

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 3, 2023

Joshua Lutz, P.E.
Bohannon Huston Inc.
7500 Jefferson St. NE Courtyard I
Albuquerque, NM 87109

RE: Woodbury Apartments
Tract 17 Bulk Land Plat Tracts 1 through 18 Artiste, Mesa del Sol
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 1/27/2023
Hydrology File: R16D097C

Dear Mr. Lutz:

Based upon the information provided in your submittal received 2/2/2023, the Grading and Drainage Plans are approved for action by the DRB/DFT on Site Plan for Building Permit and SO-19 Permit. Please place this stamp approved Grading & Drainage Plan to the Grading and Building Permitting set of construction drawings.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

January 27, 2023

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Tiequan Chen, PE
Principal Engineer, Hydrology
Planning Department, DRS
415 Silver Ave SW
Albuquerque, NM 87102

Re: Comment Response Letter – Woodbury Apartments tract 17 Bulk Land Plat Tracts 1 through 18 Artiste, Mesa del Sol Conceptual Grading and Drainage Plan (Hydrology File: R16D097C)

Dear Mr. Chen,

Enclosed for your review is a copy of the Mesa del Sol Grading and Drainage Plan. The revisions are based on comments received in your letter dated, January 23, 2023. Below is a brief description of how the comments were addressed:

1. Please insert vicinity map, FEMA FIRM map and change the scales on the plan to 1" = 50' per the DPM Section 6-14(C)(1)2b.
 - ***Conceptual Grading, Existing & Proposed Drainage Exhibits are changed to scale 1" = 50'. FEMA FIRM map has been included indicating the site location.***
2. Provide the Benchmark information (location, description, and elevation) for the survey contour information provided.
 - ***Benchmark information has been included in all three exhibits.***
3. The existing basins are 13.8 acres, but the development basins are 14.0 acres. Please verify.
 - ***Existing and developed basins have been updated and they now match***
4. Add another column for the provided SWQV on the proposed conditions basin data table.
 - ***New column for SWQV has been added to the proposed conditions basin data table.***
5. Cross-section A-A on Stryker Road seemed point to opposite direction.
 - ***Pointing direction of cross-section A-A on Stryker Road has been corrected.***

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

6. Add proposed SD pipe size on the plan.

- ***Labels have been added for SD pipe sizes.***

7. Is there DI missing at this location of the grading keyed note 4 should be changed to note 1 on sheet 1 of 1.

- ***Grading keyed note has been changed to note 1.***

8. Move this label to show the proposed SD pipe on sheet 1 of 1.

- ***Label has been moved.***

9. Provide pond 4 revised size showing that it can accommodate the discharge generated from this development.

- ***Pond 4 expansion information has been included in the Conceptual Grading Exhibit.***

