

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 17, 2023

Scott Eddings, P.E.
Huitt-Zollers Inc.
6561 Americas Parkway NE
Albuquerque, NM 87110

**RE: MDS - Montage Subdivision Unit 7 on Bobby Foster
Grading and Drainage Submittal for Preliminary Plat and Grading Permit
Grading Plan Engineer's Stamp Date: 3/5/2023
Drainage Report Engineer's Stamp Date: 3/6/2023
Hydrology File: R16D100A**

Dear Mr. Eddings,

Based upon the information provided in your submittal received 3/6/2023, the Grading Plans and Drainage Report are preliminary approved for Grading Permit, Work Order and for action by the DHO for Platting action.

PO Box 1293

Please make the following corrections for WO plans:

1. Add existing SD and proposed SD on to the legend.
2. Sheet 3, Hopper Alley to Newhall Drive: Add "3-24 inch" to the "Sidewalk Culverts" build note.
3. Sheet 4, Rose Alley to Newhall Drive: Add "1-24 inch" to the "Sidewalk Culvert" build note.
4. Add SO-19 notes. (Attached)

Albuquerque

NM 87103

PRIOR TO BUILDING PERMIT:

- Provide more detailed design as needed in order to obtain Hydrology's approval.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

THE PROJECT SITE IS WITHIN TRACT A-1-A-5-C MESA DEL SOL INNOVATION PARK. TRACT A-1-A-5-C IS APPROXIMATELY 7.4572 ACRES AND PART OF THE LEVEL B MESA DEL SOL MASTER PLAN.

PER THE FEMA MAP NUMBER 35001C0555H DATED AUGUST 16, 2012
SHOWS THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE X.

- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD IMPROVEMENTS
 - DRAINAGE STUDY FOR BOBBY FOSTER ROAD UNIVERSITY BOULEVARD DATED NOVEMBER 2020
 - DRB - PR-2020-004138
 - CITY PROJECT NUMBER 393581 - CONSTRUCTION PLANS APPROVED SEPTEMBER 20, 2021
- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD AMENDED DRAINAGE STUDY - MARCH 2023
 - CHANGE POND 1 TO RETENTION

THE SITE IS UNDISTURBED SURROUNDED ON ALL SIDES BY FULLY IMPROVED ROADS, DRAINAGE AND UTILITIES. THE EXISTING DRAINAGE INFRASTRUCTURE WITHIN THE ADJACENT ROADWAYS (BOBBY FOSTER ROAD, SAGAN LOOP, STEIGLITZ AVENUE AND NEWHALL DRIVE) WAS CONSTRUCTED AS PART OF PCN 393581 AND SIZED TO ACCEPT DEVELOPED FLOWS FROM TRACT A-1-A-5-C.

MONTAGE 7 SUBDIVISION AT MESA DEL SOL DRAINAGE SUBMITTED
PREPARED BY HUITT-ZOLLARS AND SUBMITTED TO CITY OF
ALBUQUERQUE FOR APPROVAL MARCH 5, 2023.

THIS PROJECT DEVELOPS (57) SINGLE FAMILY RESIDENTIAL LOTS, (11) PARCELS, (2) TRACTS AND (4) ALLEY TRACTS.

BLOCK 1 LOTS 1 THRU 10 1 DISCHARGE TO HOPPER ALLEY.
BLOCK 2 LOTS 1 THRU 5 DISCHARGE TO NEUWHALL DRIVE.
BLOCK 3 LOTS 1 THRU 3 DISCHARGE TO HOPPER ALLEY.
BLOCK 3 LOTS 4 THRU 11 DISCHARGE TO AARON ALLEY.
BLOCK 3 LOTS 12 THRU 14 DISCHARGE TO ROSE ALLEY.
BLOCK 4 LOTS 1 THRU 7 DISCHARGE TO SAGAN LOOP.
BLOCK 5 LOTS 1 THRU 3 DISCHARGE TO NEUWHALL DRIVE.
BLOCK 6 LOTS 1 THRU 8 DISCHARGE TO SAGAN LOOP.
BLOCK 7 LOTS 1 THRU 10 DISCHARGE TO STIEGLITZ AVENUE.
PARCELS A AND B DISCHARGE TO HOPPER ALLEY.
PARCEL C AND J DISCHARGE TO AARON ALLEY.
PARCELS D AND G DISCHARGE TO WOOD ROAD SE.
PARCEL E DISCHARGE TO WOOD ALLEY.
PARCELS F AND H DISCHARGE TO AARON ROAD SE.
PARCEL K AND L DISCHARGE TO ROSE ALLEY.

HOPPER ALLEY DISCHARGES 7.7 CFS TO NEWHALL DRIVE VIA (3) EA 24-INCH WIDE SIDEWALK CULVERTS.

AARON ALLEY DISCHARGES 2.7 CFS TO NEWHALL DRIVE VIA (3) EA 24-INCH WIDE SIDEWALK CULVERTS.

STORM WATER QUALITY IS PROVIDED WITHIN POND 1

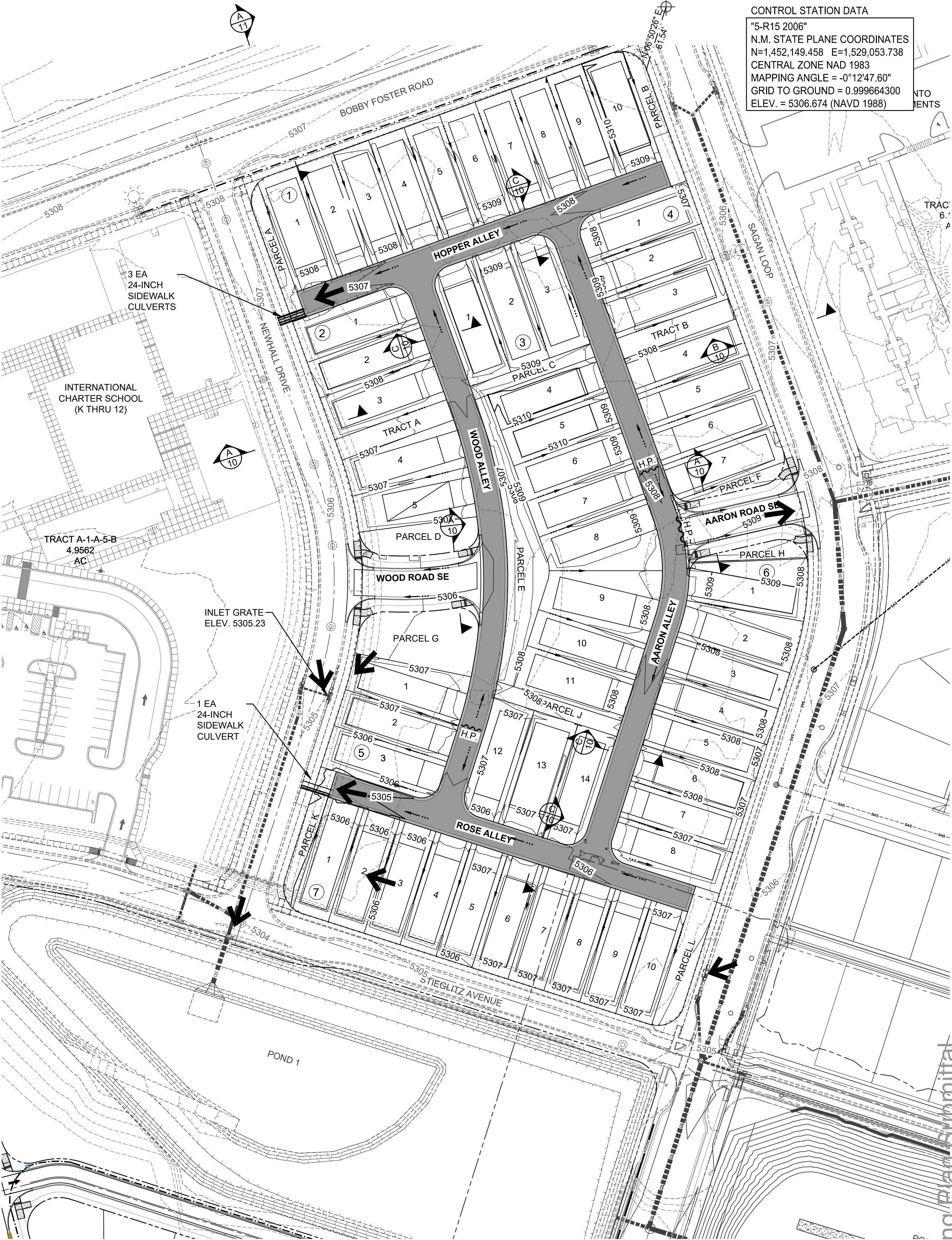
A STANDARD CITY OF ALBUQUERQUE MONUMENT "5-R15 2006"
ALUMINUM DISC. NEW MEXICO STATE PLANE COORDINATES (CENTRAL
ZONE - N.A.D. 1983)
N=1,452,149.458 U.S. SURVEY FEET
E = 1,529,053.738 U.S. SURVEY FEET
PUBLISHED ELEVATION = 5306.674 U.S. SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999664300 DELTA ALPHA ANGLE =
-0°12'47.60".

AREA OF DISTURBANCE IS APPROXIMATELY 7,5 AC

AN EROSION SEDIMENT CONTROL PLAN IS REQUIRED.

