

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 4, 2024

Scott Eddings, P.E.
Huitt-Zollers Inc.
6561 Americas Parkway NE
Albuquerque, NM 87110

**RE: MDS - Montage Subdivision Unit 7 on Bobby Foster
Grading and Drainage Submittal for Building Permit
Grading Plan Engineer's Stamp Date: 8/16/2023
Hydrology File: R16D100A**

Dear Mr. Eddings,

Based upon the information provided in your submittal received 12/29/2023, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house).

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

NM 87103

1. Once the grading is complete (the earth pad is done for the house), please attach a **site photo** with the Hydrology submittal for Pad Certification and Building Permit approval.
2. An Engineer's Certification of the compacted pad and grading (Pad Certification), per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language must be placed on the certification.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

THE PROJECT SITE IS WITHIN TRACT A-1-A-5-C MESA DEL SOL INNOVATION PARK. TRACT A-1-A-5-C IS APPROXIMATELY 7.4572 ACRES AND PART OF THE LEVEL B MESA DEL SOL MASTER PLAN.

PER THE FEMA MAP NUMBER 35001C0555H DATED AUGUST 16, 2012
SHOWS THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE X.

- **BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD IMPROVEMENTS**
 - DRAINAGE STUDY FOR BOBBY FOSTER ROAD UNIVERSITY BOULEVARD DATED NOVEMBER 2020
 - DRB - PR-2020-004138
 - CITY PROJECT NUMBER 393581 - CONSTRUCTION PLANS APPROVED SEPTEMBER 20, 2021
- **BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD AMENDED DRAINAGE STUDY - MARCH 2023**
 - CHANGE POND 1 TO RETENTION

THE SITE IS UNDISTURBED SURROUNDED ON ALL SIDES BY FULLY IMPROVED ROADS, DRAINAGE AND UTILITIES. THE EXISTING DRAINAGE INFRASTRUCTURE WITHIN THE ADJACENT ROADWAYS (BOBBY FOSTER ROAD, SAGAN LOOP, STIEGLITZ AVENUE AND NEWHALL DRIVE) WAS CONSTRUCTED AS PART OF CPN 393581 AND SIZED TO ACCEPT DEVELOPED FLOWS FROM TRACT A-1-A-5-C.

MONTAGE 7 SUBDIVISION AT MESA DEL SOL DRAINAGE SUBMITTED
PREPARED BY HUITT-ZOLLARS AND SUBMITTED TO CITY OF
ALBUQUERQUE FOR APPROVAL MARCH 5, 2023.

THIS PROJECT DEVELOPS (57) SINGLE FAMILY RESIDENTIAL LOTS, (11) PARCELS, (2) TRACTS AND (4) ALLEY TRACTS.

SEE SHEETS 1A THRU 1C

HOPPER ALLEY DISCHARGES 7.5 CFS TO NEWHALL DRIVE VIA (2) EA 24-INCH WIDE SIDEWALK CULVERTS.

AARON ALLEY DISCHARGES 7.8 CFS TO NEWHALL DRIVE VIA (2) EA 24-INCH WIDE SIDEWALK CULVERTS.



STORM WATER QUALITY IS PROVIDED WITHIN POND 1

A STANDARD CITY OF ALBUQUERQUE MONUMENT "5-R15 2006"
ALUMINUM DISC. NEW MEXICO STATE PLANE COORDINATES (CENTRAL
ZONE - N.A.D. 1983)
N=1,452,149.458 U.S. SURVEY FEET
E = 1,529,053.738 U.S. SURVEY FEET
PUBLISHED ELEVATION = 5306.674 U.S. SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999664300 DELTA ALPHA ANGLE =
-0°12'47.60".

AREA OF DISTURBANCE IS APPROXIMATELY 7.5 AC

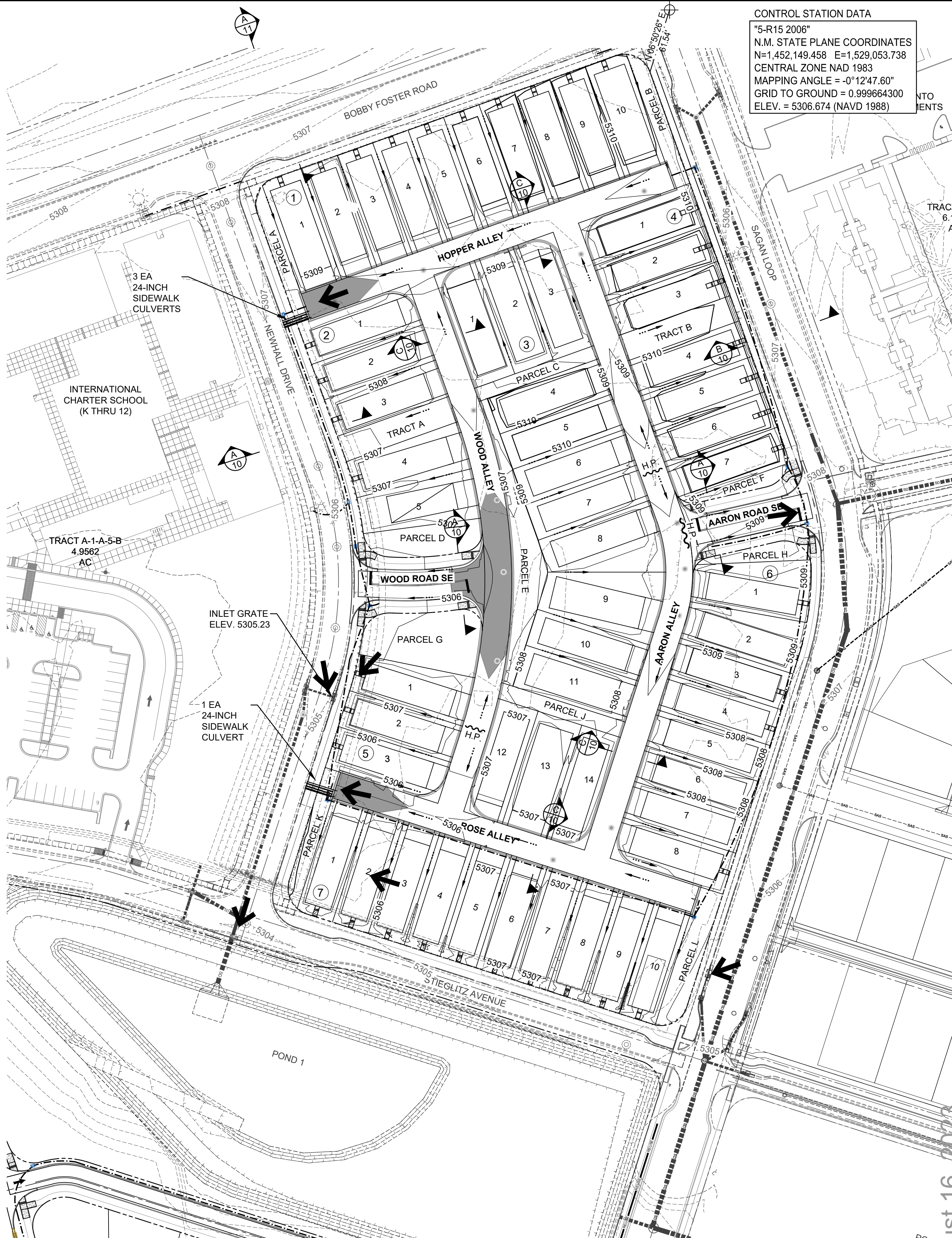
AN EROSION SEDIMENT CONTROL PLAN IS REQUIRED.

PLANIMETRIC AND TOPOGRAPHIC SURVEY

PROVIDED BY HUITT-ZOLLARS, DATED MARCH 2020 AND AUGMENTED
WITH DESIGN CONTOURS AND FIELD SURVEYS FROM CPN 393581.