10. Fix the sheet numbers.

- ***Sheet numbers have been updated.***

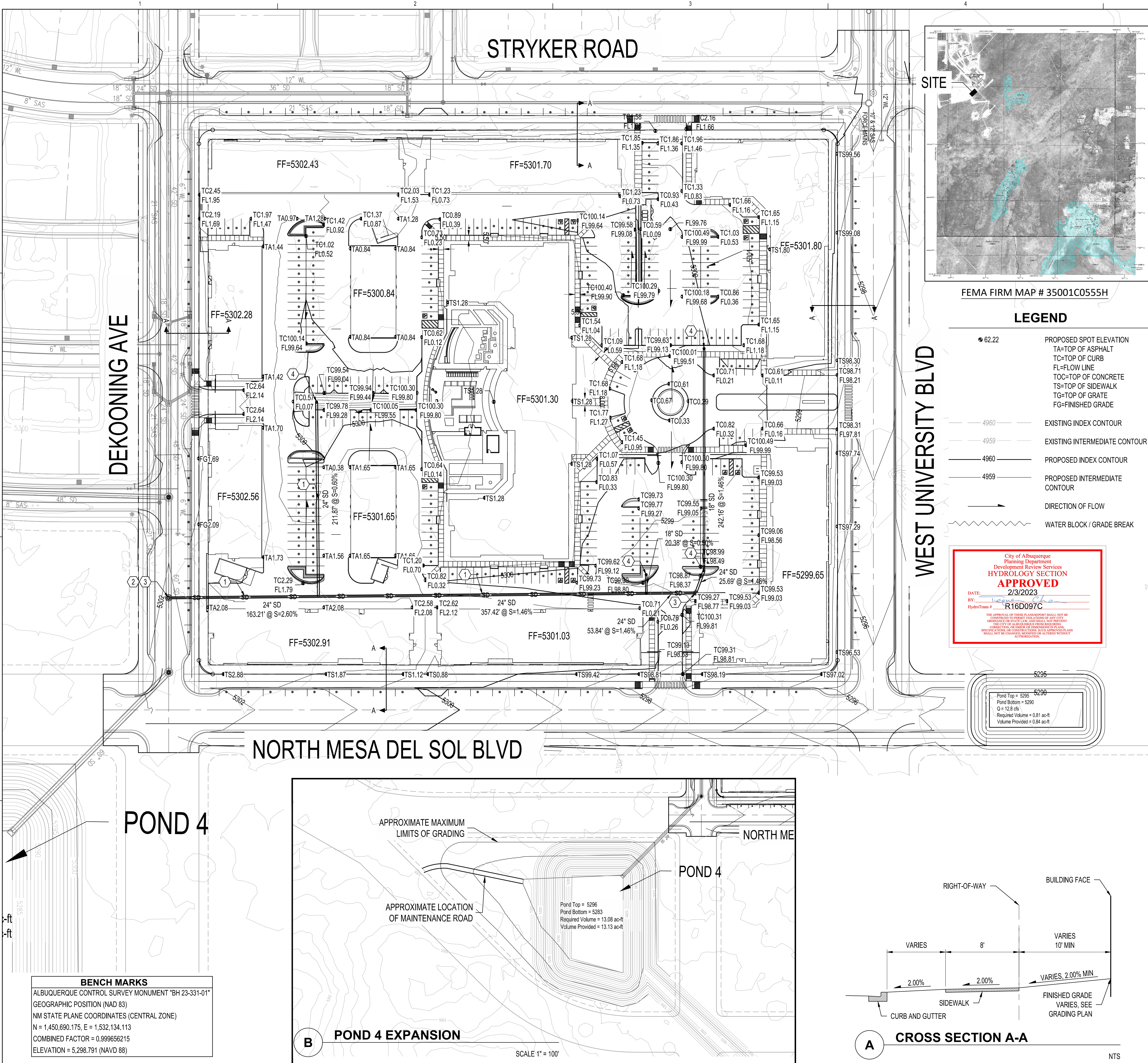
With this resubmittal, we are requesting hydrology approval for Site Plan Building Permit. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Joshua Lutz, PE
Project Manager
Community Development & Planning

JLL/sms/kdl
Enclosures



GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
7. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
8. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
9. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
10. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
11. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
12. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
13. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
14. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
15. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
16. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
17. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
18. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
19. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/ STREET USE.
20. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
21. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
22. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

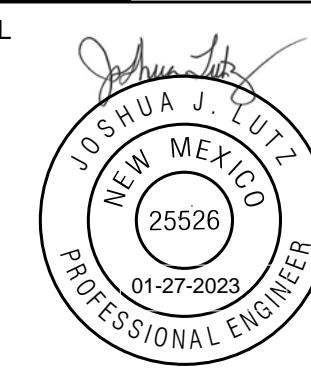
GRADING KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONNECT TO EXISTING STORM DRAIN.
3. CONSTRUCT TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT NYLOPLAST STORM DRAIN INLET.

