

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 13, 2023

Christopher Whyman  
Dekker/ Perich/ Sabatini  
7601 Jefferson St.  
Albuquerque, NM 87109

**Re: Mesa del sol Tract A  
Tract A University Blvd. SE  
Conceptual Traffic Circulation Layout for DFT Approval  
Engineer's Stamp 03-23-23 (R16-D097C)**

Dear Mr. Whyman,

The conceptual TCL submittal received 03-24-2023 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

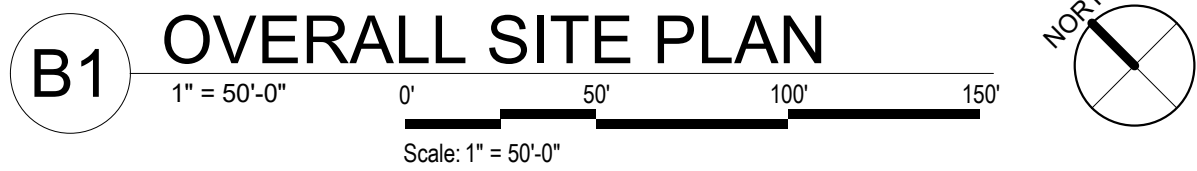
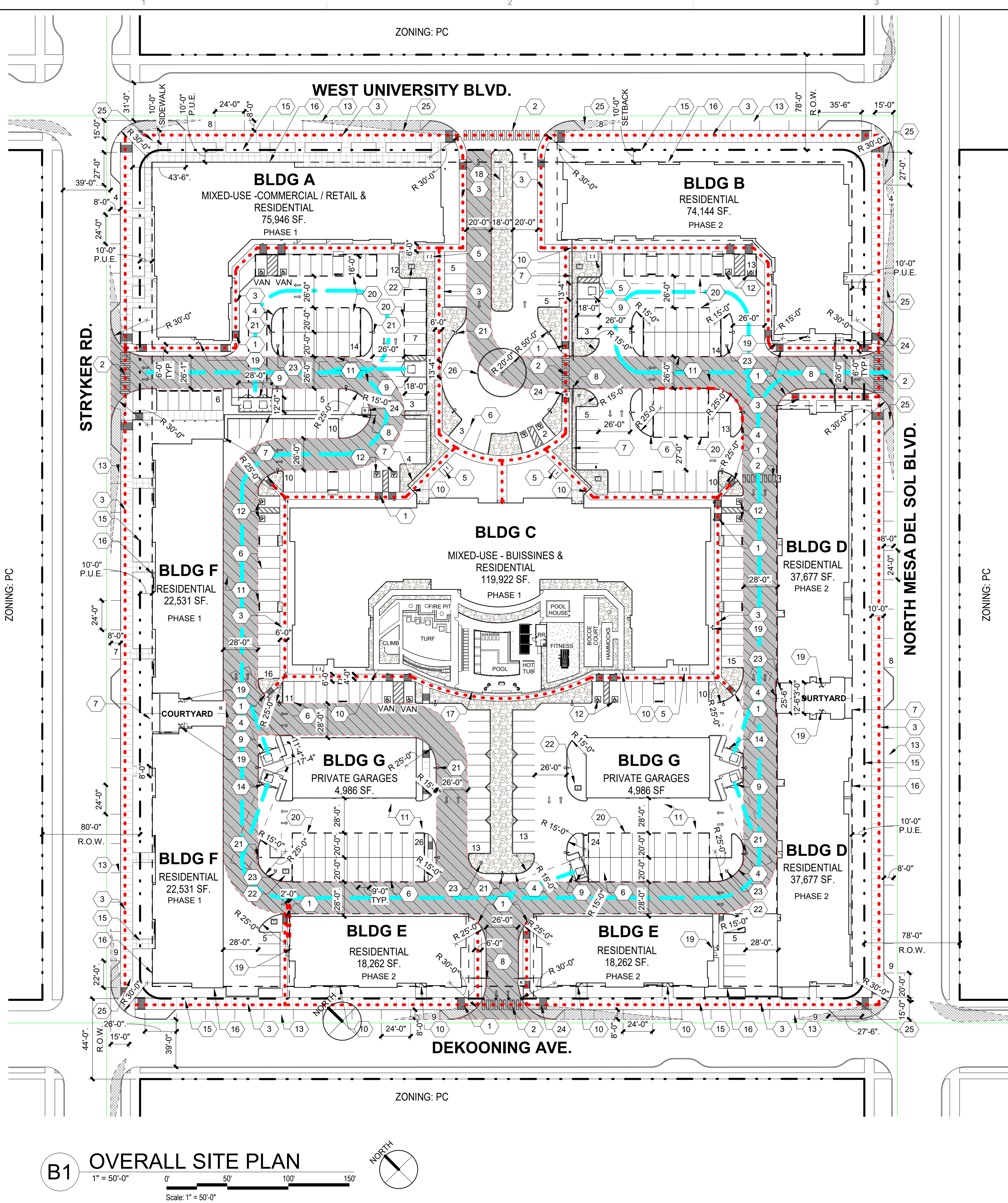
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





PROJECT INFORMATION	
LOCATION :	ALBUQUERQUE NM
ZONING :	PC (COMMUNITY CENTER MDS)
OCCUPANCY TYPE :	APARTMENTS R-2, B (RETAIL, LEASING, & AMENITY)
CONSTRUCTION TYPE :	3-A (PODIUM BUILDING) 5-A (4 STORY APARTMENT BUILDINGS) 5-B (3 STORY WALK-UPS BUILDINGS & GARAGE BUILDINGS)
SITE AREA :	9.47 ACRES (412,529 SF)
DENSITY :	42.52 DU/A

BUILDING DATA								
DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA (GSF)	
BUILDING A	1,696			13,567	18,068	1,063	19,131	
LEVEL 1	15,000	2,702			17,732	1,145	18,877	
LEVEL 3	15,000	2,702			17,732	1,145	18,877	
LEVEL 4	14,784	2,650			17,434	1,145	18,579	
TOTAL	46,784	8,059		13,567	71,210	4,484	75,694	

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING B	13,018	2,810	-	-	15,828	2,107	-	18,035
LEVEL 1	14,888	2,702	-	-	17,590	1,131	-	18,721
LEVEL 2	14,888	2,702	-	-	17,590	1,131	-	18,721
LEVEL 3	14,885	2,650	-	-	17,535	1,131	-	18,666
TOTAL	57,679	10,964	-	-	68,643	5,501	-	74,144