[illegible]

The map shows the Mesa del Sol area with various labels and features. Key labels include 'Mesa del Sol', 'Monte 7 Site', 'Mesa del Sol Innovation Park', and 'Mesa del Sol'. The map also shows 'Mesa del Sol' and 'Mesa del Sol'.



August 16, 2023

	EXIST. (INDEX) CONTOUR
	EXIST. (INTERMEDIATE) CONTOUR
	PROP. (INDEX) CONTOUR
	PROP. (INTERMEDIATE) CONTOUR
	WATER BLOCK
	NEW CURB & GUTTER
	FUTURE CURB & GUTTER
	TOP OF PAVEMENT
	TOP OF CURB ELEVATION
	FLOW LINE ELEVATION
	TOP OF CONCRETE
	FLOW PATH
	GRADING LIMITS
	DISCHARGE LOCATION
	HIGH POINT
	LOW POINT

1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAN FOR LOT DIMENSIONS.
3. SEE DETAIL 5 FOR TYPICAL LOT GRADING.
4. SEE SHEETS 5-8 FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
5. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
6. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
7. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



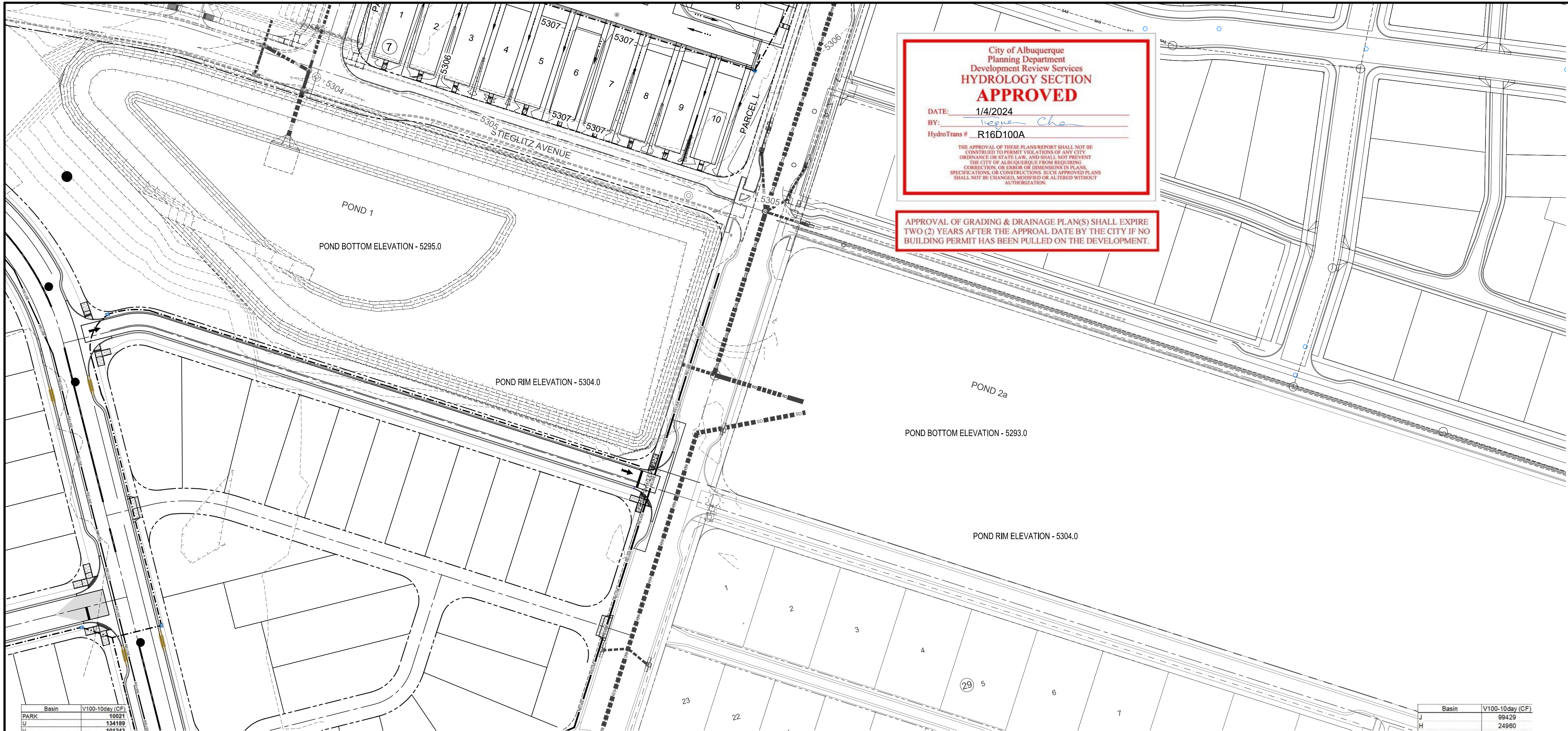
Designed By



TITLE: GRADING COMPOSITE

Design Review Committee		City Engineer		Mo./Day/Yr.		Mo./Day/Yr.	
				Last Update			
City Project No.		Zone Map No.		Sheet		Of	
775685		R-15-Z, S-15-Z		1		11	

Plotted: 12/29/2023 9:04:04 AM, By: Edings, Scott
H:\proj\315530.07 - MESA DEL SOL\10 CAD\DWG\10.1 AutoCAD\DWG\SET\Grading\SH-12.dwg
Last Saved: 12/29/2023 9:01:51 AM, 12/29/2023



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/4/2024
BY: *[Signature]*
HydroTrans # : R16D100A
THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OF DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

Basin	V100-10day (CF)
PARK	10021
U	134189
W	101243
W-1	38759
W-2	50062
W-3 (PARTIAL)	68201
BOBBY FOSTER	24543
(PARTIAL)	427009
REQUIRED VOLUME	721371
ACTUAL VOLUME	

POND 1 - RETENTION POND VOLUME

Basin	V100-10day (CF)
POND 1	10021
U	134189
W	101243
W-1	38759
W-2	50062
W-3 (PARTIAL)	68201
BOBBY FOSTER	24543
(PARTIAL)	427009
REQUIRED VOLUME	721371
ACTUAL VOLUME	

Elevation	Area	Average Area	Volume	Volume	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5295.0	27700		28959	28959	0.66	28959
5296.0	30217		31516	31516	0.72	60474
5297.0	32814		34136	34136	0.78	94610
5298.0	35457		36793	36793	1.44	157402
5299.0	90128		98630	98630	2.26	256032
5300.0	107131		109407	109407	2.51	365438
5301.0	111682		113987	113987	2.62	479425
5302.0	116291		118625	118625	2.72	598049
5303.0	120958		123322	123322	2.83	721371
5304.0	125686					

Elevation	Area	Average Area	Volume	Volume	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5293.0	36552		41048	41048	0.94	41048
5294.0	43544		46114	46114	1.06	87162
5295.0	48683		51326	51326	1.18	138488
5296.0	53969		56679	56679	1.30	195166
5297.0	59388		65141	65141	1.50	260307
5298.0	70894		76983	76983	1.77	337290
5299.0	83072		89967	89967	2.07	427257
5300.0	96861		102128	102128	2.34	529384
5301.0	107394		112037	112037	2.57	641421
5302.0	116679		121174	121174	2.78	762594
5303.0	125668		130325	130325	2.99	892919
5304.0	134982					

POND 2A - RETENTION POND VOLUME

Basin	V100-10day (CF)
J	99429
H	24960
X	53512
Y	53512
G	29926
BOBBY FOSTER (PAR	42392

3

4

GRADING SHEET INDEX
LEGEND

5050

EXIST. (INDEX) CONTOUR

5251

EXIST. (INTERMEDIATE) CONTOUR

5040

PROP. (INDEX) CONTOUR

5041

PROP. (INTERMEDIATE) CONTOUR

WATER BLOCK

NEW CURB & GUTTER

FUTURE CURB & GUTTER

XX.XXTP

TOP OF PAVEMENT

XX.XXTC

TOP OF CURB ELEVATION

XX.XXFL

FLOW LINE ELEVATION

XX.XXTOC

TOP OF CONCRETE

FLOW PATH

GRADING LIMITS

DISCHARGE LOCATION

H.P.