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PERICH
SABATINI

Architecture
in Progress

SEAL



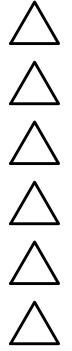
PROJECT

MESA DEL SOL-TRACT A

(Tract A) UNIVERSITY BLVD,
SE ALBUQUERQUE, NM 87106

ARC

REVISIONS



DRAWN BY

REVIEWED BY

DATE 01/20/2023

PROJECT NO. 22-0148

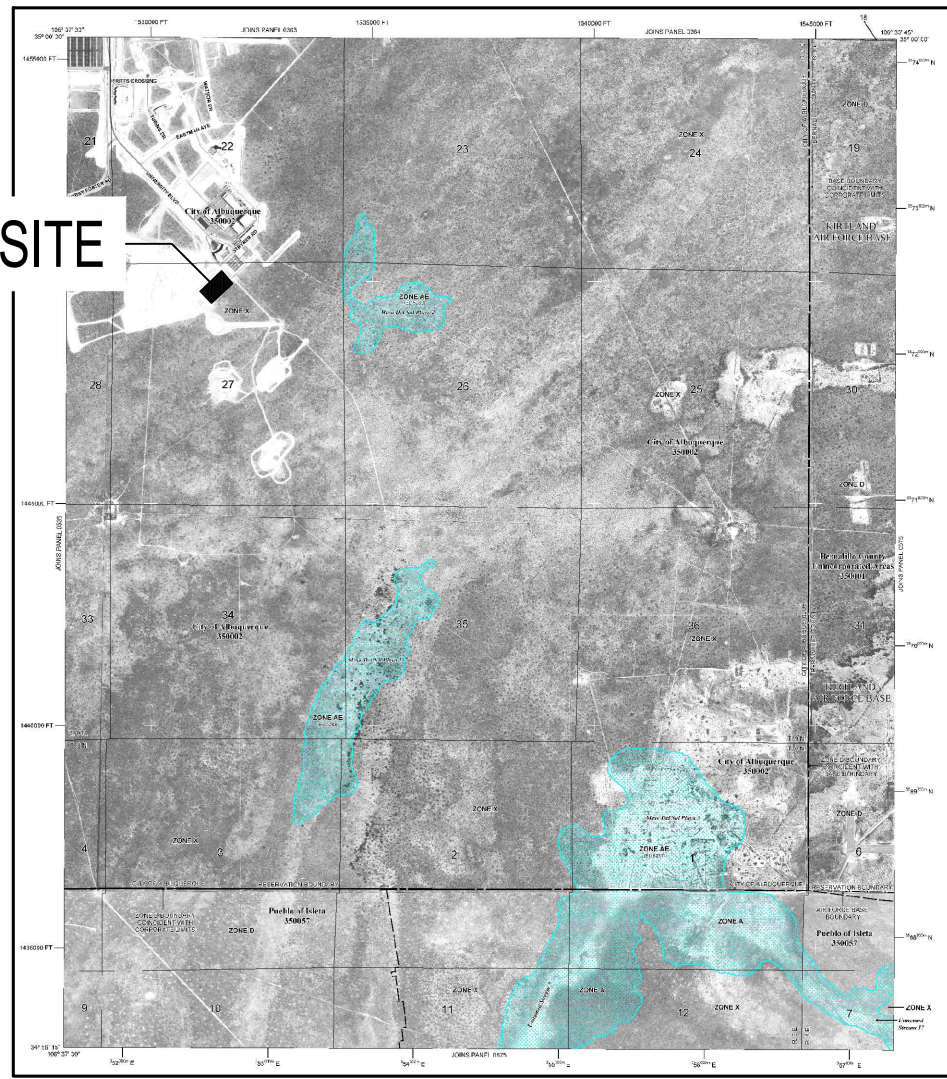
DRAWING NAME

CONCEPTUAL
GRADING EXHIBIT

SHEET NO.

C200

Bohannon & Huston
www.bhinc.com 800.877.5332



FEMA FIRM MAP # 35001C0555H

DRAINAGE NARRATIVE:

INTRODUCTION:
THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF STRYKER ROAD AND DEKOONING AVE INTERSECTION. THE SITE WILL CONSIST OF 9 TOTAL MULTI FAMILY AND RETAIL BUILDINGS WITH ASSOCIATED PARKING, LANDSCAPING, AND SITE AMENITIES. THE SITE IS IN RAINFALL ZONE 2 AS DEFINED BY THE DPM.

METHODOLOGY:
THE HYDRAULIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.2 OF THE CITY OF ALBUQUERQUE DPM. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED CONDITIONS BASIN DATA TABLE" ON THIS SHEET. THIS SITE WAS ANALYZED FOR THE 100-YEAR, 6-HOUR STORM EVENT. THIS PLAN DEMONSTRATES THE PROPOSED GRADING AND DRAINAGE CONCEPTS.