PLANIMETRIC AND TOPOGRAPHIC SURVEY

PROVIDED BY HUITT-ZOLLARS, DATED MARCH 2020 AND AUGMENTED
WITH DESIGN CONTOURS AND FIELD SURVEYS FROM CPN 393581.



"5-R15 2006"
N.M. STATE PLANE COORDINATES
N=1,452,149.458 E=1,529,053.738
CENTRAL ZONE NAD 1983
MAPPING ANGLE = -0°12'47.60"
GRID TO GROUND = 0.999664300
ELEV. = 5306.674 (NAVD 1988)

	EXIST. (INDEX) CONTOUR
	EXIST. (INTERMEDIATE) CONTOUR
	PROP. (INDEX) CONTOUR
	PROP. (INTERMEDIATE) CONTOUR
	WATER BLOCK
	NEW CURB & GUTTER
	FUTURE CURB & GUTTER
	TOP OF PAVEMENT
	TOP OF CURB ELEVATION
	XX.XXFL FLOW LINE ELEVATION
	XX.XXTOC TOP OF CONCRETE
	FLOW PATH
	GRADING LIMITS
	DISCHARGE LOCATION
H.P.	HIGH POINT
L.P.	LOW POINT

1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAN FOR LOT DIMENSIONS.
3. SEE DETAIL 5 FOR TYPICAL LOT GRADING.
4. SEE SHEETS 5-8 FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
5. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
6. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
7. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



Designed By:

HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

MESA DEL SOL MONTAGE 7

TITLE:

GRADING COMPOSITE

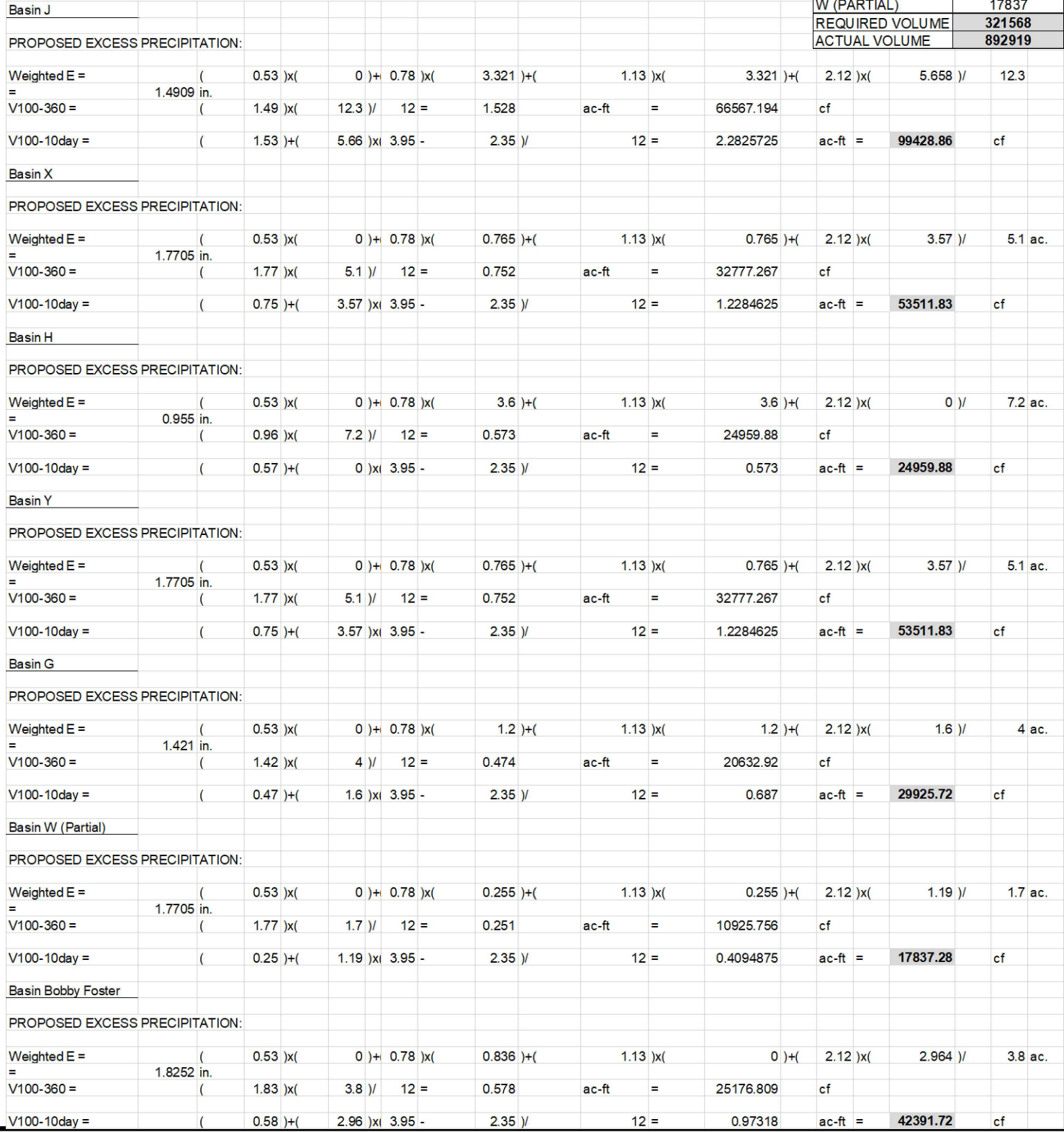
Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 775685	Zone Map No. R-15-Z, S-15-Z	Sheet 1	Of 11	

Plotted: 3/6/2023 4:38:41 PM, By: Eddings, Scott
H:\proj\R315530.01 - Montage Unit 7 - Mesa del Sol\10 CADD & BIM\10.1 AutoCAD\SHEET SET\Grading\SH 1.2.dwg
Last Saved: 3/6/2023 4:38:05 PM, seedings



PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(1.1)x(1.13)x(1.128)x(2.12)x(0.168	y	2.4	ac.
V100-360 =	(1,0383)x(2.4	y	12	=	0.21	ac-ft	=	9045.6696	cf							
V100-10day =	(0.20766)x(0.17	x(3.95	-	2.35	y	12	=	0.23006	ac-ft	=	10021.4	cf			
Basin U																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(4.48)x(1.13)x(4.482)x(2.12)x(7.636	y	16.6	ac.
V100-360 =	(1.4909)x(16.6	y	12	=	2.06	ac-ft	=	89838.6522	cf							
V100-10day =	(2.06241)x(7.64	x(3.95	-	2.35	y	12	=	3.080545	ac-ft	=	134188.5	cf			
Basin V																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(4.58)x(1.13)x(4.576)x(2.12)x(5.148	y	14.3	ac.
V100-360 =	(1.3744)x(14.3	y	12	=	1.64	ac-ft	=	71343.7296	cf							
V100-10day =	(1.63783)x(5.15	x(3.95	-	2.35	y	12	=	2.32422667	ac-ft	=	101243.3	cf			
Basin W-1																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(0.16)x(1.13)x(0.195)x(2.12)x(2.79	y	3.1	ac.
V100-360 =	(2.0035)x(3.1	y	12	=	0.52	ac-ft	=	22545.3855	cf							
V100-10day =	(0.51757)x(2.79	x(3.95	-	2.35	y	12	=	0.89957083	ac-ft	=	38749.7	cf			
Basin W-2																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(1.48)x(1.13)x(1.475)x(2.12)x(2.95	y	5.9	ac.
V100-360 =	(1.5375)x(5.9	y	12	=	0.76	ac-ft	=	32928.6375	cf							
V100-10day =	(0.75594)x(2.95	x(3.95	-	2.35	y	12	=	1.14927083	ac-ft	=	50062.2	cf			
Basin W-3 Partial																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(0.98)x(1.13)x(0.975)x(2.12)x(4.55	y	6.5	ac.
V100-360 =	(1.7705)x(6.5	y	12	=	0.96	ac-ft	=	41774.9475	cf							
V100-10day =	(0.95902)x(4.55	x(3.95	-	2.35	y	12	=	1.5656875	ac-ft	=	68291.3	cf			
Basin Bobby Foster Partial																			
PROPOSED EXCESS PRECIPITATION:																			
Weighted E =	(0.53)x(0)x(0.78)x(0.48)x(1.13)x(0)x(2.12)x(1.716	y	2.2	ac.
V100-360 =	(1.8252)x(2.2	y	12	=	0.33	ac-ft	=	14576.0472	cf							
V100-10day =	(0.33482)x(1.72	x(3.95	-	2.35	y	12	=	0.56342	ac-ft	=	24542.6	cf			

Pond 2a Rating Curve						
Elevation	Area	Average Area	Volume	Volume	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5293.0	38552	41048	41048	0.94	41048	0.94
5294.0	43544	46114	46114	1.06	87162	2.00
5295.0	48683	51326	51326	1.18	138488	3.18
5296.0	53969	56679	56679	1.30	195166	4.48
5297.0	59388	65141	65141	1.50	260307	5.98
5298.0	70894	76983	76983	1.77	337290	7.74
5299.0	83072	89967	89967	2.07	427257	9.81
5300.0	96861	102128	102128	2.34	529384	12.15
5301.0	107394	112037	112037	2.57	641421	14.72
5302.0	116679	121174	121174	2.78	762594	17.51
5303.0	125668	130325	130325	2.99	892919	20.50
5304.0	134962					