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING C	16,618	4,032	9,500	-	30,150	3,354	-	33,504
LEVEL 1	17,940	3,872	7,500	-	29,112	1,340	-	30,452
LEVEL 2	21,773	4,985	-	-	26,758	1,340	-	28,098
LEVEL 3	21,773	4,795	-	-	26,568	1,340	-	27,908
TOTAL	78,104	17,444	17,000	-	112,548	7,374	-	119,922

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING D	5,216	2,098	-	-	7,314	635	4,432	12,381
LEVEL 1	6,157	1,945	-	-	8,002	430	-	8,432
LEVEL 2	6,157	1,945	-	-	8,002	430	-	8,432
LEVEL 3	6,157	1,945	-	-	8,002	430	-	8,432
TOTAL	23,687	7,833	-	-	31,320	1,925	4,432	37,677
TOTAL ON SITE	47,374	15,266	-	-	62,640	3,850	8,864	75,354

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING E	1,568	654	-	-	2,222	738	3,324	6,482
LEVEL 1	5,200	240	-	-	5,440	450	-	5,890
LEVEL 2	5,200	240	-	-	5,440	450	-	5,890
TOTAL	11,968	1,334	-	-	13,302	1,638	3,324	18,262
TOTAL ON SITE	23,936	2,668	-	-	26,804	3,272	6,648	36,524

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING F	1,568	1,281	-	-	2,849	-	4,986	7,835
LEVEL 1	6,988	360	-	-	7,348	-	-	7,348
LEVEL 2	6,988	360	-	-	7,348	-	-	7,348
LEVEL 3	6,988	360	-	-	7,348	-	-	7,348
TOTAL	15,544	2,001	-	-	17,545	-	4,986	22,531
TOTAL ON SITE	31,088	4,002	-	-	35,090	-	9,972	45,062

BUILDING	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
BUILDING G	-	-	-	-	-	-	4,986	4,986
LEVEL 1	-	-	-	-	-	-	4,986	4,986
TOTAL	-	-	-	-	-	-	4,986	4,986
TOTAL ON SITE	-	-	-	-	-	-	9,972	9,972

TOTAL PROJECT	DWELLING UNIT AREA (GHSF)	CIRCULATION SPACE (GHSF)	AMENITY AREA (GHSF)	RETAIL AREA (GHSF)	TOTAL GROSS HEATED BUILDING AREA (GHSF)	PATIO / BALCONY AREA (GSF)	GARAGE AREA (GSF)	TOTAL GROSS AREA
TOTAL	286,985	58,203	17,000	13,567	376,755	24,481	25,484	426,736

UNIT TYPE	BALCONY SF	PATIO SF	NET SQUARE FOOTAGE (NSF)	GROSS HEATED SQUARE FOOTAGE (GHSF)	TOTAL BEDROOMS	UNIT TOTALS	NSF TOTALS	GHSF TOTALS
S1*	0	0	558	608	15	15	8,370	9,090
S1	0	0	600	653	42	42	25,200	27,426
S2	15	0	603	652	23	23	13,869	14,996
S3	0	104	672	776	30	30	20,160	28,140
A1*	0	105	702	795	28	28	19,656	21,280
A1	72	0	736	795	107	107	78,752	85,065
WU-A1	75	92	755	784	24	24	18,120	18,816
WU-A2	75	0	835	896	0	0	0	0
WU-A3	75	0	835	894	108	54	45,090	48,276
WU-A4	75	0	863	922	32	16	13,808	14,752
WU-A5	75	0	788	847	24	12	9,456	10,164
B1*	0	215	895	964	14	7	6,355	6,748
B1	142	0	945	1018	48	24	22,680	24,432
B2*	0	215	945	1018	2	1	945	1,018
B2	142	0	1002	1076	18	6	6,012	6,456
B3 Corner	160	0	1132	1215	21	7	7,924	8,505
WU-B2	75	92	1300	1770	36	12	15,600	21,240
TOTAL			572	408			317,907	346,404

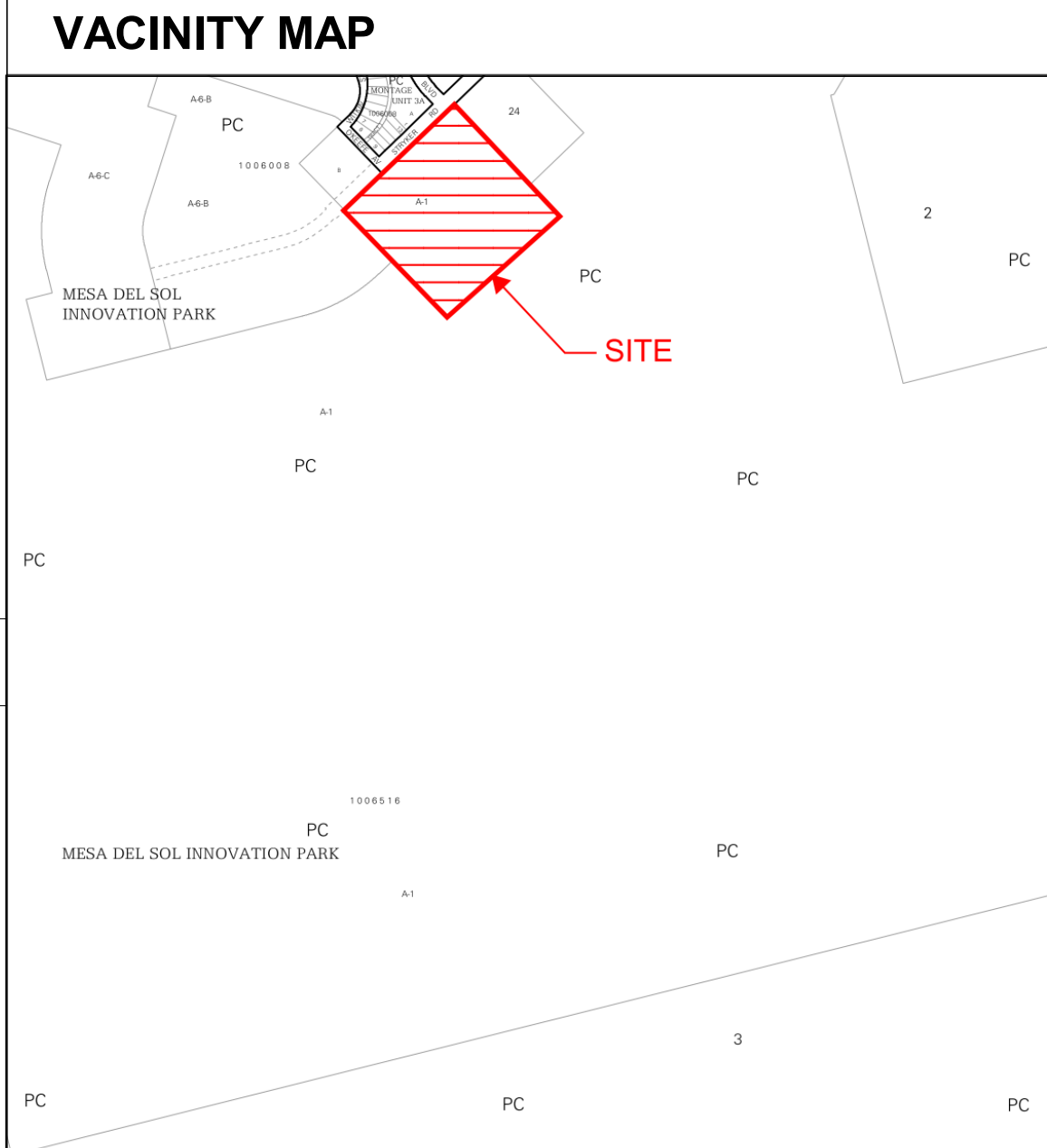
PARKING DATA	
REQUIRED PARKING: NO REQUIREMENT	
BICYCLE PARKING: 1:10,000 NET SF = 32 REQUIRED	
ACCESSIBILITY PARKING	12
ACCESSIBLE PARKING STALL	4
ACCESSIBLE VAN PARKING STALL	4
TOTAL	16
SURFACE PARKING	249
STANDARD PARKING STALLS	75
ON STREET PARKING STALLS	17
COMPACT PARKING STALLS	17
TOTAL	341
GARAGE PARKING	128
TOTAL PARKING PROVIDED:	485
MOTORCYCLE PARKING PROVIDED:	4
BICYCLE PARKING PROVIDED:	34