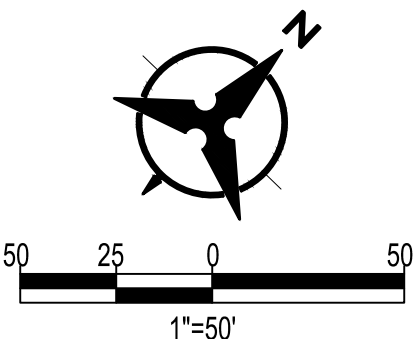
EXISTING CONDITIONS:
IN THE EXISTING CONDITIONS, THERE IS NO DEVELOPMENT IN THE PROPOSED SITE. BASED ON THE EXISTING TOPO, THE SITE IS DIVIDED INTO THREE ONSITE BASINS AND FOUR OFFSITE BASINS. ONSITE EXISTING BASIN 1 DRAINS SOUTHWEST TOWARD DEKOONING AVE AND COMBINES WITH FLOW FROM OFFSITE BASINS 3. ONSITE EXISTING BASIN 2 DRAINS NORTHWEST TOWARDS STRYKER ROAD AND COMBINES WITH OFFSITE BASIN 4. THERE IS EXISTING STORM DRAIN INFRASTRUCTURE WITHIN STRYKER ROAD AND DEKOONING AVE WHICH CONVEYS THESE FLOWS TO POND 4 LOCATED AT THE SOUTHWEST CORNER OF DEKOONING AVE AND NORTH MESA DEL SOL BLVD. ONSITE EXISTING BASIN 3 CONSISTS OF THE MAJORITY OF THE PROPOSED SITE AND DRAINS SOUTHEAST. OFFSITE BASIN 1 AND 2 SURFACE DRAINS SOUTH AND EAST RESPECTIVELY AND FOLLOWS THE EXISTING TERRAIN DOWNSTREAM. THE TOTAL FLOW FROM ONSITE AND OFFSITE BASINS IN EXISTING CONDITIONS IS SUMMARIZED IN THE TABLE SHOWN ON THIS SHEET.

LEGEND

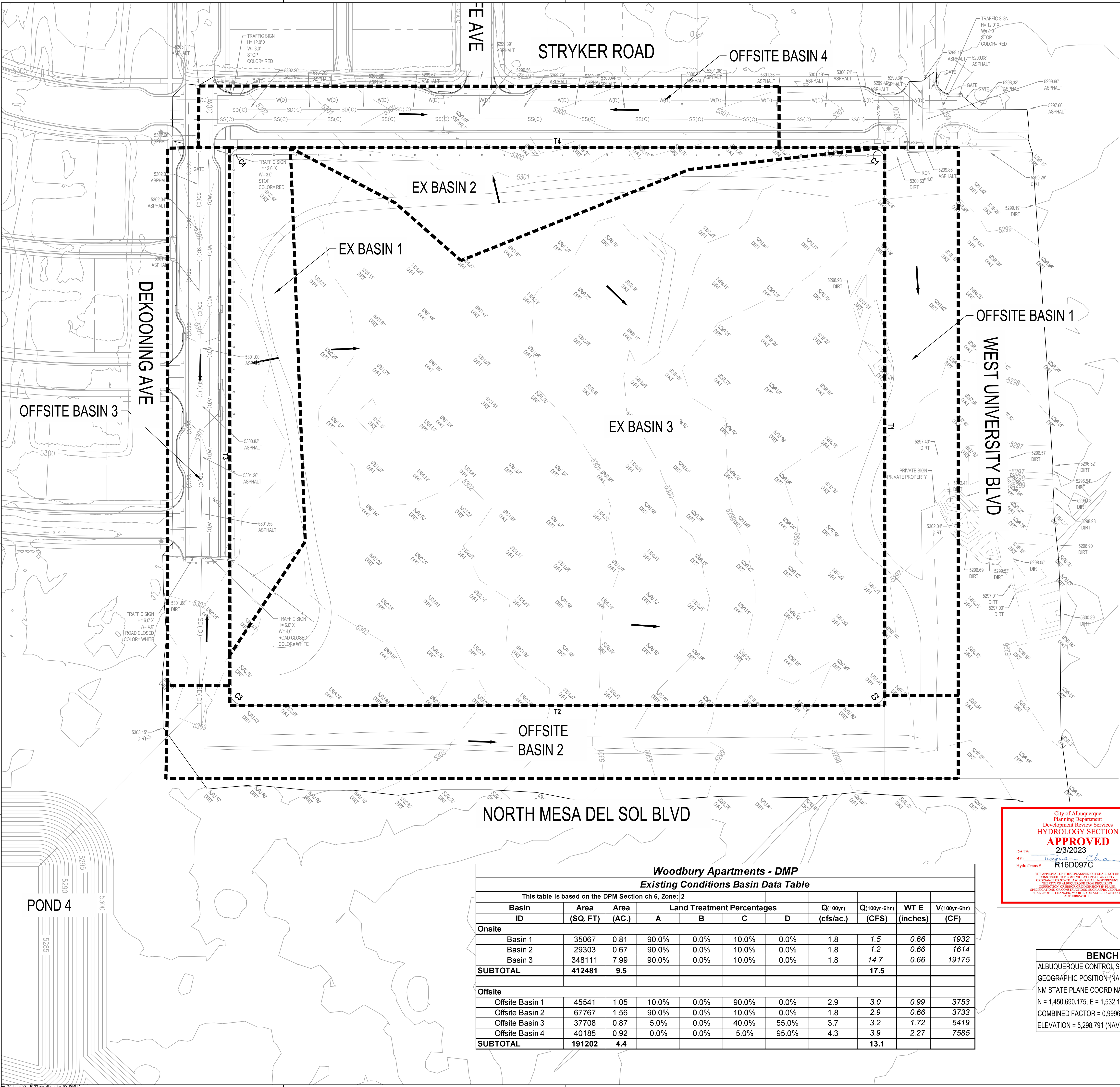
- BASIN BOUNDARY
- 5320 --- PROPOSED INDEX CONTOUR
- 5319 --- PROPOSED INTERMEDIATE CONTOUR
- 5320 --- EXISTING INDEX CONTOUR
- 5319 --- EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK



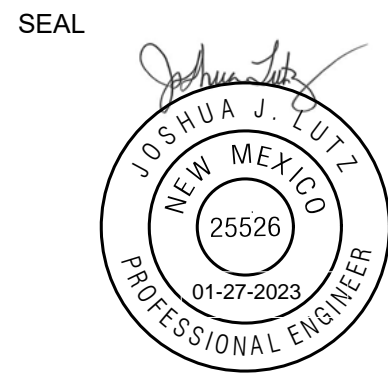
BENCH MARKS
ALBUQUERQUE CONTROL SURVEY MONUMENT "BH 23-331-01"
GEOGRAPHIC POSITION (NAD 83)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,450,690.175, E = 1,532,134.113
COMBINED FACTOR = 0.999856215
ELEVATION = 5,298.791 (NAVD 88)



Woodbury Apartments - DMP										
Existing Conditions Basin Data Table										
This table is based on the DPM Section ch 6, Zone: 2										
Basin		Area	Area	Land Treatment Percentages			Q(100yr)	Q(100yr-6hr)	WT E	V(100yr-6hr)
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)
Onsite										
Basin 1	35067	0.81	90.0%	0.0%	10.0%	0.0%	1.8	1.5	0.66	1932
Basin 2	29303	0.67	90.0%	0.0%	10.0%	0.0%	1.8	1.2	0.66	1614
Basin 3	348111	7.99	90.0%	0.0%	10.0%	0.0%	1.8	14.7	0.66	19175
SUBTOTAL	412481	9.5						17.5		
Offsite										
Offsite Basin 1	45541	1.05	10.0%	0.0%	90.0%	0.0%	2.9	3.0	0.99	3753
Offsite Basin 2	67767	1.56	90.0%	0.0%	10.0%	0.0%	1.8	2.9	0.66	3733
Offsite Basin 3	37708	0.87	5.0%	0.0%	40.0%	55.0%	3.7	3.2	1.72	5419
Offsite Basin 4	40185	0.92	0.0%	0.0%	5.0%	95.0%	4.3	3.9	2.27	7585
SUBTOTAL	191202	4.4						13.1		