- | | |
|------|-------------------------------|
| | EXIST. (INDEX) CONTOUR |
| | EXIST. (INTERMEDIATE) CONTOUR |
| | PROP. (INDEX) CONTOUR |
| | PROP. (INTERMEDIATE) CONTOUR |
| | WATER BLOCK |
| | NEW CURB & GUTTER |
| | FUTURE CURB & GUTTER |
| | TOP OF PAVEMENT |
| | TOP OF CURB ELEVATION |
| | XX.XXFL FLOW LINE ELEVATION |
| | XX.XXTOC TOP OF CONCRETE |
| | FLOW PATH |
| | GRADING LIMITS |
| | DISCHARGE LOCATION |
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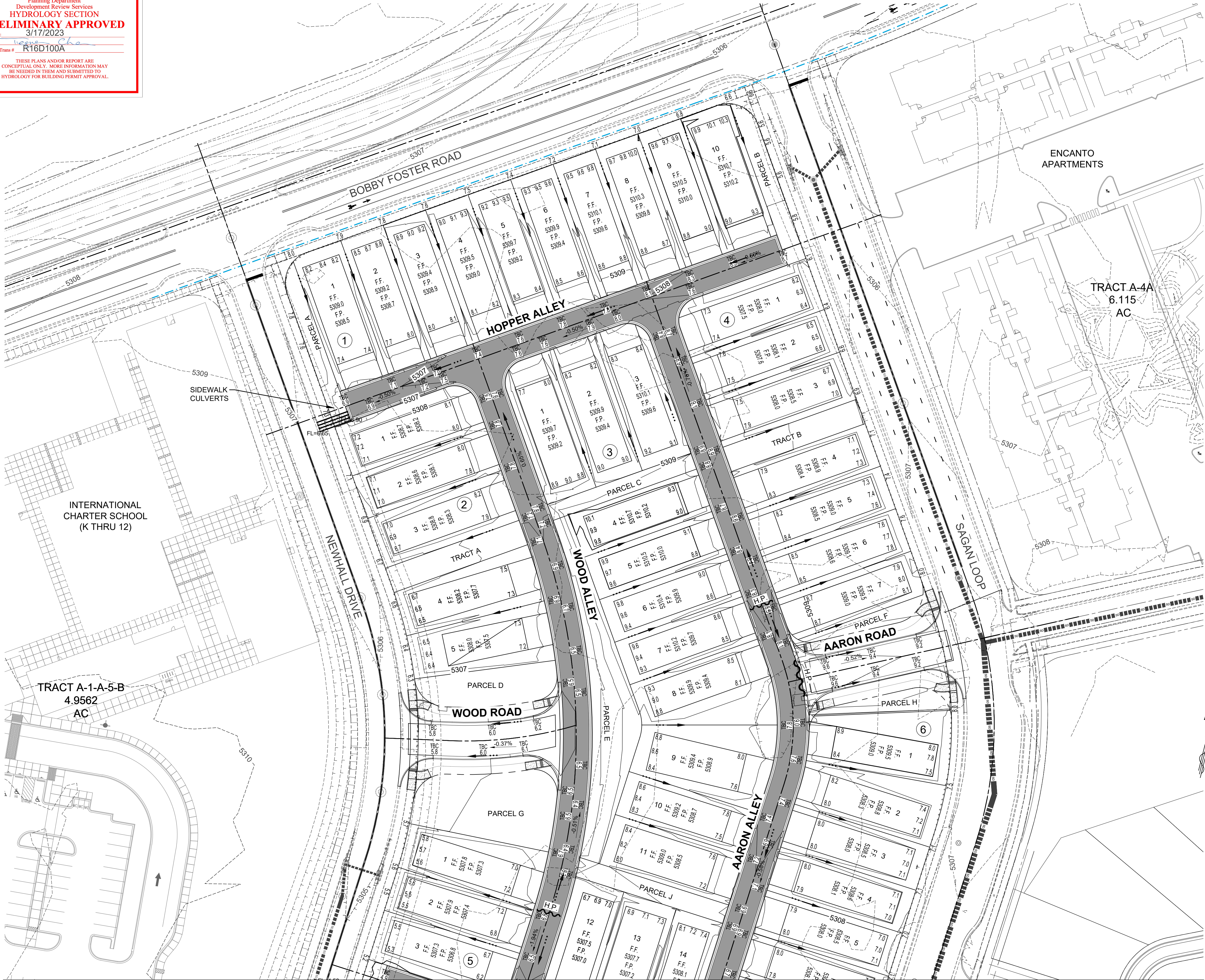
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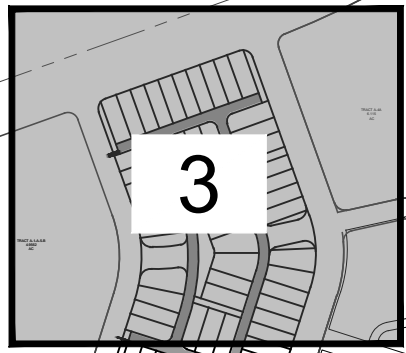
RETENTION POND VOLUMES

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
775685	R-15-Z, S-15-Z	2	11	

City of Albuquerque
Planning Department
Development Review Services
PRELIMINARY APPROVED
DATE: 3/17/2023
BY: R16D100A
HydroTrans #
THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



SEE SHEET 4



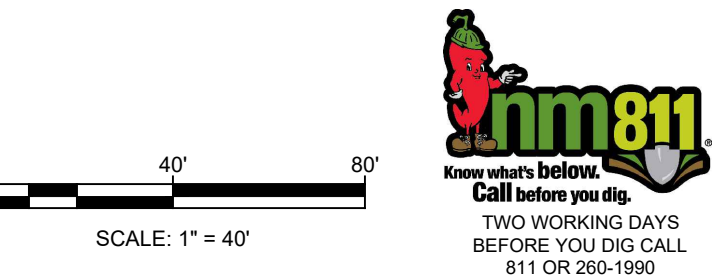
GRADING SHEET INDEX

LEGEND

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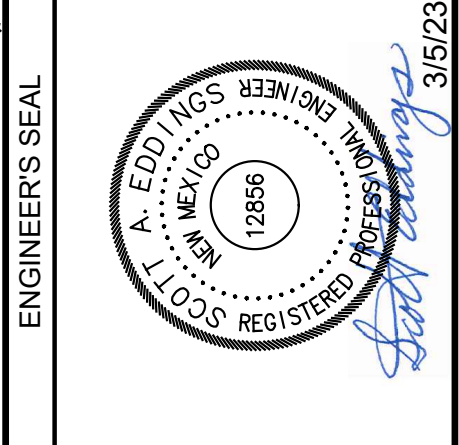
MESA DEL SOL
MONTAGE 7

GRADING PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	3	11

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTED BY	DATE
FIELD CHECKED BY	DATE
VERIFICATION BY	DATE
CORRECTION BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
No.	

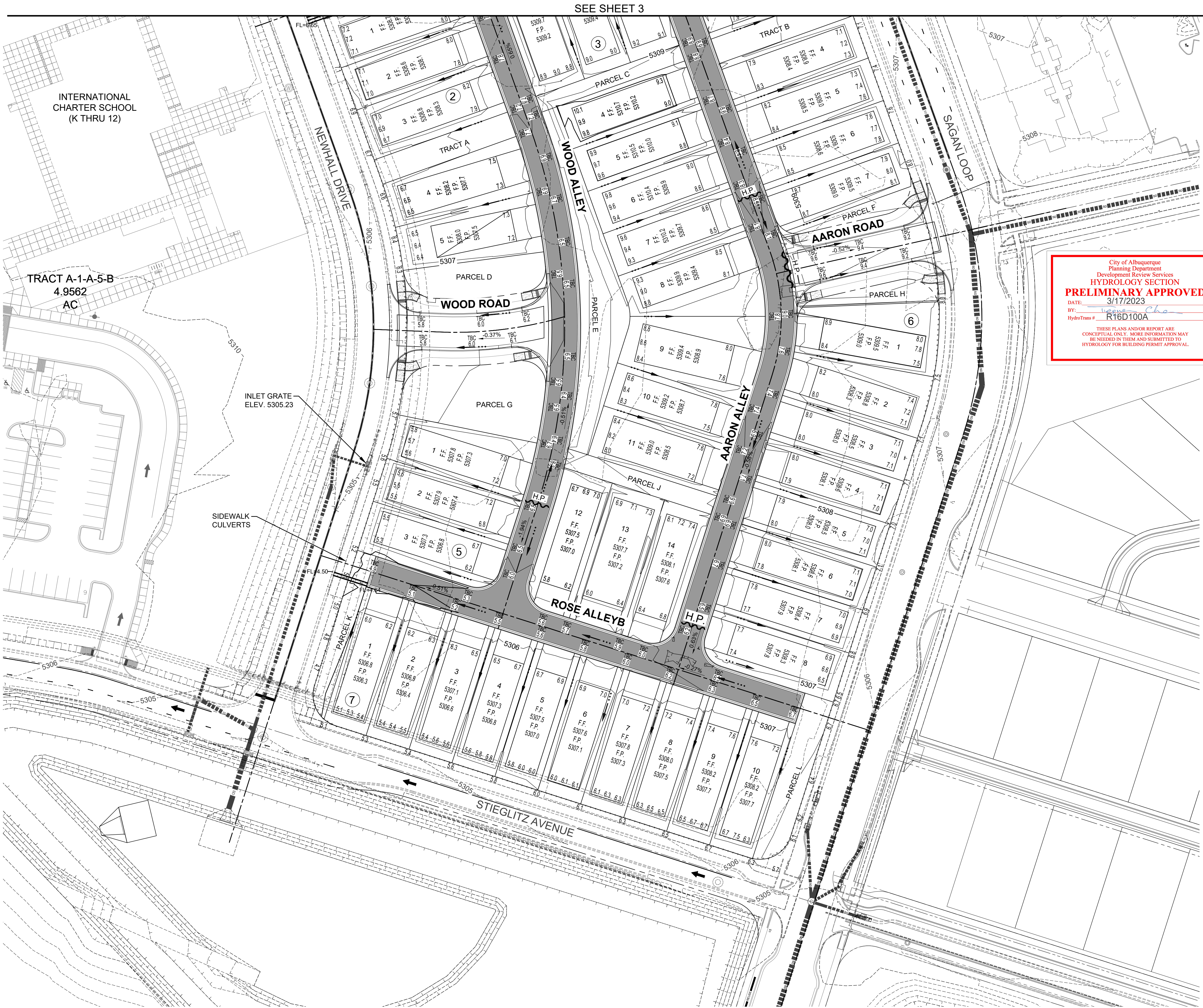
SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	