HIGH POINT

L.P.

LOW POINT

GENERAL NOTES

1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.

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3. SEE DETAIL 5 FOR TYPICAL LOT GRADING.

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5. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.

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7. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY

AS BUILT INFORMATION

CONTRACTOR

DATE

STANDARD

INSPECTED BY

DATE

FIELD FORCE BY

DATE

VERIFICATION BY

DATE

CORRECTED BY

DATE

MICRO-FILM INFORMATION

RECORDED BY

DATE

NO.

SURVEY INFORMATION

FIELD NOTES

DATE

NO.

BY

NO.

REMARKS

DATE

REVISIONS

DESIGN

DESIGNED BY: SAE

DATE: August 16, 2023

DRAWN BY: LRT

DATE: August 16, 2023

DWG NAME: SH-12.dwg

CHECKED BY: SAE

DATE: August 16, 2023

ENGINEER'S SEAL

SCOTT A. EDWARDS

REGISTERED PROFESSIONAL ENGINEER

12656

8/16/23

DESIGNED BY:

HUITT ZOLLARS

MESA DEL SOL MONTAGE 7

RETENTION POND VOLUMES

Design Review Committee

City Engineer

Mo./Day/Yr.

Mo./Day/Yr.

City Project No.

775685

Zone Map No.

R-15-Z, S-15-Z

Sheet

2

Of

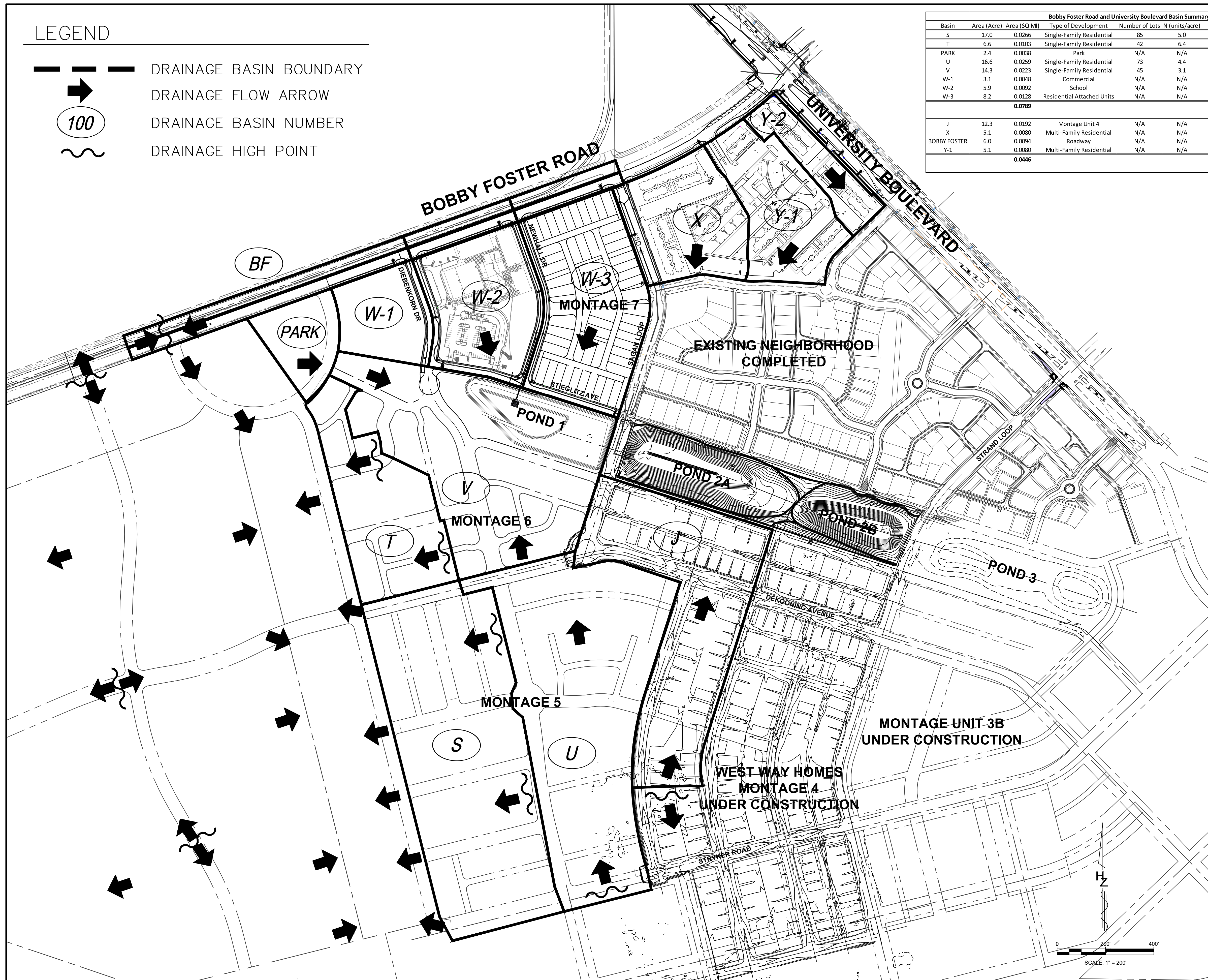
11

A diagram showing a transition. At the top, there are three horizontal dashed line segments. Below them is a large black arrow pointing to the right. Under the arrow is an oval containing the number 100. Below the oval is a wavy line.

DRAINAGE FLOW ARROW

DRAINAGE HIGH POINT

Bobby Foster Road and University Boulevard Basin Summary - Developed Conditions										
Basin	Area (Acre)	Area (SQ.Mi)	Type of Development	Number of Lots	N (units/acre)	%A	%B	%C	100-Year V (AC-FT)	100-Year Q (CFS)
S	17.0	0.0266	Single-Family Residential	85	5.0	0	25	25	50	61.6
T	6.6	0.0103	Single-Family Residential	42	6.4	0	20	20	60	25.0
PARK	2.4	0.0038	Park	N/A	N/A	0	46	47	7	7.1
U	16.6	0.0259	Single-Family Residential	73	4.4	0	27	27	46	58.8
V	14.3	0.0223	Single-Family Residential	45	3.1	0	32	32	36	48.3
W-1	3.1	0.0048	Commercial	N/A	N/A	0	5	5	90	13.2
W-2	5.9	0.0092	School	N/A	N/A	0	25	25	50	21.3
W-3	8.2	0.0128	Residential Attached Units	N/A	N/A	0	15	15	70	32.4
0.0789			Total Inflow to Pond 1 =						6.19	181.1
			Total Outflow from Pond 1 =						4.23	45.2
J	12.3	0.0192	Montage Unit 4	N/A	N/A	0	27	27	46	43.6
X	5.1	0.0080	Multi-Family Residential	N/A	N/A	0	15	15	70	20.3
BOBBY FOSTER	6.0	0.0094	Roadway	N/A	N/A	0	22	0	78	24.2
Y-1	5.1	0.0080	Multi-Family Residential	N/A	N/A	0	15	15	70	20.3
0.0446			Total Inflow to Pond 2A =						8.06	153.46
			Total Outflow from Pond 2A =						6.58	13.9



Designed By:

HUIJTT-ZOIJARS

Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

TITLE:

DEVELOPED CONDITIONS BASIN MAP
BOBBY FOSTER & UNIVERSITY BLVD

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 3935.81	Zone Map No. R-15-Z, R-16-Z	Sheet	Of EXHIBIT 1	