DEKKER PERICH SABATINI
Architecture in Progress

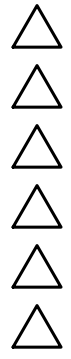


PROJECT

MESA DEL SOL-TRACT A
(Tract A) UNIVERSITY BLVD.
SE ALBUQUERQUE, NM 87106

ARC

REVISIONS



DRAWN BY

REVIEWED BY

DATE 01/20/2023

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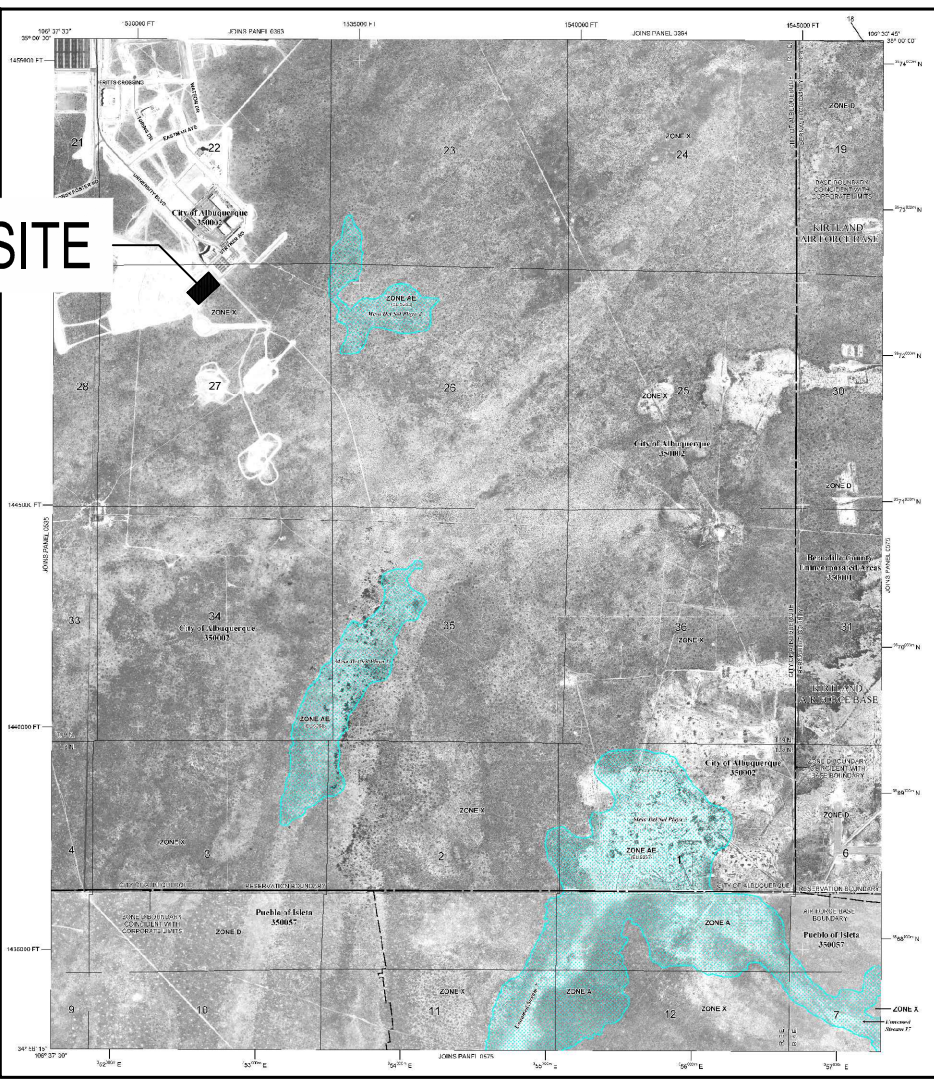
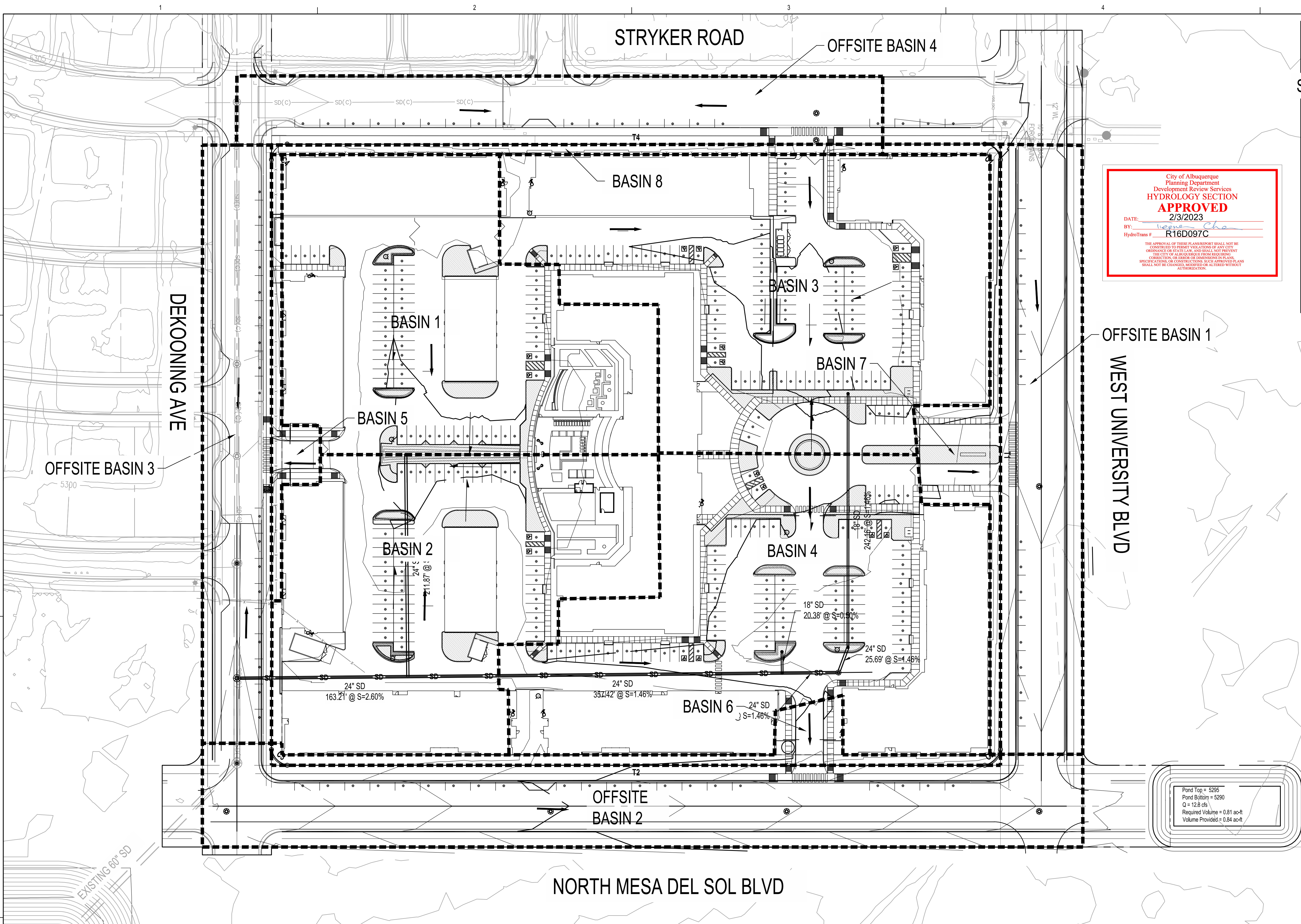
DRAWING NAME