ENGINEER'S SEAL	
NO.	DATE
REVISIONS	BY
DESIGN	
DESIGNED BY: SAE	DATE: March 5, 2023
DRAWN BY: LRT	DATE: March 5, 2023
DWG NAME: Sh 34.dwg	PROJ #: R315530.01
CHECKED BY: SAE	DATE: March 5, 2023

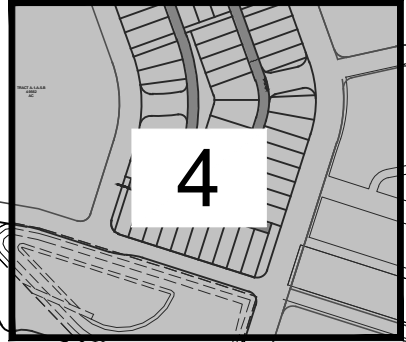
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Last Saved: 3/17/2023 4:36:53 PM settings
Last Saved: 3/17/2023 4:36:53 PM settings

Plotter: 3/16/2023 4:38:24 PM, By: Edgings, Scott
Last Saved: 3/16/2023 4:38:03 PM, edgings



SEE SHEET 3

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 3/17/2023
BY: [Signature]
HydroTrans # R16D100A
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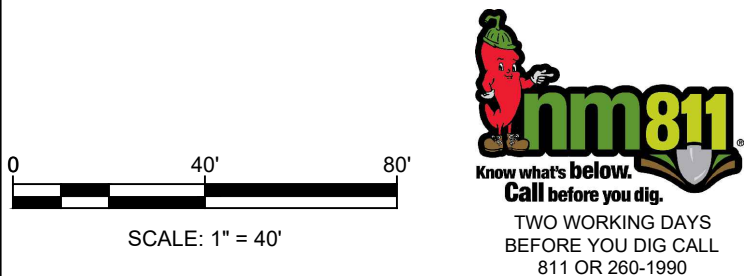
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Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

MESA DEL SOL
MONTAGE 7

GRADING PLAN

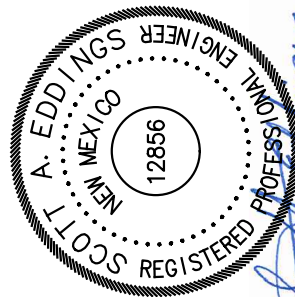
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CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
No.	

BENCH MARKS	
FOUND MONUMENT "5" 415 2006"	DATE
STANDARD 3 1/4" ALUMINUM DISC	DATE
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)	DATE
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GROUND TO GRID FACTOR=0.999864300	DATE
MAPPING ANGLE=0°12'47.60"	DATE

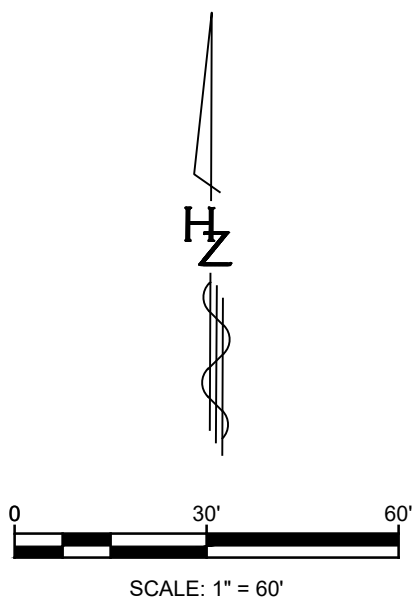
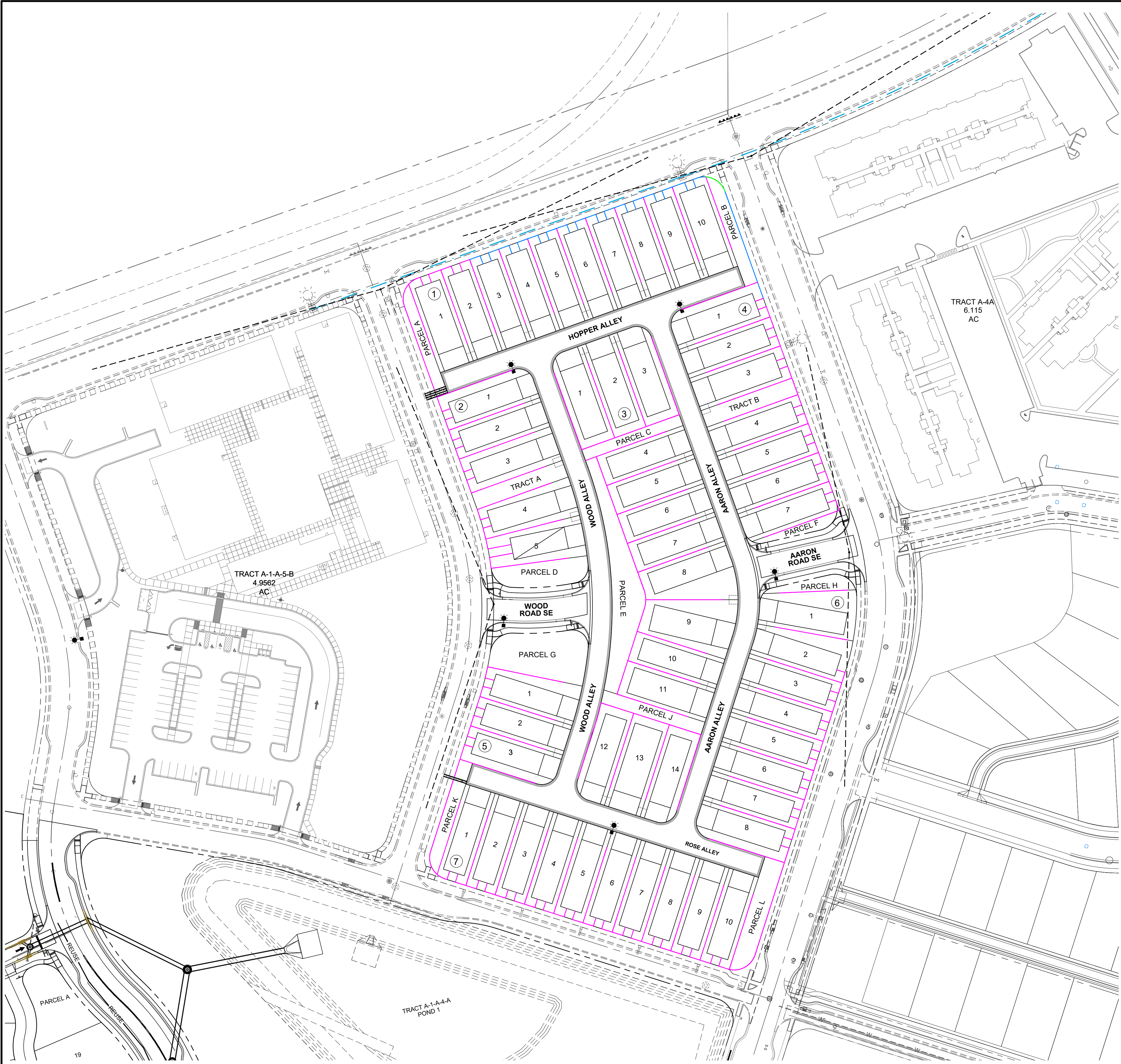
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FIELD NOTES	DATE
BY	DATE
NO.	DATE

ENGINEER'S SEAL	
NO.	DATE
REVISIONS	DATE
DESIGN	DATE
DESIGNED BY: SAE	DATE: March 5, 2023
DRAWN BY: LRT	DATE: March 5, 2023
DWG NAME: Sh 3.4.dwg	PROJ #: R315530 01
CHECKED BY: SAE	DATE: March 5, 2023



3/5/23

Plotted: 3/6/2023 4:17:31 PM By: Edlings, Scott
Project: R315530.01 - Montage Unit 7 - Mesa del Sol
9.dwg
Last Saved: 3/6/2023 4:16:27 PM, seddings



GENERAL NOTES

1. THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.

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3. PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.

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6. ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8.

7. BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.

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9. ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.

10. SEE PLAT FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

AS BUILT INFORMATION

CONTRACTOR

DATE

WORK

STANDARD

INSPECTED BY

FIELD DATE BY

VERIFICATION BY

CORRECTED BY

MICRO-FILM INFORMATION

RECORDED BY

NO.

