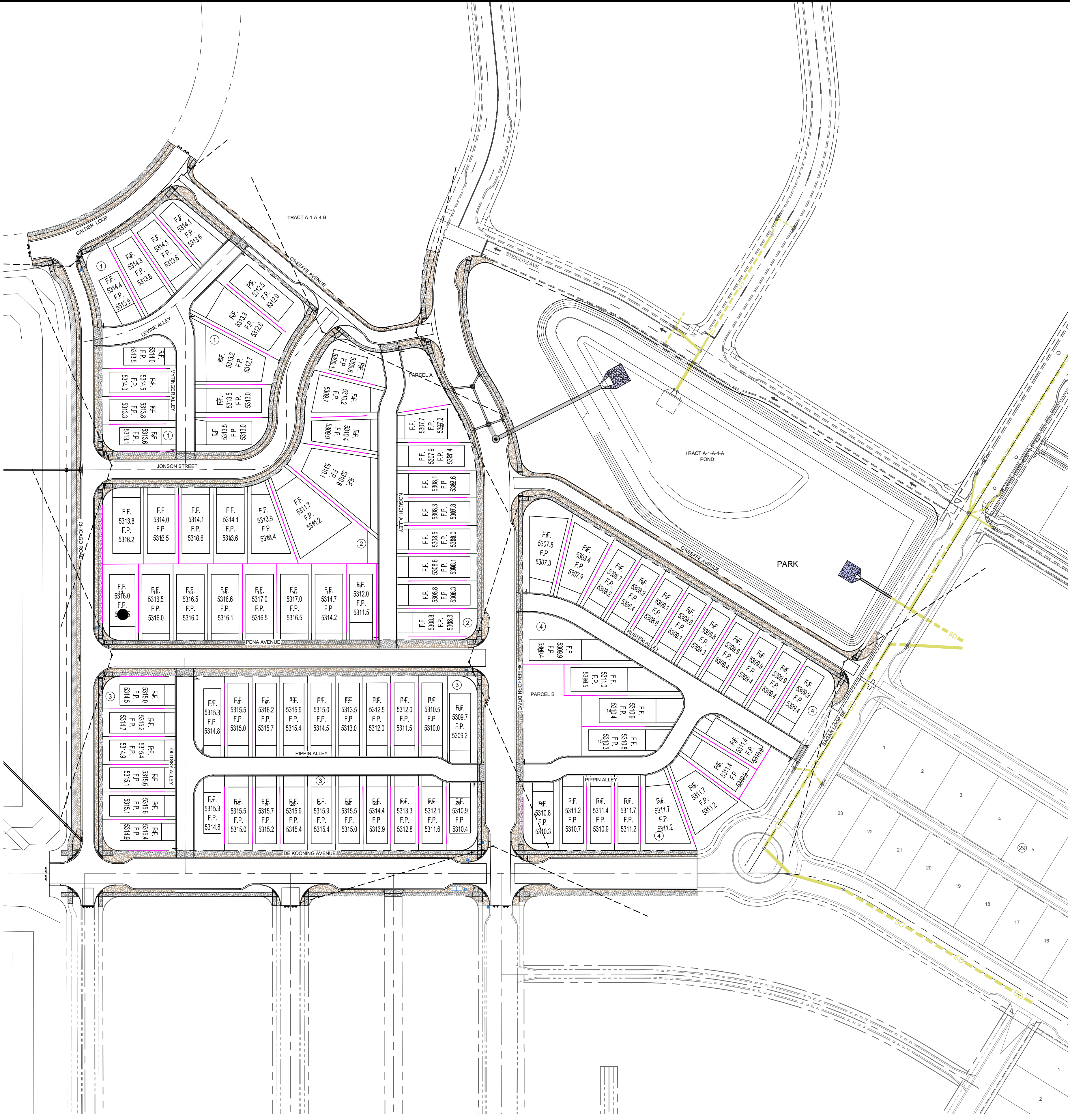
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11/27/23

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City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 12-03-2024
BY: *Scott Eddings*
HydroTrans #: R16D003C