CONCEPTUAL
EXISTING DRAINAGE
EXHIBIT

SHEET NO.

C800

Bohannon & Huston
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FEMA FIRM MAP # 35001C0555H

DRAINAGE NARRATIVE:

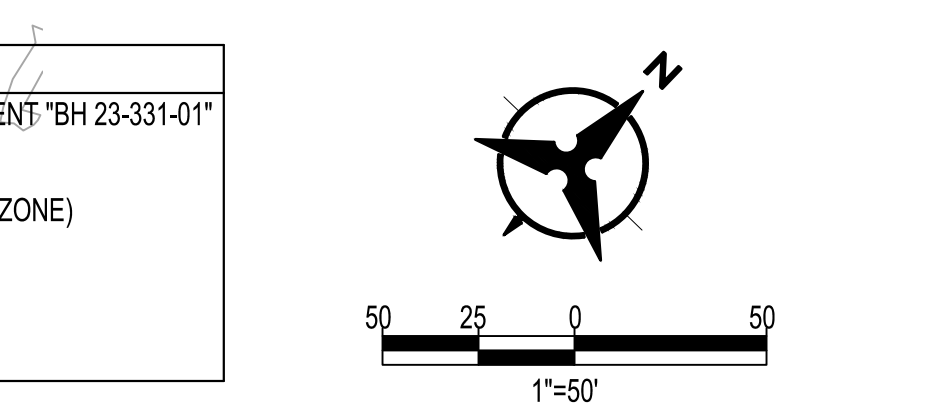
INTRODUCTION:
THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF STRYKER ROAD AND DEKOONING AVE INTERSECTION. THE SITE WILL CONSIST OF 9 TOTAL MULTI FAMILY AND RETAIL BUILDINGS WITH ASSOCIATED PARKING, LANDSCAPING, AND SITE AMENITIES. THE SITE IS IN RAINFALL ZONE 2 AS DEFINED BY THE DPM.

METHODOLOGY:
THE HYDRAULIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.2 OF THE CITY OF ALBUQUERQUE DPM. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED CONDITIONS BASIN DATA TABLE" ON THIS SHEET. THIS SITE WAS ANALYZED FOR THE 100-YEAR, 6-HOUR STORM EVENT. THIS PLAN DEMONSTRATES THE PROPOSED GRADING AND DRAINAGE CONCEPTS.