BENCH MARKS

FOUND MONUMENT

5+R15 2006

STANDARD 3 1/4" ALUMINUM DISC

NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)

N= 1,452,449.458

E= 1,529,053.733

ELEV=5306.674 (NAVD 1988)

GROUND TO GRID FACTOR=0.999864300

MAPPING ANGLE=0°12'47.60"

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

SCOTT A. EDLINGS

REGISTERED PROFESSIONAL ENGINEER

NEW MEXICO

12856

3/5/23

SIGHT DISTANCE LEGEND

----- INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

TYPE A & X (0'-2')

TYPE B (2'-4')

TYPE C (4'-6')

mm811

Know what's below. Call before you dig.

TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 280-1599

Designed By:

HUITT-ZOLLARS

Huitt-Zollars, Inc. Albuquerque

6501 Americas Pkwy NE, Suite 550 Albuquerque, New Mexico 87110

Phone (505) 883-8114 Fax (505) 883-5022

TITLE:

MESA DEL SOL MONTAGE 7

Design Review Committee

City Engineer

Mo./Day/Yr.

Mo./Day/Yr.

City Project No.

Zone Map No.

775685

R-15-Z, S-15-Z

Sheet

Of

5

11

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SIGHT DISTANCE LEGEND

----- INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
- TYPE B (2'-4')
- TYPE C (4'-6')



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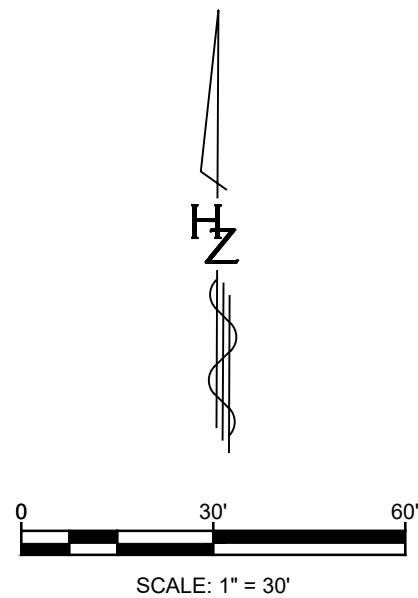
MESA DEL SOL MONTAGE 7

ENLARGED WALL PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	6	11

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT	DATE	FIELD NOTES	DATE		
WORK STAKED BY	DATE	STANDARD 3 1/4" ALUMINUM DISC	DATE	BY	DATE		
INSPECTED BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)	DATE	NO.			
FIELD CHECKED BY	DATE	N= 1,452,449.458	DATE				
VERIFICATION BY	DATE	E= 1,529,053.733	DATE				
CORRECTED BY	DATE	ELEV=5308.674 (NAVD 1988)	DATE				
MICRO-FILM INFORMATION		GROUND TO GRID FACTOR=0.99984300					
RECORDED BY	DATE	MAPPING ANGLE=0°12'47.60"					
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Last Saved: 3/6/2023 7:11:23 AM, Edgings
1 AutoCAD SHEET SET: Grading (SH 7.dwg)



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REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
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MESA DEL SOL MONTAGE 7

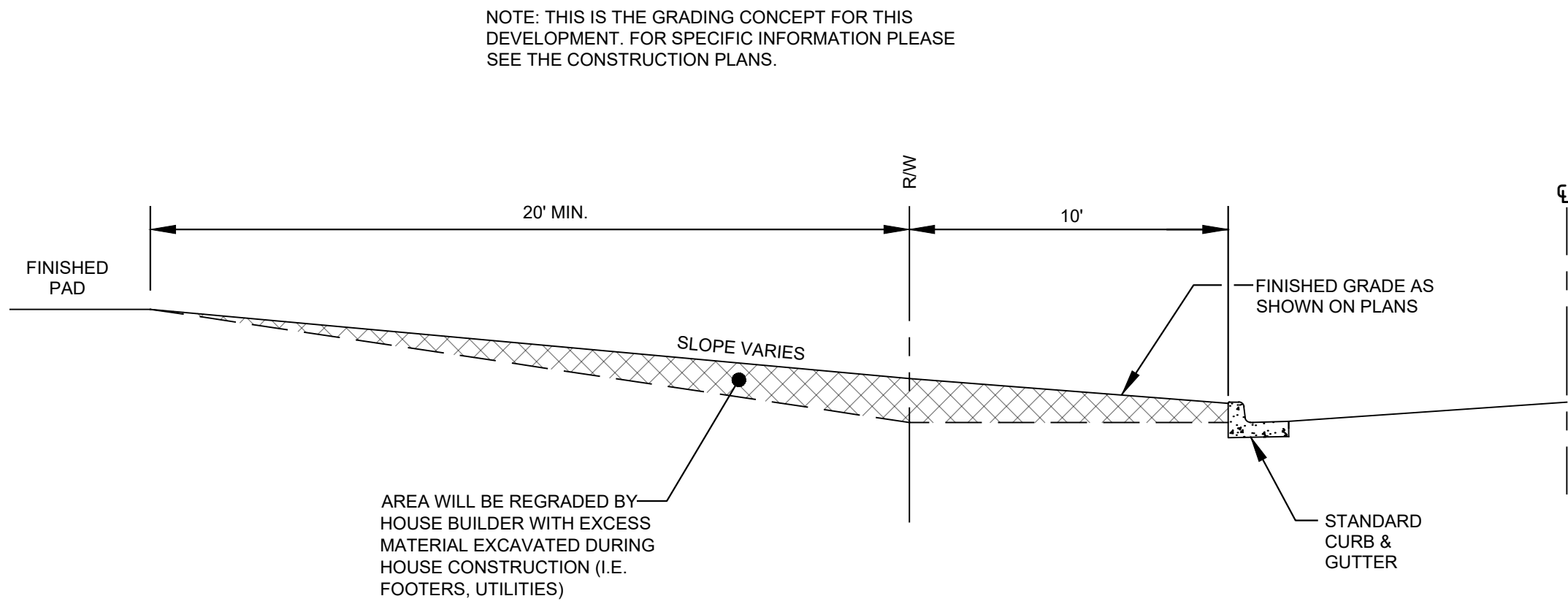
ENLARGED WALL PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	7	11

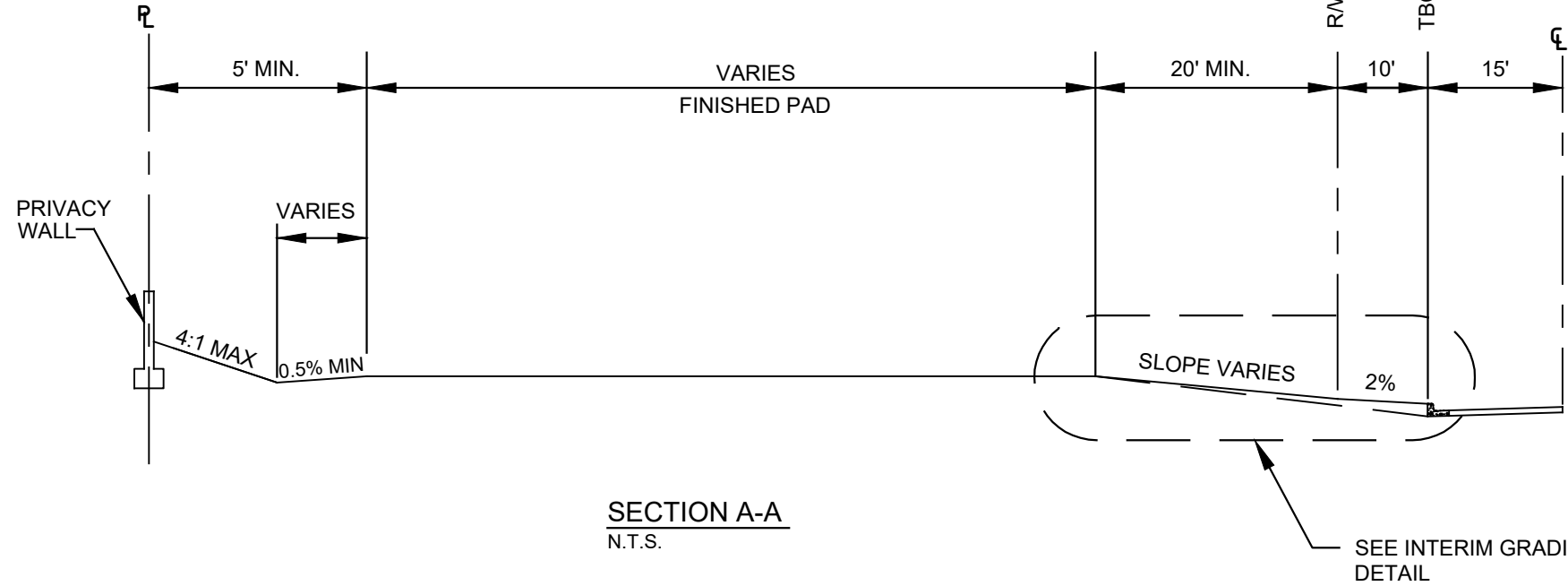
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VERIFICATION BY	DATE	E= 1,559,053.738	DATE														
CORRECTED BY	DATE	ELEV=5306.674 (NAVD 1988)	DATE														
MICRO-FILM INFORMATION	DATE	GROUND TO GRID FACTOR=0.999864300	DATE														
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3/5/23