THE APPROVAL OF THESE PLANS AND/OR DETAILS SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCES OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM RESCUING
CONTRACTORS, OR OTHERS, OR INDIVIDUALS IN PLACES
WHICH ARE IN VIOLATION OF ANY CITY ORDINANCES OR
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

- ### GENERAL NOTES
- THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.
 - RETAINING WALLS ARE SPECIFIED WHENEVER THE DIFFERENTIAL IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES), ELEVATION DIFFERENCES OF LESS THAN 1.5 FT (2 CMU EXPOSED COURSES) SHALL BE INCLUDED IN THE COST OF THE PRIVACY WALL CONSTRUCTION UNLESS WALL IS PART OF PERIMETER WALL.
 - PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.
 - FINAL TYPE AND HEIGHTS OF CMU PERIMETER WALL WILL BE PROVIDED BY THE OWNER AT TIME OF BID PROPOSAL. INTERIOR PRIVACY WALLS WILL BE CONSTRUCTED BY HOME BUILDER.
 - 2 TURNED BLOCKS ARE TO BE PROVIDED ALONG PERIMETER WALLS AT THE CORNERS WHERE LOTS DRAIN TO THE REAR.
 - ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8
 - BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.
 - CONTRACTOR SHALL APPLY ANTI-GRAFFITI COATINGS TO ALL PERIMETER WALLS. CONTRACTOR SHALL USE PROSCOD DEFACER ERASER OR APPROVED EQUIVALENT.
 - ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.
 - SEE PLAT FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

SIGHT DISTANCE LEGEND

----- INTERSECTION CLEAR SIGHT TRIANGLE

*** NOTE:**
REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

TYPE A & X (0'-2')

Designed By:

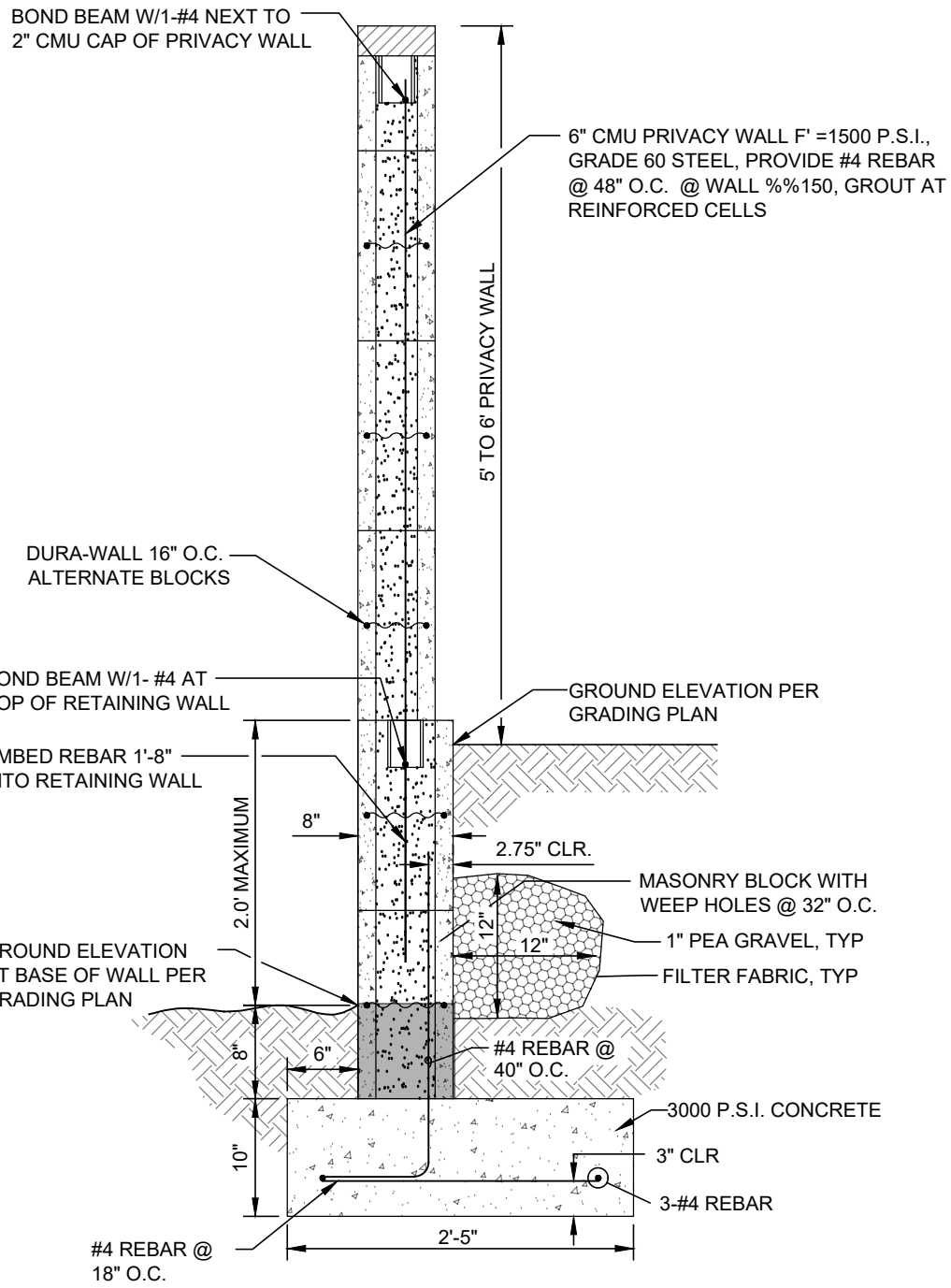
MONTAGE UNIT 6
QUESTA DEL ORO, LLC

TITLE: **WALL PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
FOR INFORMATION ONLY NOT A PART OF W.O.		Last Update	
City Project No. 775445	Zone Map No. R-15-Z, R-16-Z	Sheet 13D	Of 69

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	REVISIONS		
CONTRACTOR	DATE	FOUND MONUMENT	DATE	FIELD NOTES	DATE				
STAKED BY	DATE	STANDARD 3 1/4" ALUMINUM DISC	DATE	BY	NO.		DATE	REMARKS	BY
INSPECTORS	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE N.A.D. 1983)	DATE				DESIGN		
FIELD	DATE	N=1451193.721	DATE						
VERIFICATION BY	DATE	E=1526.090 858	DATE						
CORRECTED BY	DATE	ELEV=5316.68 (N.A.D. 1988)	DATE						
MICRO-FILM INFORMATION		GROUND TO GRID FACTOR=0.99968495					DESIGNED BY: JLM	DATE: NOV. 27, 2023	
RECORDED BY	DATE	MAPPING ANGLE= -0°1'30" 94"					DRAWN BY: LRT	DATE: NOV. 27, 2023	
NO.							DWG NAME: 3D.dwg	PROJ.#: R313544.01	
							CHECKED BY: SAE	DATE: NOV. 27, 2023	