PROPOSED:
IN THE PROPOSED CONDITIONS, THE SITE HAS BEEN DIVIDED INTO EIGHT ONSITE BASINS AND FOUR OFFSITE BASINS. ONSITE BASIN 1 AND 2 MAKE UP THE WEST HALF OF THE SITE AND DRAINS TOWARD THE MIDDLE OF THE SITE TO BE CAPTURED IN A SERIES OF FIRST FLUSH PONDS. ONSITE BASINS 3 AND 4 MAKE UP THE EAST HALF OF THE SITE AND DRAINS TOWARD THE MIDDLE OF EACH BASIN TO BE CAPTURED IN A SERIES OF FIRST FLUSH PONDS. ULTIMATELY ONSITE BASINS 1-4 WILL BE COLLECTED BY STORM DRAIN AND CONVEYED TO THE EXISTING 60" STORM DRAIN PIPE WITHIN DEKOONING AVE. THE 60" STORM DRAIN PIPE OUTFALLS TO POND 4. POND 4 WILL BE UPSIZED TO ACCOMMODATE THE ADDITIONAL FLOWS FROM THIS TRACT. DEVELOPED FLOW FROM OFFSITE BASINS 1 AND 2 WILL BE CONVEYED TO A TEMPORARY POND LOCATED NORTHEAST OF NORTH MESA DEL SOL BLVD. ONCE NORTH MESA DEL SOL BLVD IS EXTENDED, THIS POND SHALL BE RELOCATED UNTIL IT ULTIMATELY DISCHARGES TO ITS ULTIMATE LOCATION.

LEGEND

	BASIN BOUNDARY
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	DIRECTION OF FLOW
	WATER BLOCK/GRADE BREAK
	PROPOSED STORM DRAIN PIPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLETS
	AREA DESIGNATED TO PROVIDE STORM WATER QUALITY VOLUME



POND 4
SEE GRADING PLAN
FOR POND EXPANSION
INFORMATION
13.13 ac-ft

Woodbury Apartments - DMP																	
Proposed Conditions Basin Data Table																	
This table is based on the DPM Section ch 6, Zone: 2							SWQV										
Basin	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr-6hr)	WT E	V(100yr-6hr)	V(100yr-10day)	V(100yr-10day)	Imperv. Area	First Flush	Required	Req'd Volume	Volume
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(AC-FT)	(SF)	(IN)	Volume (CF)	(AC-FT)	Provided (AC-FT)
Onsite																	
BASIN 1	82452	1.89	0.0%	0.0%	8.0%	92.0%	4.2	8.0	2.23	15295	23,702	0.54	75,855	0.420	2,655	0.061	0.064
BASIN 2	83557	1.92	0.0%	0.0%	8.0%	92.0%	4.2	8.1	2.23	15500	24,020	0.55	76,873	0.420	2,691	0.062	0.067
BASIN 3	106881	2.45	0.0%	0.0%	16.0%	84.0%	4.1	10.1	2.12	18900	28,851	0.66	89,780	0.420	3,142	0.072	0.249
BASIN 4	103907	2.39	0.0%	0.0%	17.0%	83.0%	4.1	9.8	2.11	18262	27,820	0.64	86,242	0.420	3,018	0.069	0.092
BASIN 5	6262	0.14	0.0%	0.0%	79.0%	21.0%	3.3	0.5	1.30	680	826	0.02	1,315	0.420	46	0.001	0.000
BASIN 6	10309	0.24	0.0%	0.0%	85.0%	15.0%	3.2	0.8	1.23	1052	1,224	0.03	1,546	0.420	54	0.001	0.007
BASIN 7	13413	0.31	0.0%	0.0%	75.0%	25.0%	3.4	1.0	1.36	1515	1,886	0.04	3,353	0.420	117	0.003	0.022
BASIN 8	5854	0.13	0.0%	0.0%	95.0%	5.0%	3.1	0.4	1.10	534	567	0.01	293	0.420	10	0.000	0.000
SUBTOTAL	412635	9.5						38.8				2.50				0.269	0.502
Offsite																	
Offsite Basin 1	45541	1.05	0.0%	0.0%	10.0%	90.0%	4.2	4.4	2.20	8349	12,892	0.30	40,987	0.420	1,435	0.033	0.840
Offsite Basin 2	67767	1.56	0.0%	0.0%	10.0%	90.0%	4.2	6.6	2.20	12424	19,184	0.44	60,990	0.420	2,135	0.049	0.840
Offsite Basin 3	37708	0.87	0.0%	0.0%	10.0%	90.0%	4.2	3.6	2.20	6913	10,675	0.25					
Offsite Basin 4	40185	0.92	0.0%	0.0%	10.0%	90.0%	4.2	3.9	2.20	7367	11,376	0.26					
SUBTOTAL	191202	4.4						18.5				1.24					

DEKKER PERICH SABATINI

Architecture in Progress

SEAL

PROJECT

MESA DEL SOL-TRACT A

(Tract A) UNIVERSITY BLVD.
SE ALBUQUERQUE, NM 87106

ARC

REVISIONS

DRAWN BY

REVIEWED BY

DATE 01/20/2023

PROJECT NO. 22-0148

DRAWING NAME

CONCEPTUAL PROPOSED DRAINAGE EXHIBIT

SHEET NO.

C801