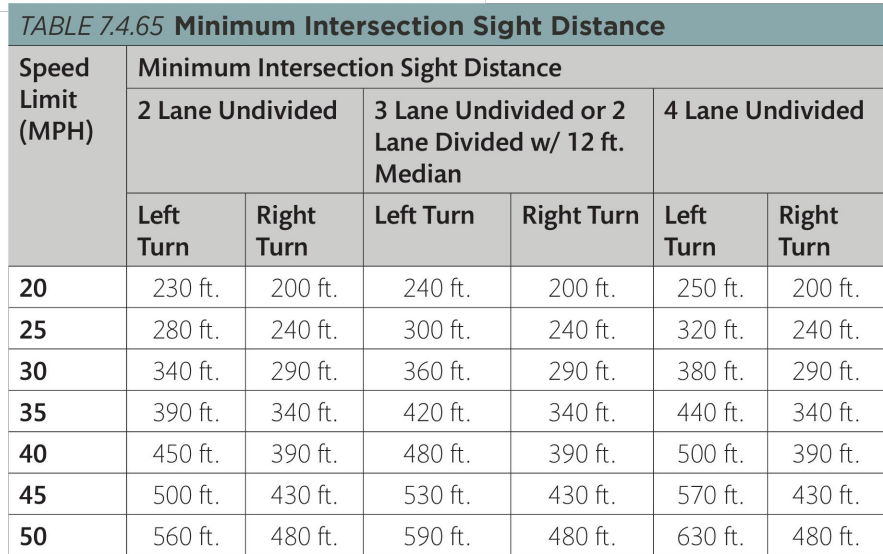
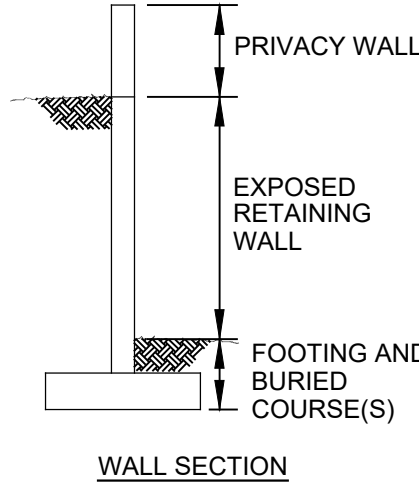
SECTION A-A
N.T.S.



RETAINING WALL
W/ PRIVACY WALL
SEE GENERAL NOTES

PRIVACY WALL
SEE GENERAL NOTES

1 - 3 COURSES	0 TO 2 FT RETAINING HEIGHT TO BE CONSTRUCTED BY HOME BUILDER EXCEPT FOR PERIMETER WALLS
4 - 6 COURSES	2.1 TO 4.0 FT RETAINING HEIGHT
7 - 9 COURSES	4.1 TO 6.0 FT RETAINING HEIGHT
10 - 12 COURSES	6.1 TO 8.0 FT RETAINING HEIGHT
13 - 14 COURSES	8.1 TO 10.0 FT RETAINING HEIGHT
15 - 17 COURSES	10.1 TO 12.0 FT RETAINING HEIGHT



Driveways need to maintain the mini clear sight triangle as shown in [FIGURE 7.4.94](#). This triangle starts at the sidewalk and measures 11 feet on a side.

N.T.S.

1. ALL PROPOSED IMPROVEMENTS WITHIN THE CLEAR SIGHT TRIANGLE SHALL PROVIDE AN UNOBSTRUCTED VISION AT STREET INTERSECTIONS BETWEEN 2.5 FT AND 7 FT ABOVE THE FLOW LINE.
2. IF A PRIVACY WALL IS TO BE CONSTRUCTED AROUND RIGHT-OF-WAY RETURN, THE WALL SHALL BE CONSTRUCTED ALONG THE CLEAR SIGHT TRIANGLE IF RETURN IS LOCATED WITHIN CLEAR SIGHT TRIANGLE.
3. SIGHT TRIANGLE DISTANCES SHOULD BE MEASURED ALONG CENTERLINE OF ROAD CONSTRUCTION, TYPICALLY CENTERLINE OF RIGHT-OF-WAY.
4. STOPPING SIGHT DISTANCES ARE BASED ON DESIGN CRITERIA FROM THE CITY OF RIO RANCHO DEVELOPMENT PROCESS MANUAL.
5. SIGHT TRIANGLES ARE INDICATED BASED ON DIMENSIONS PROVIDED IN DETAIL OR MODIFIED AS INDICATED ON THE PLANS.

N.T.S.

[illegible]

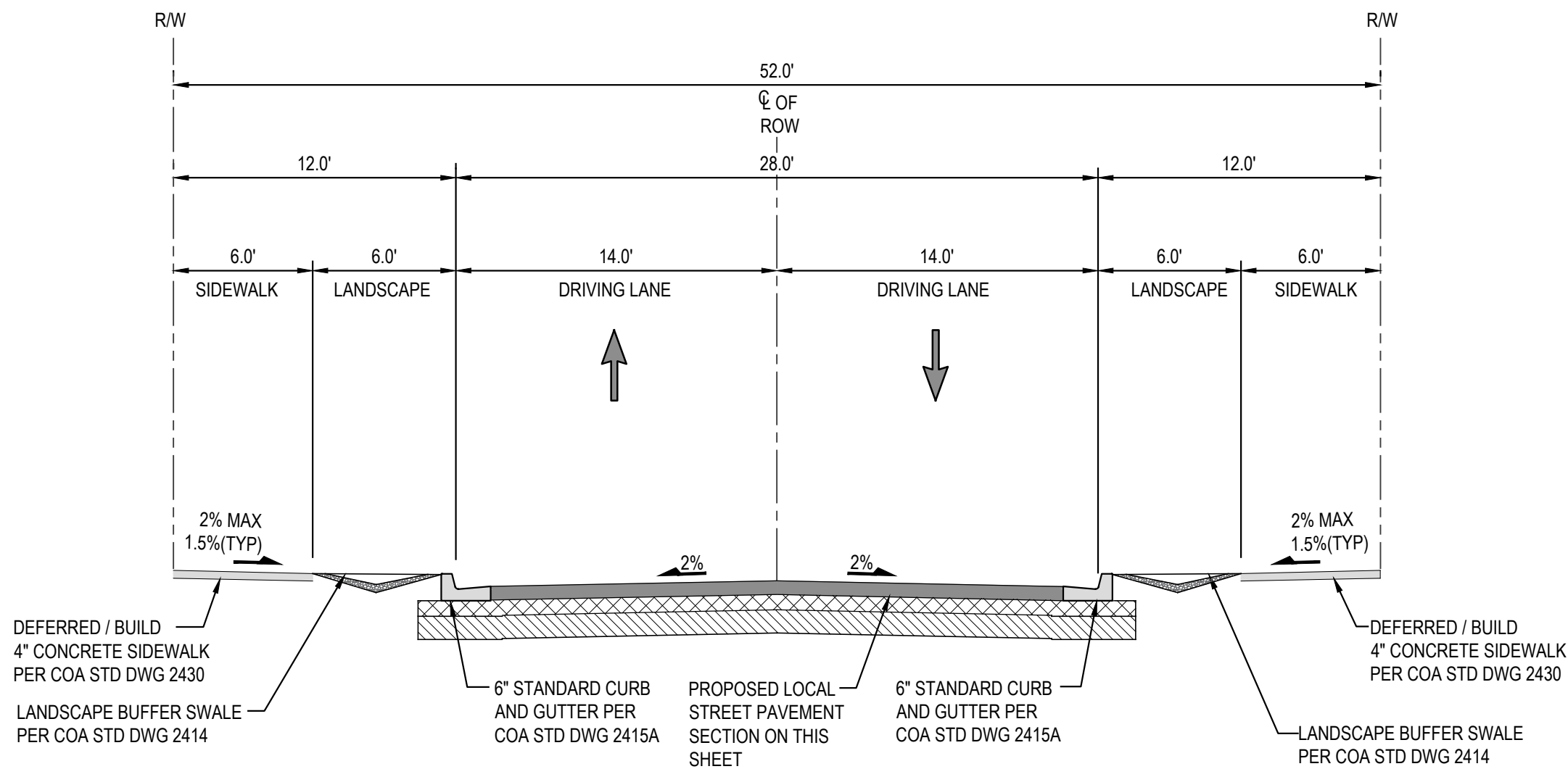
Grading Plan Submittal

MESA DEL SOL MONTAGE 7

GRADING DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 775685	Zone Map No. R-15-Z, S-15-Z		Sheet 9	Of 11