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RETAINING WALL W/PRIVACY WALL (1 - 3 COURSES)
TYPE X

FIGURE 7.4.93 Intersection Sight Distance

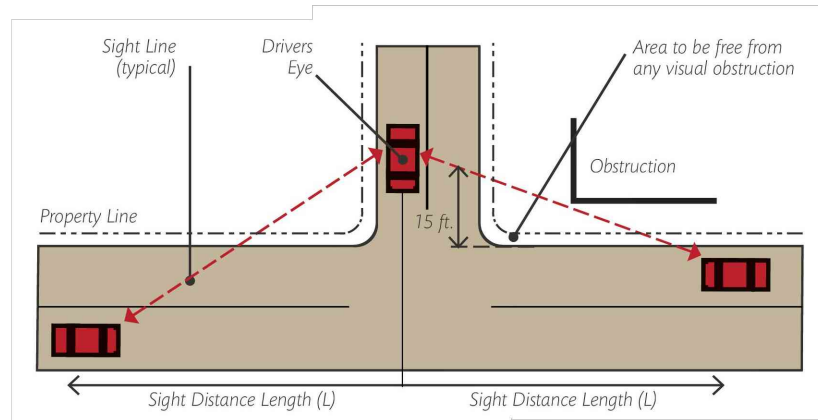


TABLE 7.4.65 Minimum Intersection Sight Distance

Speed Limit (MPH)	Minimum Intersection Sight Distance					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12 ft. Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230 ft.	200 ft.	240 ft.	200 ft.	250 ft.	200 ft.
25	280 ft.	240 ft.	300 ft.	240 ft.	320 ft.	240 ft.
30	340 ft.	290 ft.	360 ft.	290 ft.	380 ft.	290 ft.
35	390 ft.	340 ft.	420 ft.	340 ft.	440 ft.	340 ft.
40	450 ft.	390 ft.	480 ft.	390 ft.	500 ft.	390 ft.
45	500 ft.	430 ft.	530 ft.	430 ft.	570 ft.	430 ft.
50	560 ft.	480 ft.	590 ft.	480 ft.	630 ft.	480 ft.

7-4(1)(5)(iv) Mini Clear Sight Triangle

Driveways need to maintain the mini clear sight triangle as shown in [FIGURE 7.4.94](#). This triangle starts at the sidewalk and measures 11 feet on a side.

NOTES

- ALL PROPOSED IMPROVEMENTS WITHIN THE CLEAR SIGHT TRIANGLE SHALL PROVIDE AN UNOBSTRUCTED VISION AT STREET INTERSECTIONS BETWEEN 2.5 FT AND 7 FT ABOVE THE FLOW LINE.
- IF A PRIVACY WALL IS TO BE CONSTRUCTED AROUND RIGHT- OF-WAY RETURN, THE WALL SHALL BE CONSTRUCTED ALONG THE CLEAR SIGHT TRIANGLE IF RETURN IS LOCATED WITHIN CLEAR SIGHT TRIANGLE.
- SIGHT TRIANGLE DISTANCES SHOULD BE MEASURED ALONG CENTERLINE OF ROAD CONSTRUCTION, TYPICALLY CENTERLINE OF RIGHT-OF-WAY.
- STOPPING SIGHT DISTANCES ARE BASED ON DESIGN CRITERIA FROM THE CITY OF RIO RANCHO DEVELOPMENT PROCESS MANUAL.
- SIGHT TRIANGLES ARE INDICATED BASED ON DIMENSIONS PROVIDED IN DETAIL OR MODIFIED AS INDICATED ON THE PLANS.

MASONRY WALL CONSTRUCTION NOTES:

- RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES)
- ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). F'M=1500 PSI
- MORTAR SHALL BE TYPE S.
- GROUT - F' =2000 PSI
- CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
- PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.
- THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
- ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
- LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
- ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
- PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 18" O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
- MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI
- WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK
- SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
- REINFORCING STEEL SHALL COMFORM TO ASTM A-615, GRADE 60.
- ALL RETAINING WALLS REPRESENTED ON THIS SHEET HAVE BEEN DESIGNED TO ACCEPT A 5' TO 6' PRIVACY WALL.
- THE TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.
- PROVIDE ANTI-GRAFFITI SURFACE COATING ON THE CMU WALL WHEN FACING THE PUBLIC AREAS AND RIGHT-OF-WAY LOCATIONS.

GENERAL NOTE:

- WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.
- ADDITIONAL COURSE MAY BE BURIED AS A RESULT OF FIELD CONDITIONS.
- PAY ITEM IS FOR EXPOSED BLOCKS ONLY.



Designed By:



MONTAGE UNIT 6
QUESTA DEL ORO, LLC

TITLE:

WALL DETAILS

Design Review Committee	City Engineer	Mo./Day/Yr.	
		Mo./Day/Yr.	Mo./Day/Yr.
FOR INFORMATION ONLY NOT A PART OF W.O.	Last Update		
City Project No.	Zone Map No.	Sheet	Of
775445	R-15-Z, R-16-Z	13E	69