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Plotted: 12/20/2023 4:45:05 AM By: Eddings, Scott
Rdwg: R315530.01 - Montage Unit 7 - Mesa del Sol 10 CADD & BIM 10.1 AutoCAD SHEET SET Grading (Sh 3.4)
Last Saved: 12/20/2023 4:33:05 AM, settings



August 16, 2023

4

GRADING SHEET INDEX

LEGEND

- EXIST. (INDEX) CONTOUR
- EXIST. (INTERMEDIATE) CONTOUR
- PROP. (INDEX) CONTOUR
- PROP. (INTERMEDIATE) CONTOUR
- WATER BLOCK
- NEW CURB & GUTTER
- FUTURE CURB & GUTTER
- XX.XXTP TOP OF PAVEMENT
- XX.XXTC TOP OF CURB ELEVATION
- XX.XXFL FLOW LINE ELEVATION
- XX.XXTOC TOP OF CONCRETE
- FLOW PATH
- GRADING LIMITS

GENERAL NOTES

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- SEE PLAT FOR LOT DIMENSIONS.
- SEE DETAIL GX FOR TYPICAL LOT GRADING.
- SEE SHEETS GX-G1X FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
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AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTED BY	DATE
FIELD NOTES BY	DATE
VERIFICATION BY	DATE
CORRECTION BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL

SCOTT A. EDDINGS
STATE OF MEXICO
12556
REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY
DESIGN			
DESIGNED BY: SAE	DATE: August 16, 2023		
DRAWN BY: LRT	DATE: August 16, 2023		
DWG NAME: Sh 3.4 R.dwg	PROJ #: R315530.01		
CHECKED BY: SAE	DATE: August 16, 2023		

TITLE:

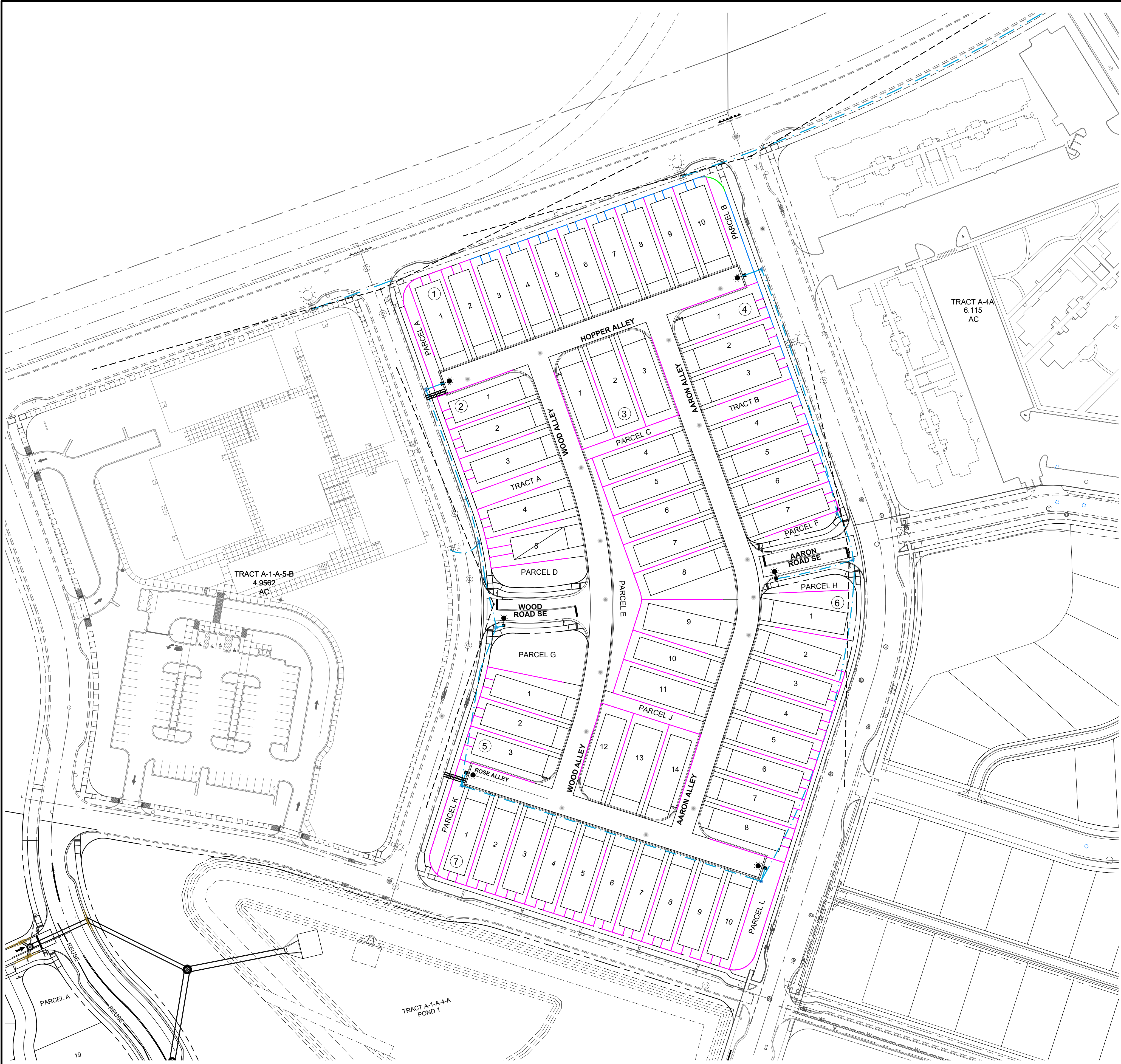
GRADING PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	4	11

Designed By:

Plotter: 12/22/2023 5:11:21 AM, B:\Edgings, Scott
P:\0315530.01 - Montage Unit 7 - Mesa del Sol\10 CADD & BIM\10.1 AutoCAD SHEET SET\Grading\Sh 5.9
9.dwg
Last Saved: 9/6/2023 4:22:36 PM, seedings



GENERAL NOTES

- THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.
- RETAINING WALLS ARE SPECIFIED WHENEVER THE DIFFERENTIAL IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES). ELEVATION DIFFERENCES OF LESS THAN 1.5 FT (2 CMU EXPOSED COURSES) SHALL BE INCLUDED IN THE COST OF THE PRIVACY WALL CONSTRUCTION UNLESS WALL IS PART OF PERIMETER WALL.
- PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.
- FINAL TYPE AND HEIGHTS OF CMU PERIMETER WALL WILL BE PROVIDED BY THE OWNER AT TIME OF BID PROPOSAL. INTERIOR PRIVACY WALLS WILL BE CONSTRUCTED BY HOME BUILDER.
- 2 TURNED BLOCKS ARE TO BE PROVIDED ALONG PERIMETER WALLS AT THE CORNERS WHERE LOTS DRAIN TO THE REAR.
- ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8.
- BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL APPLY ANTI-GRAFFITI COATINGS TO ALL PERIMETER WALLS. CONTRACTOR SHALL USE PROSOCO DEFAECER ERASER OR APPROVED EQUIVALENT.
- ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.
- SEE PLAT FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

SIGHT DISTANCE LEGEND

----- INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
- TYPE B (2'-4')
- TYPE C (4'-6')