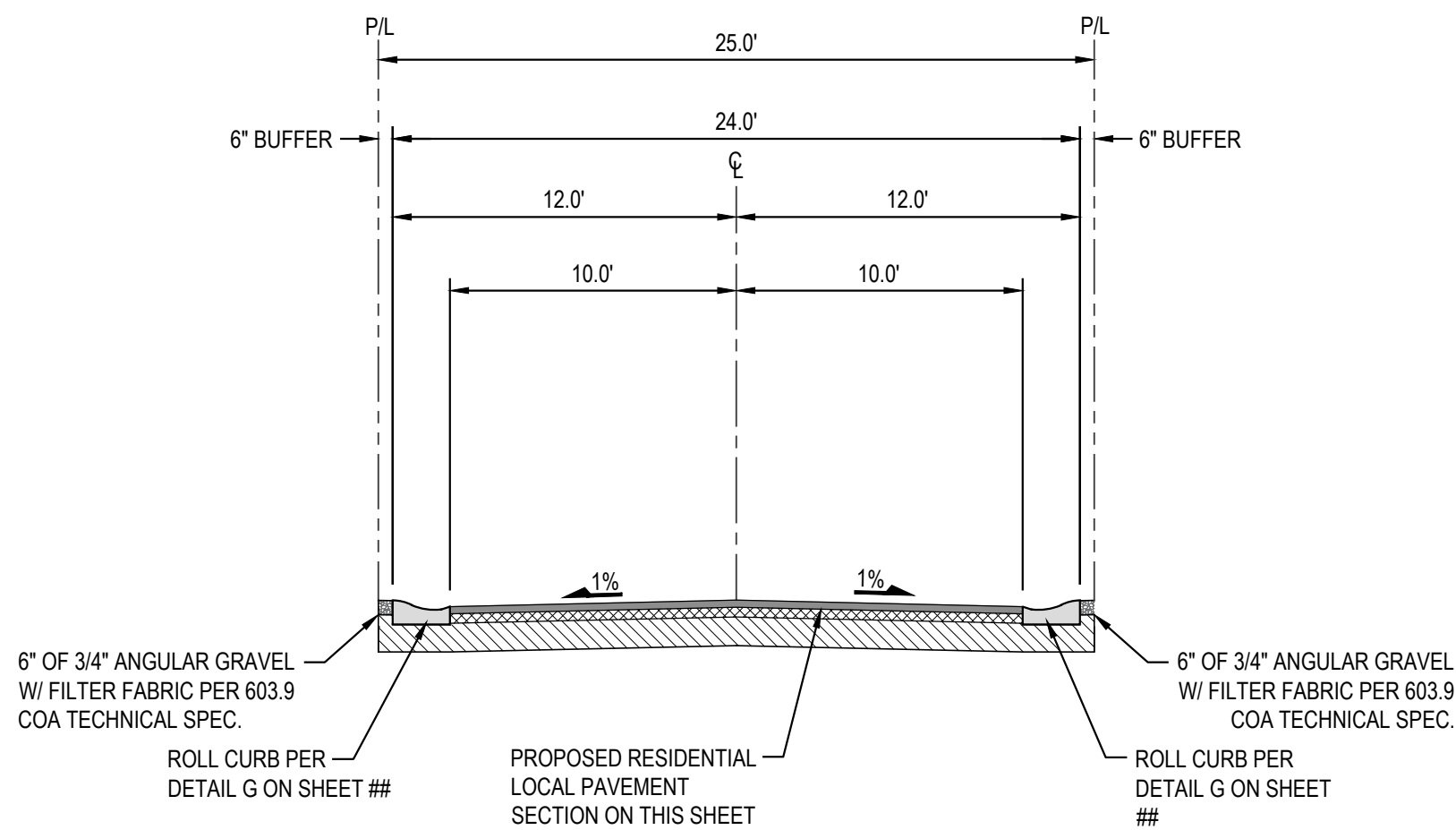
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11.dwg
Last Saved: 3/6/2023 2:46:14 PM, Settings



52' ROW

SCALE: 1"=6'

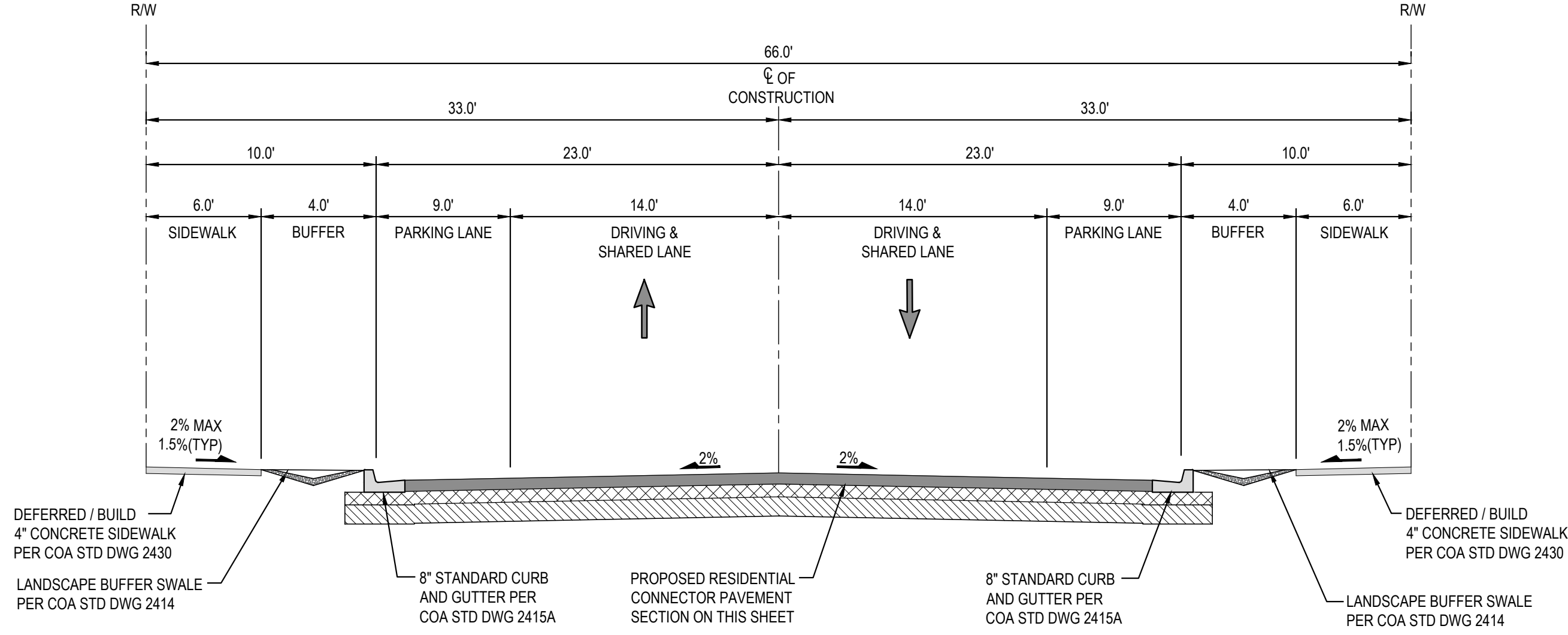
A



ALLEY TRACT (PRIVATE) - 25' ROW

SCALE: 1"=6'

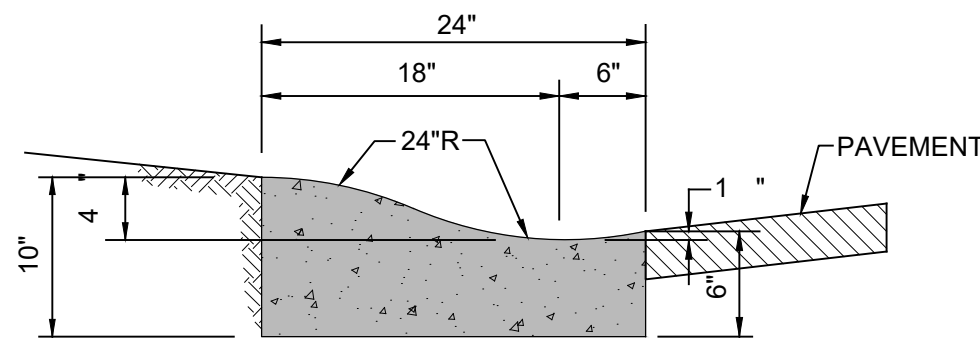
C



66' ROW

SCALE: 1"=6'

B



MOUNTABLE CURB

N.T.S.

D

GENERAL NOTES:

- ANY DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY FOR PRIOR APPROVAL.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE CITY.
- SUBGRADE SHALL BE COMPACTED TO 95% ASTM D 1557, MIN.
- CURB AND GUTTER SHALL BE PORTLAND CEMENT CONCRETE. PORTLAND CEMENT CONCRETE SHALL BE 3000 PSI @ 28 DAYS. AIR ENTRAINMENT SHALL BE A 5% MINIMUM TO 9% MAXIMUM. A CLASS F FLY ASH ADDITIVE IS ALLOWED UP TO 20% BY WEIGHT.
- FOR CONCRETE CURB AND GUTTER

CONSTRUCT TRANSVERSE JOINTS AS FOLLOWS:

- TOOLED CONTRACTION JOINTS AT 5' INTERVALS
 - 1/2" PRE-MOLDED BITUMINOUS EXPANSION
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 - 8" CURB AND GUTTER AND CUTOFF WALL IS NOT FOR USE IN NEW RESIDENTIAL DEVELOPMENT. USE MUST BE PREAPPROVED BY THE CITY.
 - ASPHALT PLACEMENT SHALL BE EVEN WITH THE LIP OF GUTTER, BUT IN NO CASE SHALL IT EXCEED 1/4". ASPHALT PLACED LOWER THAN LIP OF GUTTER SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.