- ### GENERAL SHEET NOTES
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
  - COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
  - UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
  - SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - REFER TO CIVIL AND ELECTRICAL FOR DEMOLITION ITEMS.
  - REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
  - SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
  - EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
  - REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
  - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRG APPROVED PLANS PER CITY OF ALBUQUERQUE.
  - ALL RAMPS, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.

- ### SHEET KEYNOTES
- CONCRETE ACCESSIBLE RAMP TYP.
  - PAINTED PEDESTRIAN CROSSWALK
  - CONCRETE SIDEWALK WITH CONTROL JOINTS
  - CONCRETE CURB, SEE CIVIL
  - BICYCLE STALLS
  - ASPHALT MARKINGS: PARKING STRIPING
  - WROUGHT IRON RESIDENTIAL ENCLOSURE FENCE
  - WROUGHT IRON GATE
  - DUMPMSTER ENCLOSURE, RE: SDP-5.7
  - PEDESTRIAN GATE
  - ASPHALT PAVING
  - ACCESSIBLE PARKING STALL
  - PUBLIC STREET PARALLEL PARKING
  - RECYCLING ENCLOSURE, RE: SDP-5.7
  - PROPERTY LINE
  - 10' PUBLIC UTILITY EASEMENT
  - 6' HIGH PRIVACY WALL AT AMENITY
  - MONUMENT SIGN, RE: D4/SDP-1.2
  - FIRE DEPARTMENT CONNECTION (FDC)
  - PARKING CANOPY
  - LIGHT POLE 20'-0"
  - TRANSFORMER BOX
  - FIRE HYDRANT - REFER TO CIVIL
  - LOCATION OF KNOX BOX CLEAR SIGHT TRIANGLE (PER COA) LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  - MOUNTABLE CURB

### LEGEND

- PROPERTY LINE
- PUBLIC UTILITY EASEMENT (P.U.D.)
- ACCESSABLE ROUTE
- FIRE TRUCK ACCESSIBLE ROUTE
- REFUSE TRUCK ROUTE
- PROPOSED BIKE PATH
- PROPOSED FIRE HYDRANT LOCATION
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 20' LIGHT POLE
- PROPOSED CARPORT LOCATION
- BIKE RACK
- PHASING LINE



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

**IDO Zone Atlas**  
May 2018

**AGIS**

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: **S-16-Z**

- Escarpment
- Petroleum National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Scale: 0 250 500 1,000

# DEKKER PERICH SABATINI

## Architecture in Progress

SEAL

PROJECT

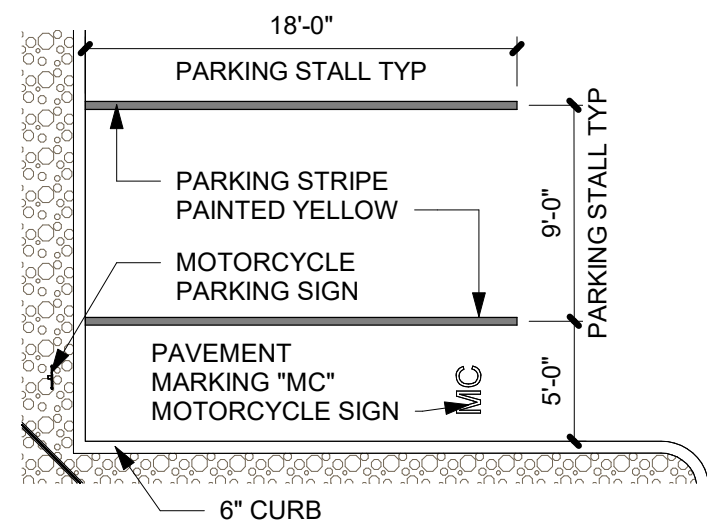
MESA DEL SOL-TRACT A  
(Tract A) UNIVERSITY BLVD.  
SE ALBUQUERQUE, NM 87106