Designed By: **HUITT ZOLLARS**

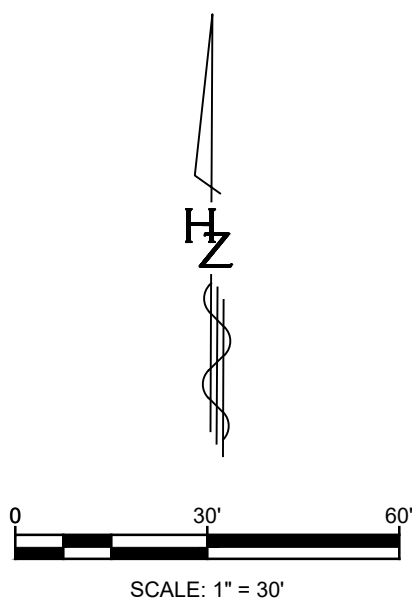
MESA DEL SOL MONTAGE 7

WALL COMPOSITE

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	5	11

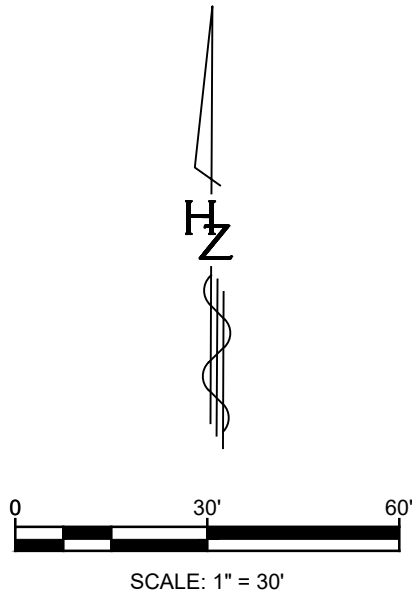
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		DATE		BY	
CONTRACTOR	DATE	FOUND MONUMENT	5-15-2006	NO.	DATE	SCOTT A. EDDINGS	REGISTERED PROFESSIONAL ENGINEER	NO.	DATE	REMARKS	NO.	DATE	BY	NO.	DATE
WORK STAKED BY	DATE	STANDARD	3 1/4" ALUMINUM DISC			12556									
INSPECTED BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)													
FIELD CHECKED BY	DATE	N= 1,452,49.458													
VERIFICATION BY	DATE	E= 1,529,053.733													
CORRECTED BY	DATE	ELEV=5306.674 (NAVD 1988)													
MICRO-FILM INFORMATION		GROUND TO GRID FACTOR=0.999864300													
RECORDED BY	DATE	MAPPING ANGLE=0°12'47.60"													
No.															

August 16, 2023



August 16, 2023

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 775685	Zone Map No. R-15-Z, S-15-Z	Sheet 6	Of 11	



GENERAL NOTES

- ## SIGHT DISTANCE LEGEND

INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT
TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
TYPE B (2'-4')
TYPE C (4'-6')



**HUIT
ZOLLARS**

MESA DEL SOL MONTAGE 7

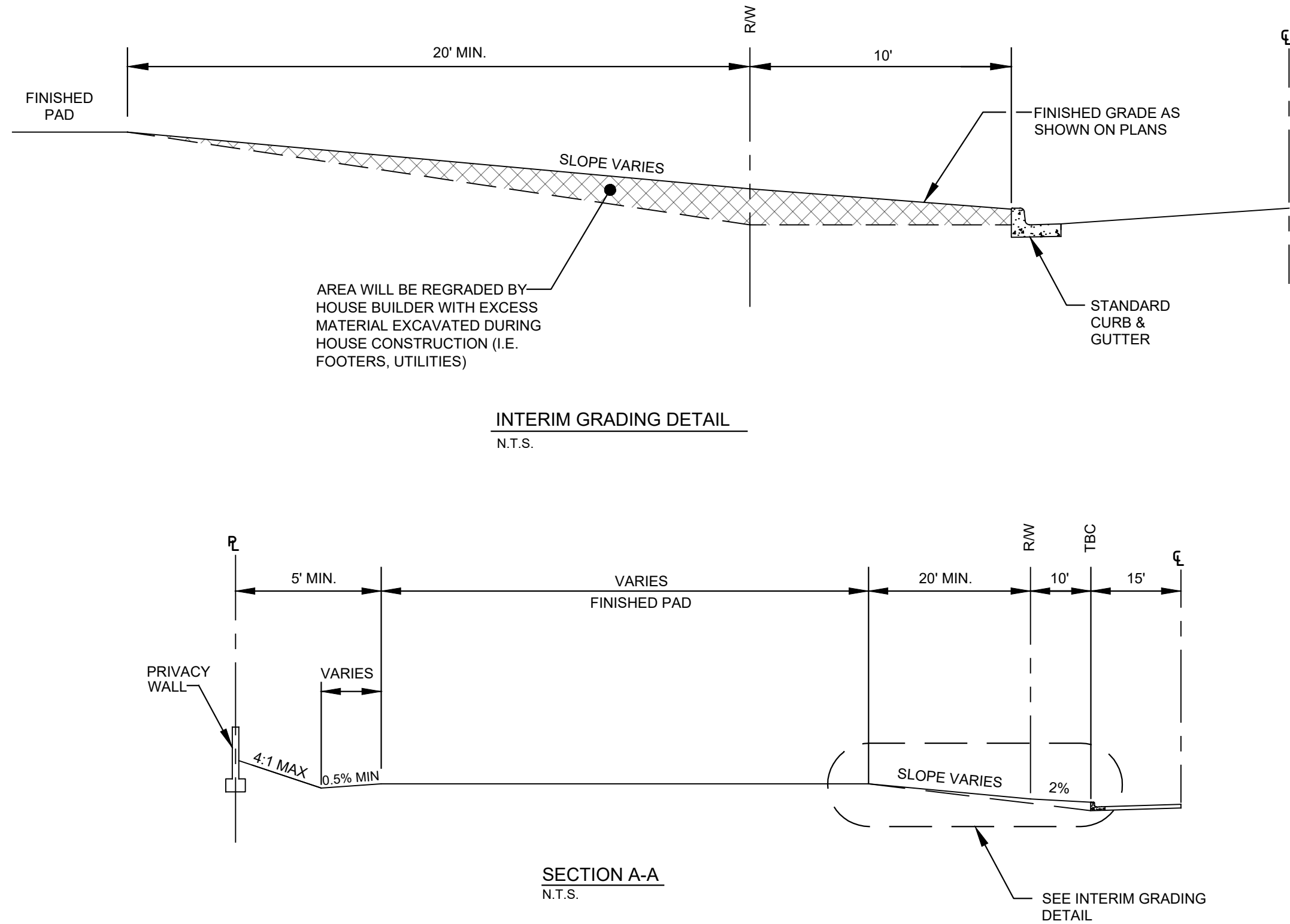
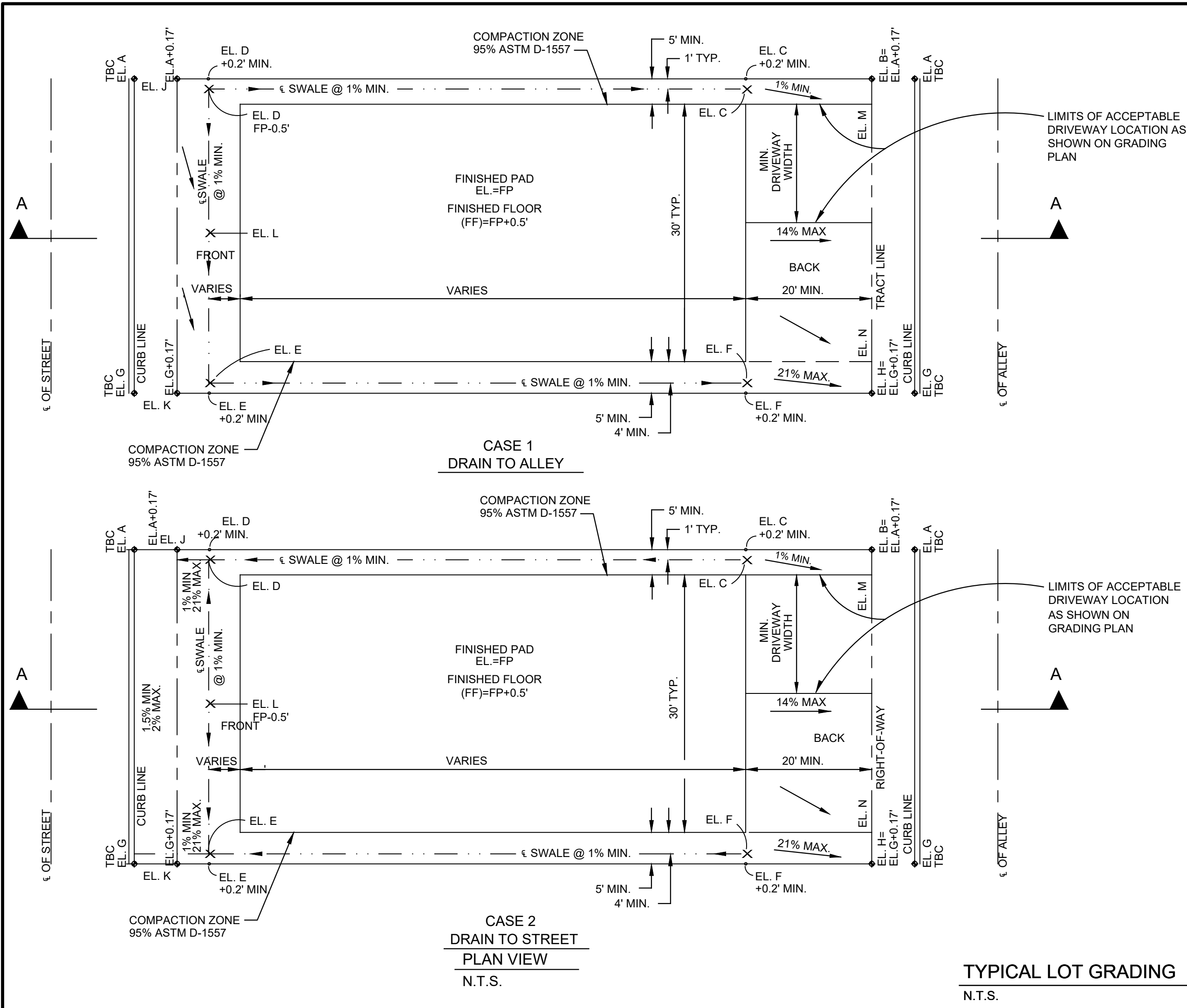
TITLE:

ENLARGED WALL PLAN

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 775685	Zone Map No. R-15-Z, S-15-Z	Sheet	Of	7 11

8/16/23

Plotter: 12/22/2023 5:12:12 AM, B:\Edgings, Sect
H:\315530.01 - Montage Unit 7 - Mesa del Sol\10 CADD & BIM\10.1 AutoCAD SHEET SET\Grading\Sh 5.9
9.dwg
Last Saved: 9/6/2023 4:22:36 PM, settings



LEGEND

RETAINING WALL W/ PRIVACY WALL
SEE GENERAL NOTES

PRIVACY WALL
SEE GENERAL NOTES

WALL LEGEND

1 - 3 COURSES	0 TO 2 FT RETAINING HEIGHT TO BE CONSTRUCTED BY HOME BUILDER, EXCEPT FOR PERIMETER WALLS
4 - 6 COURSES	2.1 TO 4.0 FT RETAINING HEIGHT
7 - 9 COURSES	4.1 TO 6.0 FT RETAINING HEIGHT
10 - 12 COURSES	6.1 TO 8.0 FT RETAINING HEIGHT
13 - 14 COURSES	8.1 TO 10.0 FT RETAINING HEIGHT
15 - 17 COURSES	10.1 TO 12.0 FT RETAINING HEIGHT

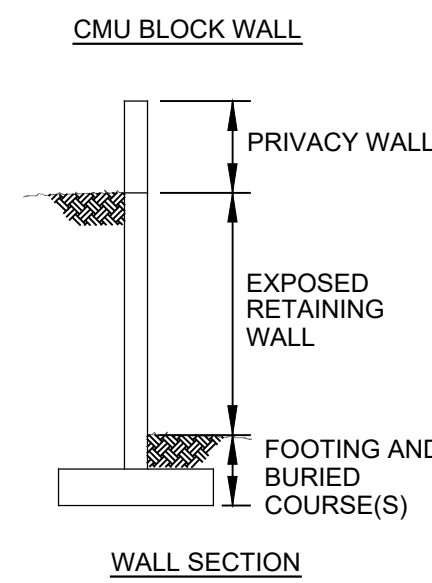


FIGURE 7.4.93 Intersection Sight Distance

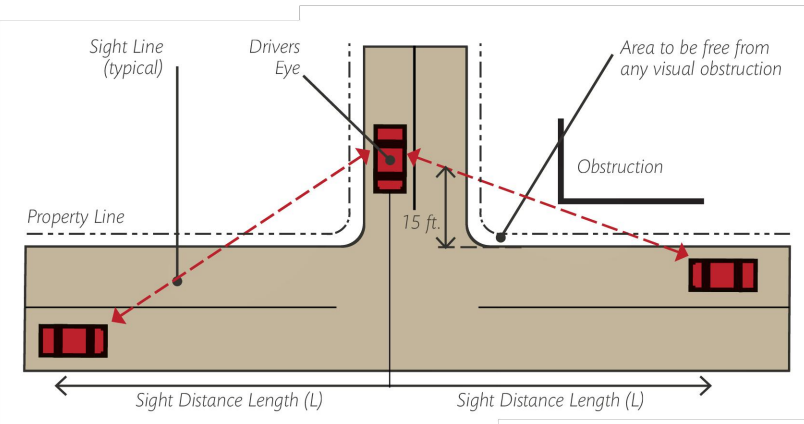


TABLE 7.4.65 Minimum Intersection Sight Distance

Speed Limit (MPH)	Minimum Intersection Sight Distance					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12 ft. Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230 ft.	200 ft.	240 ft.	200 ft.	250 ft.	200 ft.
25	280 ft.	240 ft.	300 ft.	240 ft.	320 ft.	240 ft.
30	340 ft.	290 ft.	360 ft.	290 ft.	380 ft.	290 ft.
35	390 ft.	340 ft.	420 ft.	340 ft.	440 ft.	340 ft.
40	450 ft.	390 ft.	480 ft.	390 ft.	500 ft.	390 ft.
45	500 ft.	430 ft.	530 ft.	430 ft.	570 ft.	430 ft.
50	560 ft.	480 ft.	590 ft.	480 ft.	630 ft.	480 ft.

7-4(l)(5)(iv) Mini Clear Sight Triangle

Driveways need to maintain the mini clear sight triangle as shown in [FIGURE 7.4.94](#). This triangle starts at the sidewalk and measures 11 feet on a side.

INTERSECTION CLEAR SIGHT TRIANGLE DETAIL

N.T.S.