Designed By:

HUITT-ZOLLARS
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6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

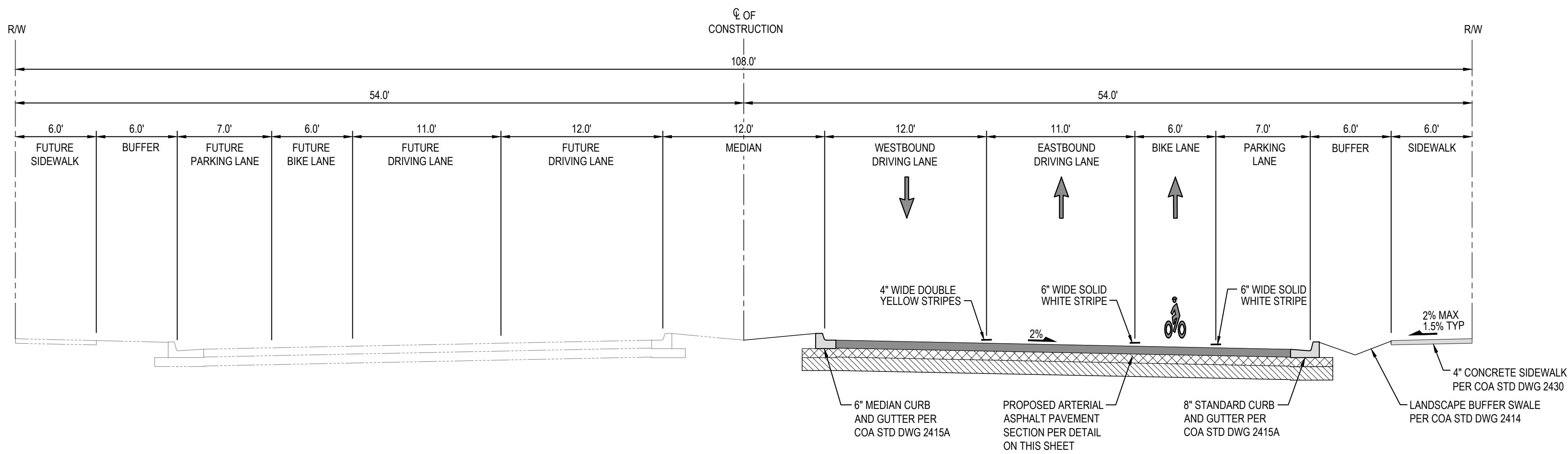
**MESA DEL SOL
MONTAGE 7**

TITLE:

ROADWAY TYPICAL SECTIONS

Design Review Committee	City Engineer	Mo./Day/Yr.	
		Mo./Day/Yr.	Mo./Day/Yr.
Last Update			
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	10	11

Plotted: 3/6/2023 2:45:55 PM, By: Edgings, Scott
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11.dwg
Last Saved: 3/6/2023 2:45:45 PM, seddings



BOBBY FOSTER BLVD

STA. 21+44.90 TO STA. 30+00.00
LOOKING EAST

SCALE: 1"=6'



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MESA DEL SOL MONTAGE 7

TITLE: ROADWAY TYPICAL SECTIONS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	
City Project No.	Zone Map No.	Sheet Of		
775685	R-15-Z, S-15-Z	11 11		



9/6/17

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES	DATE	CONTRACTOR	WORK	DATE
	BY			STAKED BY	
				INSPECTOR	
				FIELD CHASE BY	
				VERIFICATION BY	
				CORRECTED BY	
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
				RECORDED BY	
				NO.	

March 13, 2023

Tiequan Chen, P.E.
City of Albuquerque
600 2nd St NW
Albuquerque, Nm 87102

**RE: MDS – Montage Subdivision Unit 7 on Bobby Foster
Grading and Drainage Submittal for Preliminary Plat and Grading Permit
Hydrology File: R16D100A**

Dear Chen,

We are requesting approval of the grading plans for Montage Subdivision Unit 7. The grading plans and drainage report have been revised according to comments received from City of Albuquerque on December 1, 2022.

Below is a list of comments received on December 1, 2022, which are included in *italics* and our responses in **bold** text.

City of Albuquerque Grading Plan Comments 12/1/22:

1. The Grading Plan that was missing from the first submittal was provided with this second submittal, but it is still missing typical sections of streets, alleys, retaining walls, and other details on the Grading Plan Checklist, DPM 6-14(C). The new plan raises these additional concerns.
 - a. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
Benchmark information provided on sheet 1 – City Monument 5-R15.
 - b. Please provide the FIRM Map number in a flood plain note with effective date.
Fema Map number 35001C0444H dated 8/16/2012 included on sheet 1. Site is within flood hazard zone X.
 - c. Please provide a legal Description of the property.
Legal description provided on sheet 1 – Tract A-1-A-5-C Mesa Del Sol Innovation Park.
 - d. Show both existing and proposed storm pipes and inlets with sizes.
This project does not require additional storm drain or storm drain inlets. Storm drains and storm inlets are constructed as part of work order 393581 with a final inspection date currently being planned for of April 14, 2023.
 - e. Show sidewalk culverts in Parcels A & K, box culvert in Parcel G, and drainage channel in Parcel J labeling the number, size, and type of each. Add details of connection to streets at both ends of each.
Sidewalk culverts are shown on sheet 1. Sidewalk culverts convey stormwater from Hopper Alley to Newhall Drive and from Rose Alley to Newhall Drive. Details will be incorporated into work order under CPN 775685.
 - f. Provide typical sections of drainage structures thru Parcels A, G, J, and K with material specifications, lot lines, and dimensions.
Grading scheme changed and Parcels A, G, J and K no longer accept “off-site” flows.
 - g. Add valley gutters through the alley intersections. Provide valley gutters at each of the four alley intersections in accordance with the Intersection standard DWG 2401 and Concrete Valley Gutter standard

DWG 2420.

Alley intersections are private and it has not been determined as yet if valley gutters or concrete pavements are to be selected.

- h. The highest point at entrance 2 is at the valley gutter for Alley D; so, Alley D will drain out the entrance to Sagan Loop contrary to the drainage Basin Map. Instead provide a water block farther to the east in entrance 2 to and adjust the Basin Map accordingly.

Alley D is renamed Aaron Alley and Entrance 2 is renamed Aaron Road. Aaron Road has a high point along Aaron Alley is not conveyed to Sagan Loop via Aaron Road.

- i. Add a typical lot grading detail with typical section through the side yards at the front corner of the houses. The plan should clearly indicate which portions of each lot drains to the alley and to the street.

Typical lot grading detail included on sheet 9.

- j. Add typical sections from the house pads to the existing adjacent street showing the maximum grade change between pad and street. Show how that grade change is to be accomplished on the private property, while maintaining the required typical sections within the public right of way per COA DWG 2414. Correct the grades shown on the sidewalk around the perimeter to agree with the projected 2% grade shown on the detail.

In some cases lot grading schemes require future homes to step down to public sidewalks.

This will be part of future building permit submittals.

- k. Identify Landscape Buffer Swales per COA DWG 2414 along all of the adjacent public streets with a hatch pattern in the legend and in the plan view.

Adjacent landscape buffers are being installed as part of CPN 393581 and are within the public right-of-way. This project will not grade into the public right-of-way except with the proposed entrance road.

- l. Identify all right-of-ways and drainage easements.

Rights-of-ways are identified and Parcel A and Parcel K include public drainage across the entire parcels.

- m. The layout and sections of the streets, alleys, and sidewalks as shown on the Grading Plan must match the Traffic Circulation Layout, but a traffic plan hasn't been submitted yet. So, a condition of approval will be that the sections match and the G&D Plan will have to be revised if they don't.

Traffic Circulation submitted to transportation on March 14, 2023 for review.

Below is a list of comments received on March 3, 2023, which are included in *italics* and our responses in **bold** text.

City of Albuquerque Grading Plan Comments 3/3/23:

Grading Plan Comments:

1. Please address Doug Hughes' comments dated 12/1/2022.

Addressed above.

2. Add vicinity map and the Firm Map number in a flood plain note with effective date on the plan.

Fema Map number 35001C0444H dated 8/16/2012 included on sheet 1. Site is within flood hazard zone X.

3. *Provide the Benchmark information (location, description and elevation) for the survey contour information provided.*

Benchmark information provided on sheet 1 – City Monument 5-R15.

4. *Add a summary table showing the 100-yr, 10-day volume calculations and provided pond volume. Originally, pond 1 was anticipated to be constructed as a detention pond. It now proposes as a retention pond. Does it need to be upsized?*

Sheet 2 includes summary table showing the required volume and provided pond. No, the pond does not require upsizing.

5. *Label "Pond 1" on the plan. Add drainage basins and alley names used in the drainage report on sheet 1.*

Pond 1 is labeled on sheet 1 and Pond 2a is labeled on sheet 2. Alley names are updated on the revised sheets.

6. *Add "Existing SD" to the legend.*

Existing storm drain occurs within platted right-of-way and will be shown on future work order sheets submitted to DRC under CPN 775685.

7. *Define "design 1" and "design 2" on sheet 1.*

Reference to "design 1" and "design 2" removed from sheet 1.

Drainage Report Comments:

1. *Neither this report nor the 2020 Bobby Foster Drainage Report has demonstrated adequate downstream capacity. Ponds 1 and 2A must be redesigned to retain the 100-year 10-day volume in accordance with the Montage Unit 3 & 4 Drainage Report with engineer's stamp date 1/18/2019. The 2020 Bobby Foster report and the 2011 Montage Units 1& 2 Drainage Reports both undersized the ponds by designing them as detention ponds rather than retention ponds.*

Ponds 1 and 2a are redesigned to retain 100-year 10-day volume as shown on sheet 2.

2. *Page 2, under "Existing Conditions":*

- a. *"A retention pond (pond 1?) exists south of Montage 7 and is designed to accommodate the runoff from the undeveloped site." - Please provide support documents for this statement. Originally, pond 1 was anticipated to be constructed as a detention pond, not a retention pond. (BP).*

Pond rating curve is included on sheet 2 and within the report.

We greatly appreciate your time and consideration. Please contact me if you have any questions.

Sincerely,


Scott Eddings, PE
Project Manager