DRB

REVISIONS

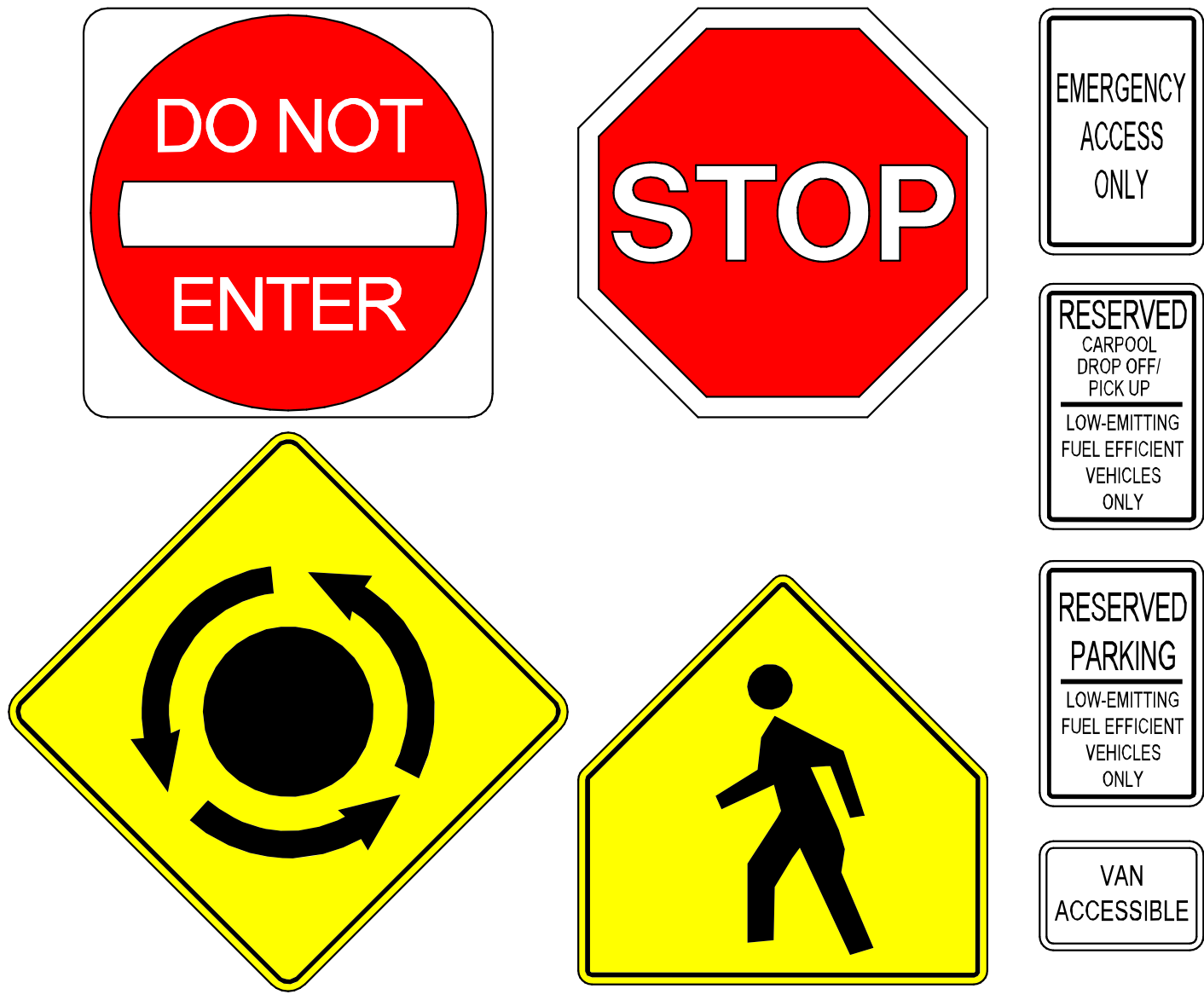
DRAWN BY	TD - CWW
REVIEWED BY	CWW - HFG
DATE	22/12/16
PROJECT NO:	22-0148
DRAWING NAME	TRAFFIC CONTROL LAYOUT
SHEET NO	TCL





**TYPICAL MOTORCYCLE PARKING STALL**

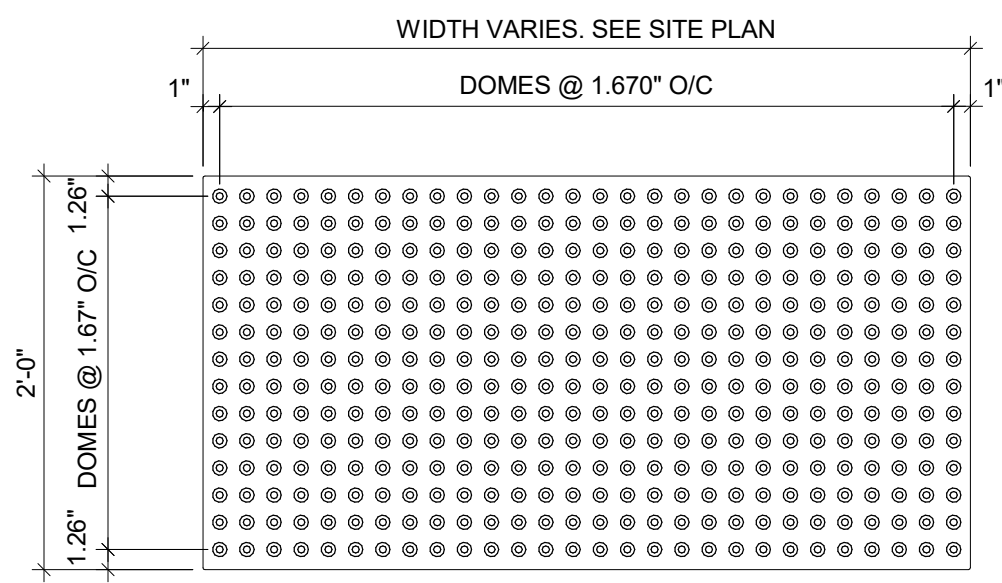
4  
1/8" = 1'-0"



**TRAFFIC SIGNAGE**

3  
1" = 1'-0"

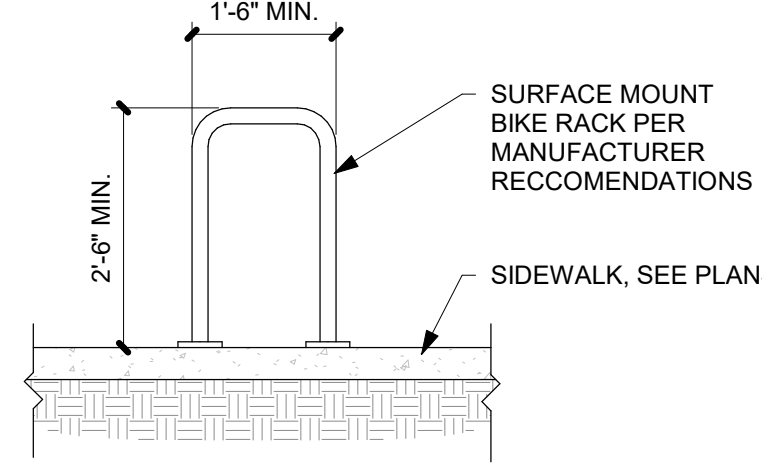
- NOTES:  
1. MANUFACTURER: XXXX.  
2. COLOR: XXXX.  
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.