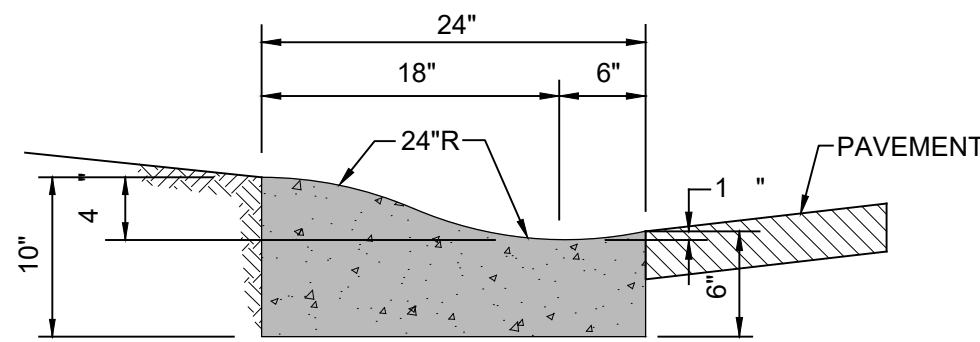
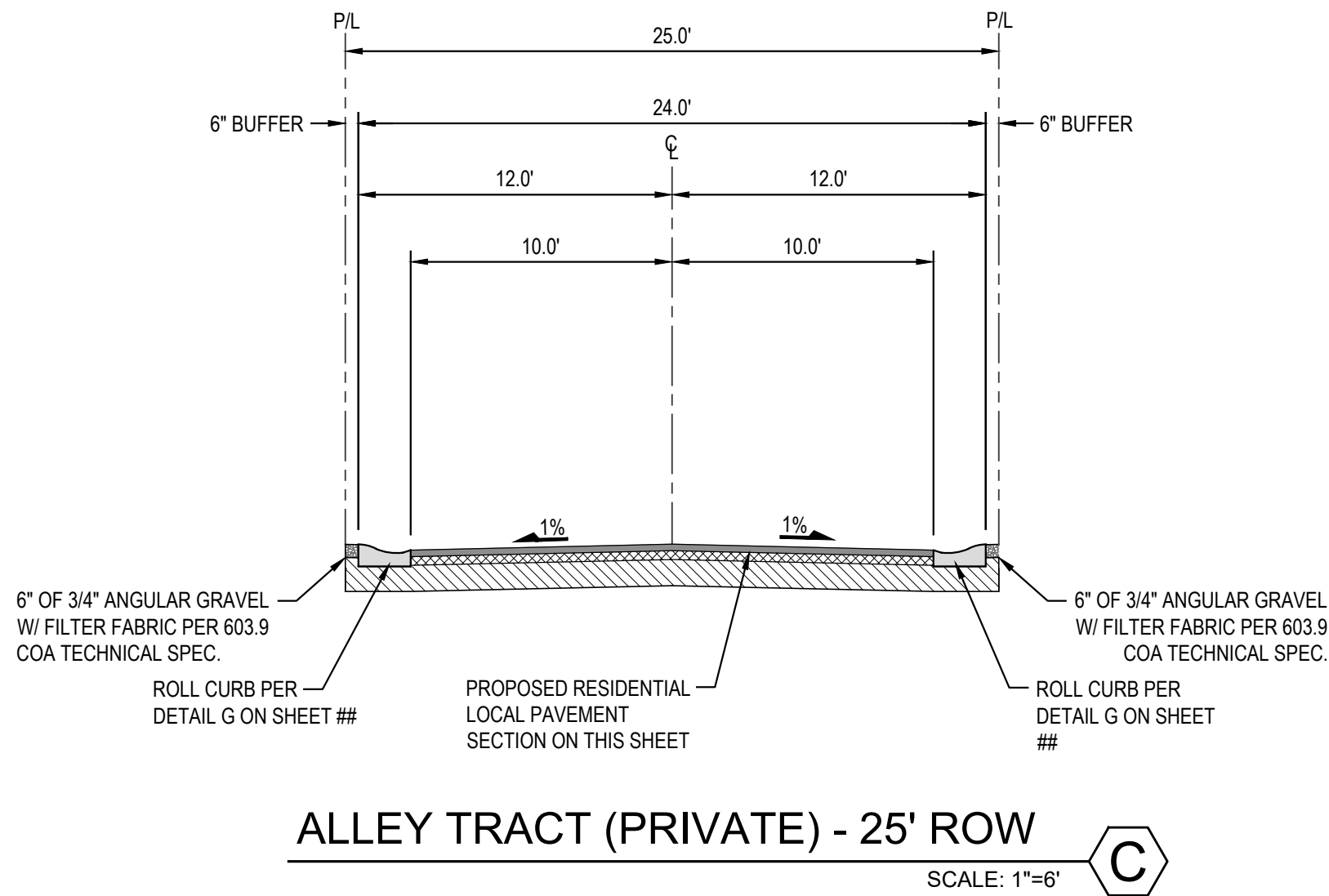
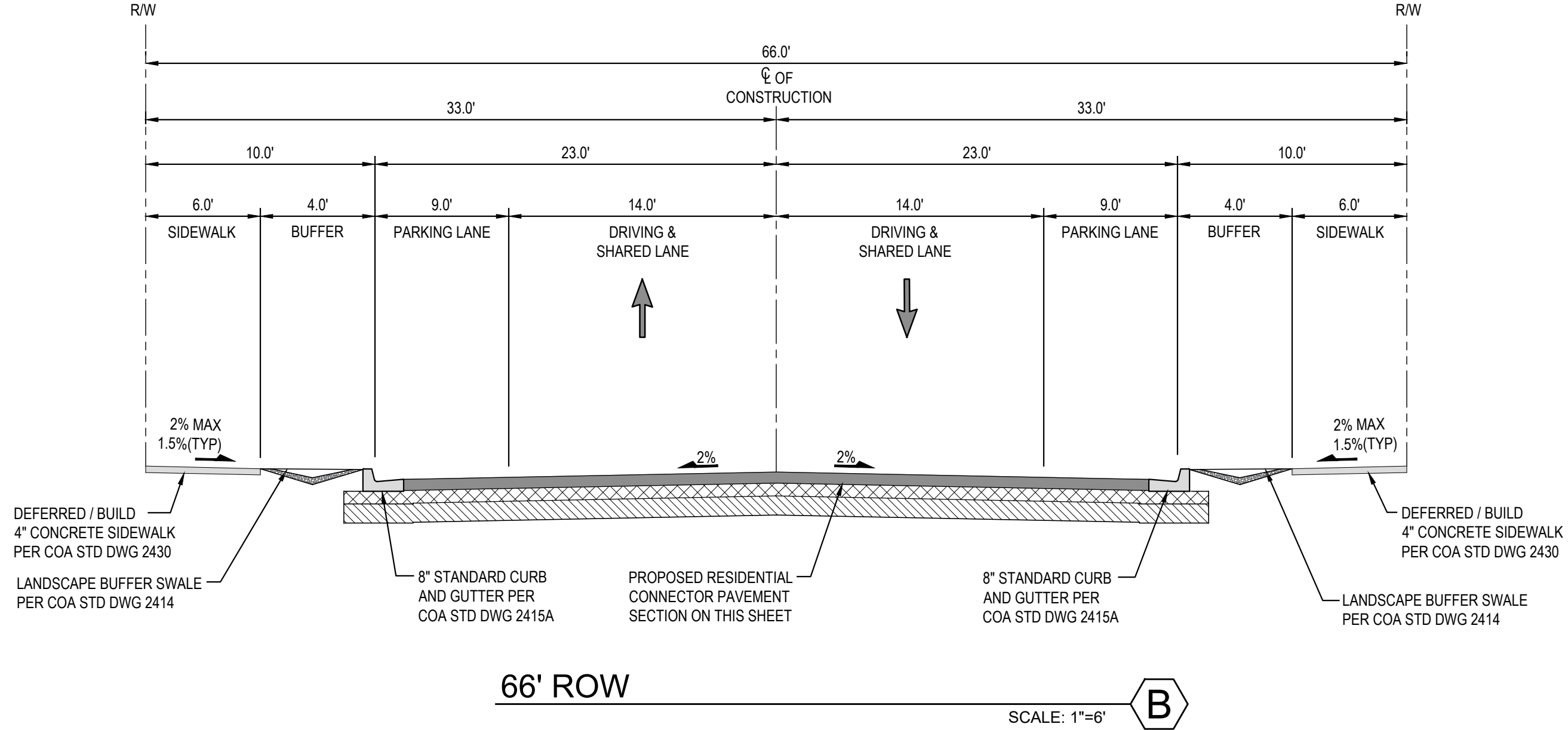
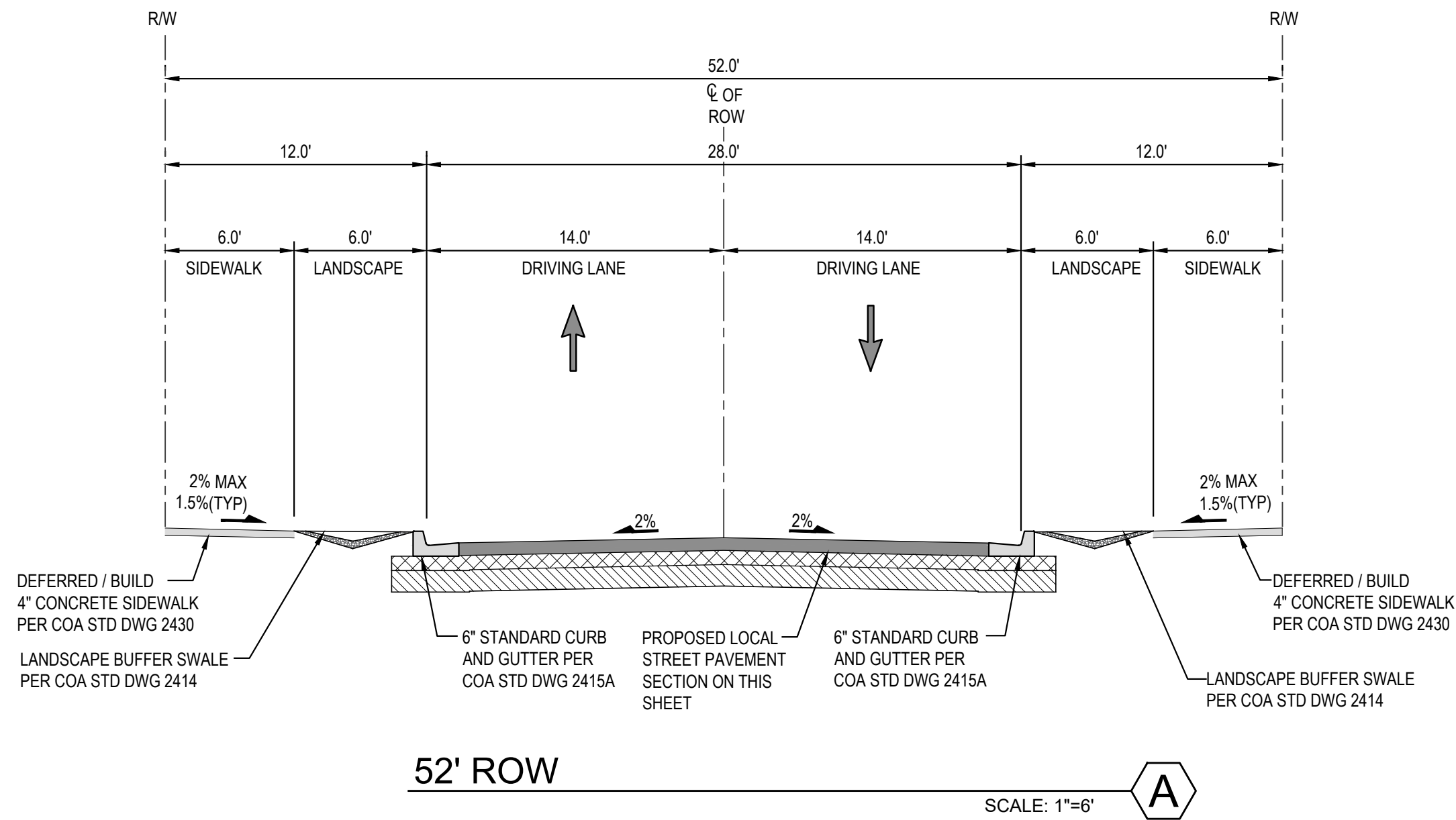
NOTES