**TYPICAL ACCESSIBLE PARKING**

2  
1/8" = 1'-0"

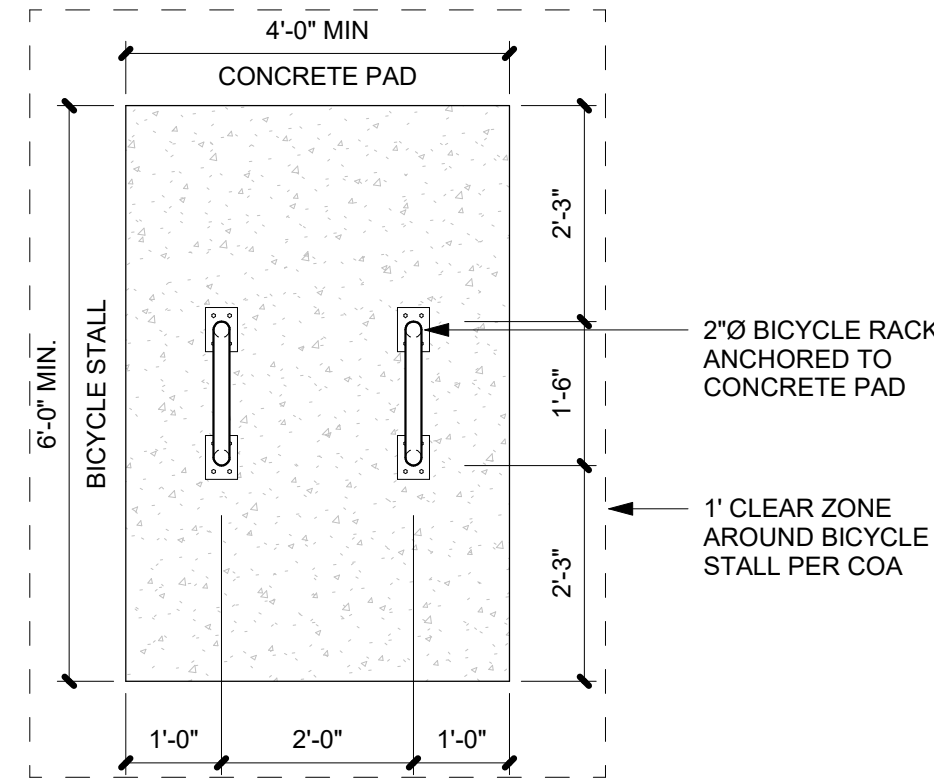
- NOTES:  
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD



**BICYCLE RACK**

A10  
1/2" = 1'-0"

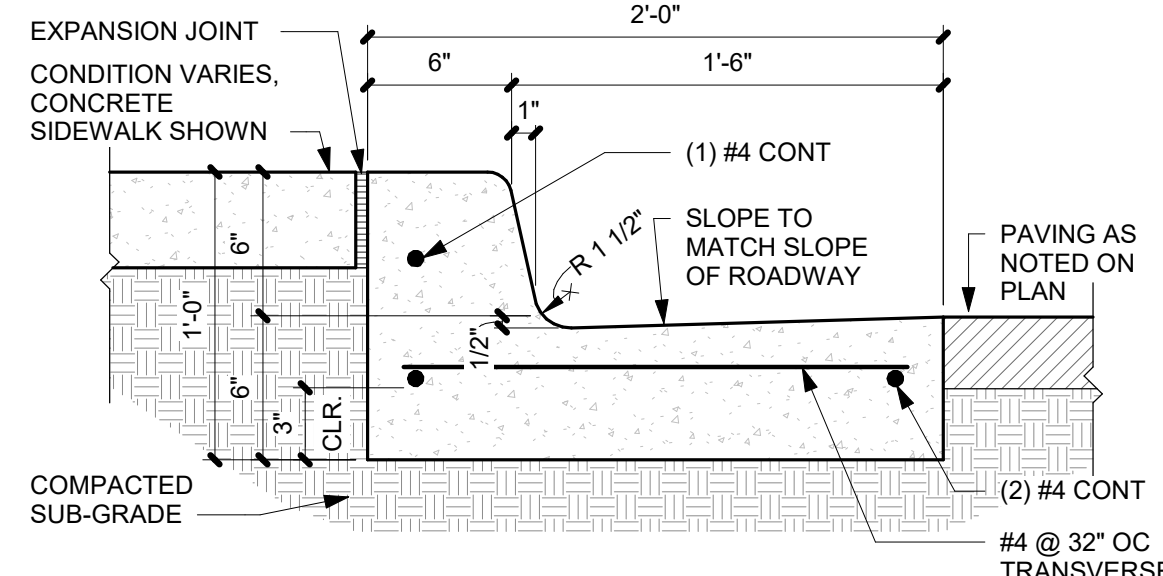
- NOTES:  
1. BASIS OF DESIGN, ANOVA U-BIKE RACK, COLOR: TBD  
2. BICYCLE PARKING SPACE SHALL BE 6' LONG AND 2' WIDE.



**BICYCLE RACK**

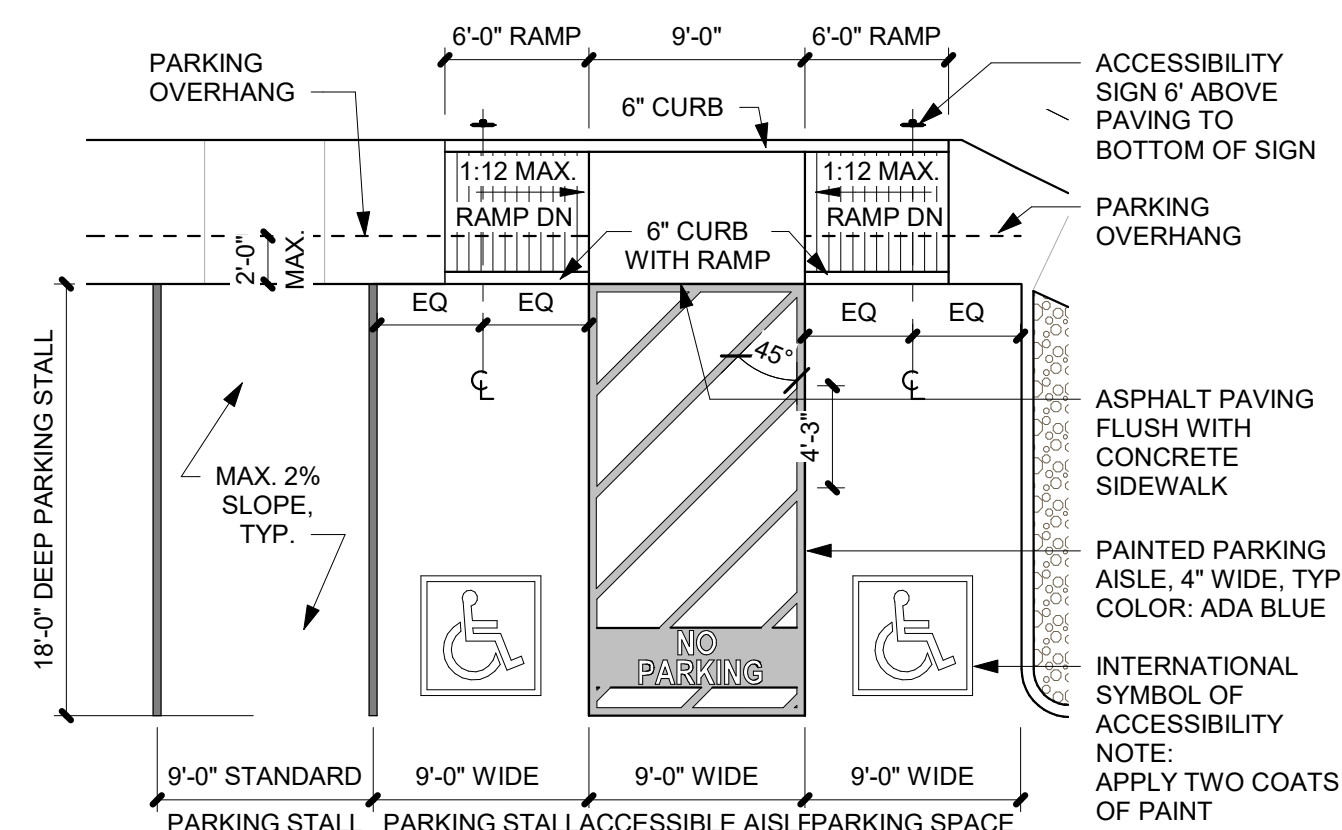
A6  
1/2" = 1'-0"