- ALL PROPOSED IMPROVEMENTS WITHIN THE CLEAR SIGHT TRIANGLE SHALL PROVIDE AN UNOBSTRUCTED VISION AT STREET INTERSECTIONS BETWEEN 2.5 FT AND 7 FT ABOVE THE FLOW LINE.
- IF A PRIVACY WALL IS TO BE CONSTRUCTED AROUND RIGHT- OF-WAY RETURN, THE WALL SHALL BE CONSTRUCTED ALONG THE CLEAR SIGHT TRIANGLE IF RETURN IS LOCATED WITHIN CLEAR SIGHT TRIANGLE.
- SIGHT TRIANGLE DISTANCES SHOULD BE MEASURED ALONG CENTERLINE OF ROAD CONSTRUCTION, TYPICALLY CENTERLINE OF RIGHT-OF-WAY.
- STOPPING SIGHT DISTANCES ARE BASED ON DESIGN CRITERIA FROM THE CITY OF RIO RANCHO DEVELOPMENT PROCESS MANUAL.
- SIGHT TRIANGLES ARE INDICATED BASED ON DIMENSIONS PROVIDED IN DETAIL OR MODIFIED AS INDICATED ON THE PLANS.

August 16, 2023

Designed By:		HUITT ZOLLARS	
TITLE:		MESA DEL SOL MONTAGE 7	
GRADING DETAILS			
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	9	11

Plotted: 12/22/2023 5:22:09 AM By: Eddings, Scott
Project: R315530.01 - Montage Unit 7 - Mesa del Sol/10 CADD & BIM/10.1 AutoCAD/SHEET SET/Grading/SH-10
11.dwg
Last Saved: 3/6/2023 2:56:58 PM, seddings



GENERAL NOTES:

1. ANY DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY FOR PRIOR APPROVAL.
2. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE CITY.
3. SUBGRADE SHALL BE COMPACTED TO 95% ASTM D 1557, MIN.
4. CURB AND GUTTER SHALL BE PORTLAND CEMENT CONCRETE. PORTLAND CEMENT CONCRETE SHALL BE 3000 PSI @ 28 DAYS. AIR ENTRAINMENT SHALL BE A 5% MINIMUM TO 9% MAXIMUM. A CLASS F FLY ASH ADDITIVE IS ALLOWED UP TO 20% BY WEIGHT.
5. FOR CONCRETE CURB AND GUTTER

CONSTRUCT TRANSVERSE JOINTS AS FOLLOWS:

- TOOLED CONTRACTION JOINTS AT 5' INTERVALS
 - 1/2" PRE-MOLDED BITUMINOUS EXPANSION
6. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 7. 8" CURB AND GUTTER AND CUTOFF WALL IS NOT FOR USE IN NEW RESIDENTIAL DEVELOPMENT. USE MUST BE PREAPPROVED BY THE CITY.
 8. ASPHALT PLACEMENT SHALL BE EVEN WITH THE LIP OF GUTTER, BUT IN NO CASE SHALL IT EXCEED 1/4". ASPHALT PLACED LOWER THAN LIP OF GUTTER SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.



Designed By:		HUITT ZOLLARS	
MESA DEL SOL MONTAGE 7			
TITLE: ROADWAY TYPICAL SECTIONS			
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	10	11

AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	DATE
STANDARD 3 1/4" ALUMINUM DISC	STAKED BY		
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 83)	INSPECTED BY	DATE	DATE
N= 1,452,493.458	FIELD STAKE BY		
E= 1,529,033.738	VERIFICATION BY	DATE	DATE
ELEV=5306.674 (NAVD 888)	CORRECTED BY		
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
NO.			

ENGINEER'S SEAL	NO.	DATE
SCOTT A. EDDINGS, P.E.		
REGISTERED PROFESSIONAL ENGINEER		
NEW MEXICO		
12556		
8/16/23		

REVISIONS	DATE	REMARKS	BY
DESIGN			
DESIGNED BY: SAE	DATE: August 16, 2023		
DRAWN BY: LRT	DATE: August 16, 2023		
DWG NAME: SH-10 T1.dwg	PROJ #: R315530.01		
CHECKED BY: SAE	DATE: August 16, 2023		