- NOTE:  
1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAM, ADD 1/2" RADIUS ON EXPOSED EDGES.  
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.



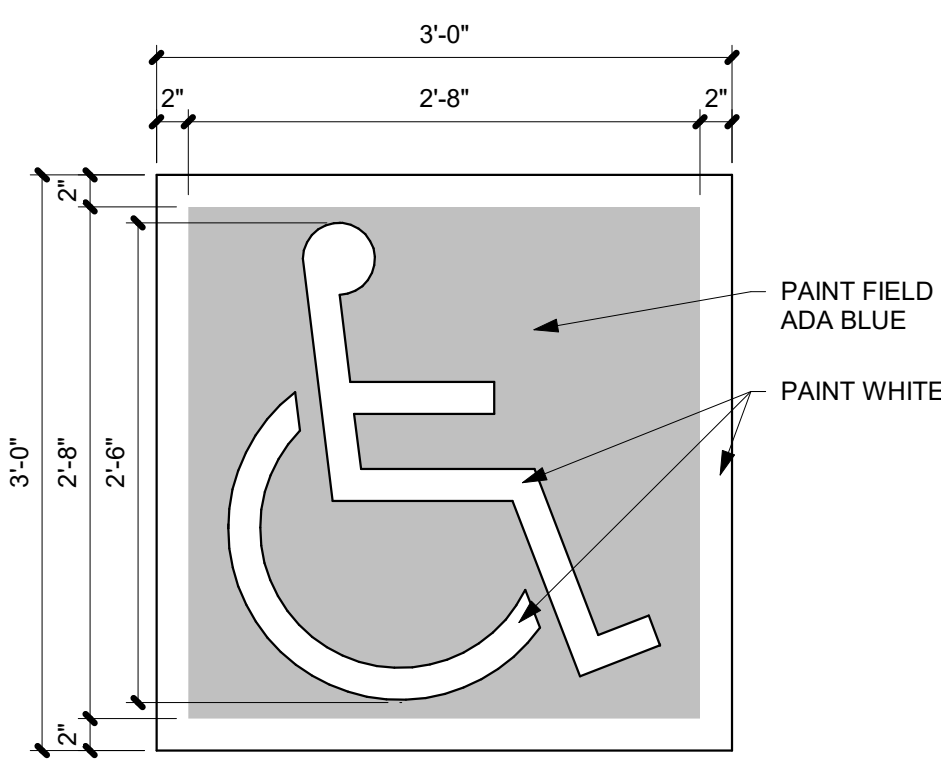
**CONCRETE CURB & GUTTER**

A2  
1 1/2" = 1'-0"



**TYPICAL ACCESSIBLE PARKING STALL**

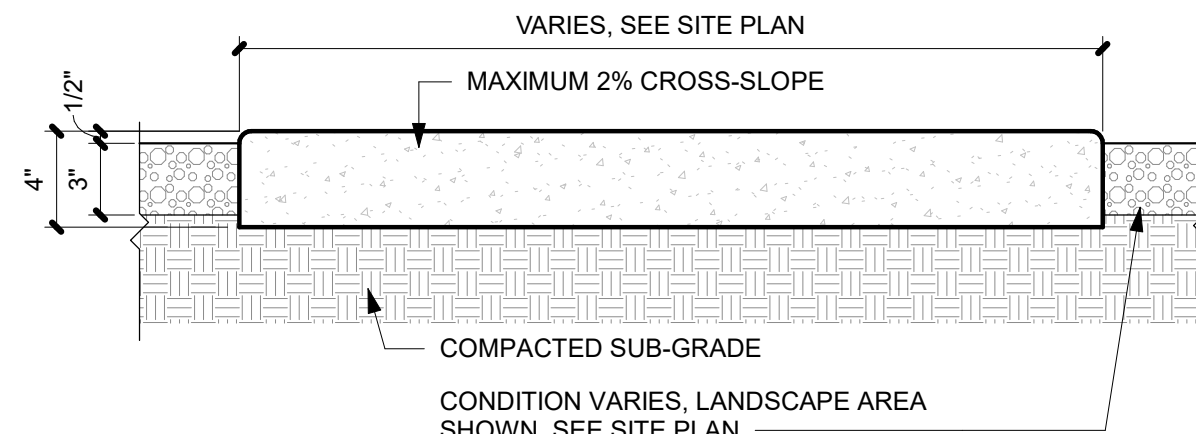
1  
1/8" = 1'-0"



**ACCESSIBLE PAVEMENT MARKING**

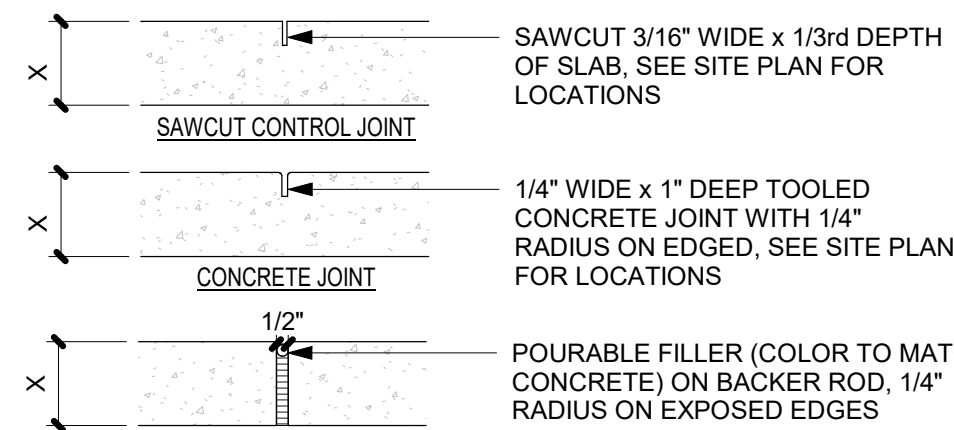
A9  
1" = 1'-0"

- NOTES:  
1. SEE SITE PLANS FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING, LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES  
3. INTERGRAL COLOR WHERE/IF NOTED ON PLAN.  
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.



**CONCRETE SIDEWALK**

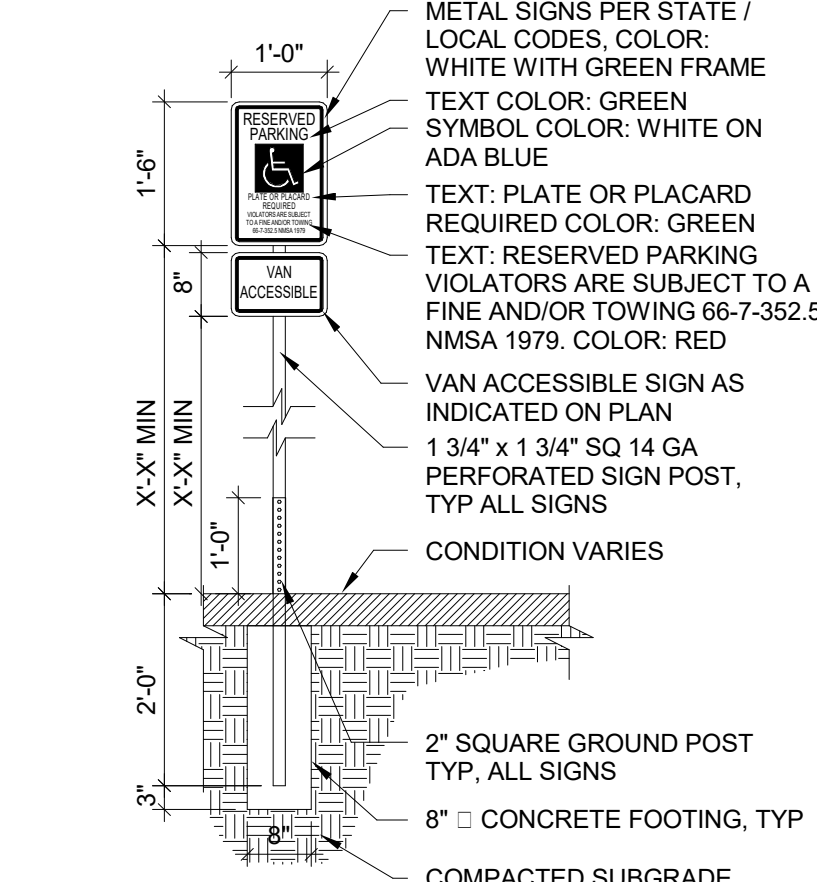
A5  
1 1/2" = 1'-0"



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4" O.C.	5' O.C.	8' O.C.	6' O.C.
EXPANSION JOINTS	4" O.C.	5' O.C.	8' O.C.	6' O.C.

**CONCRETE JOINTS & JOINT SPACING**

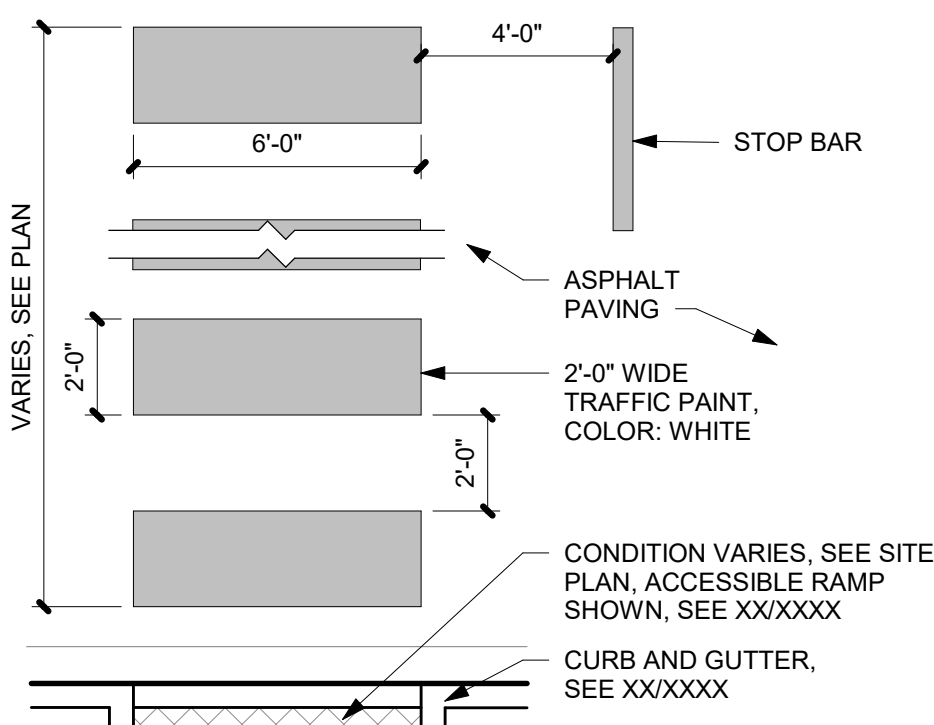
A1  
1 1/2" = 1'-0"



**TRAFFIC SIGNAGE**

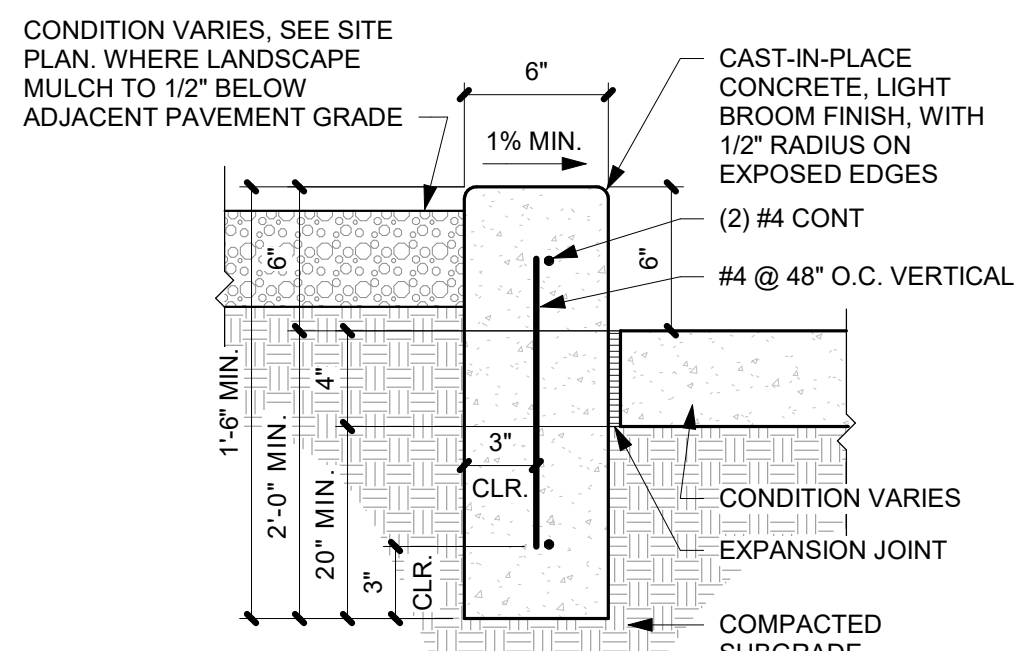
A12  
1/2" = 1'-0"

- NOTES:  
1. WHEN CONDITION OCCURS IN RIGHT OF WAY USE REFLECTIVE PAINT.  
CONDITION VARIES, SEE SITE PLAN, ACCESSIBLE RAMP SHOWN, SEE XXXXXX



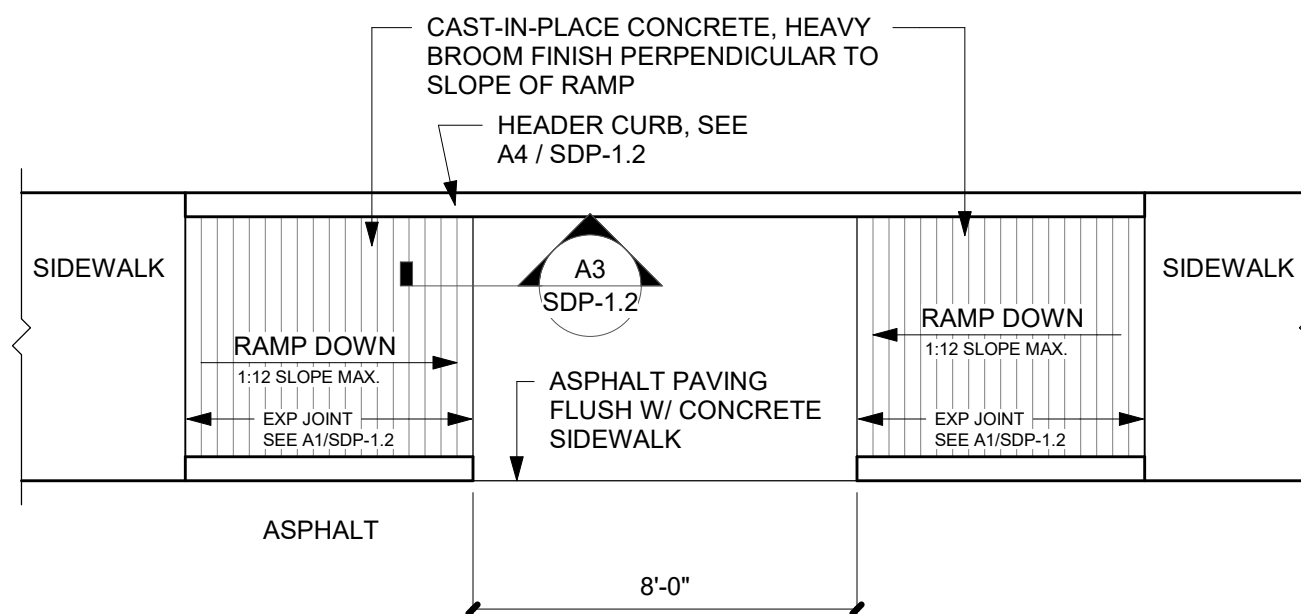
**PAINTED CROSSWALK**

A8  
1/4" = 1'-0"



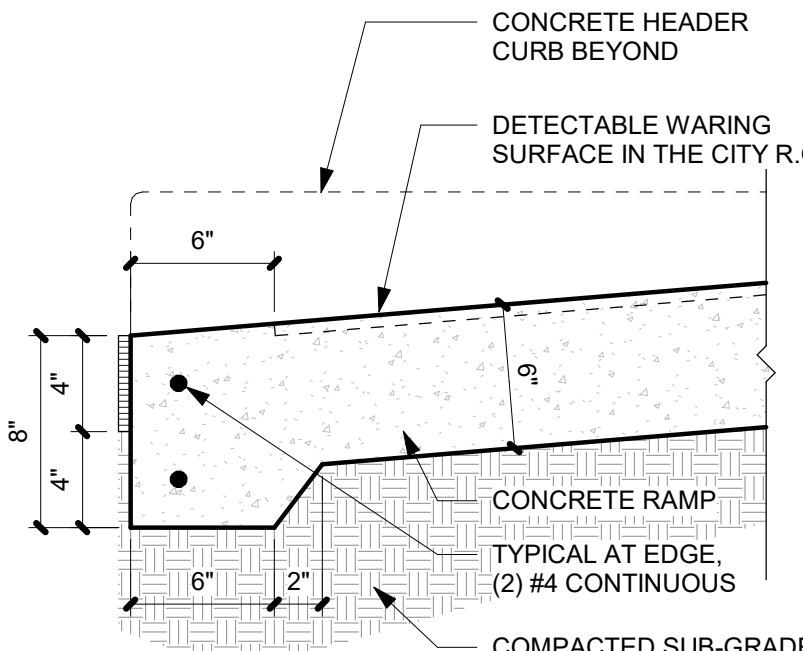
**CONCRETE HEADER CURB**

A4  
1 1/2" = 1'-0"



**PAINTED CROSSWALK**

A7  
1/4" = 1'-0"



**RAMP TRANSITION**

A3  
1 1/2" = 1'-0"