CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

February 5, 2024

Scott Eddings, P.E.
Huitt-Zollers Inc.
6561 Americas Parkway NE
Albuquerque, NM 87110

RE: MDS - Montage Subdivision Unit 7 on Bobby Foster
Request for Pad Certification – Accepted
Engineer's Certification Date: 1/5/2024
Engineer's Stamp Date: 8/16/2023
Hydrology File: R16D100A

Dear Mr. Eddings,

Based upon the information provided in your Certification received 1/22/2024, site visit on 1/24/2024, and additional information and photos submitted on 2/5/2024, the above referenced Certification is acceptable for Building Pad Certification for **Montage Subdivision Unit 7**. Please attach a copy of this approval letter and approved Grading & Drainage Plan with each lot's Building Permit submittal. Please note that submittal to Hydrology for Permanent Release of Occupancy will not be needed.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Montage 7 Hydrology File # R16D100A
Legal Description: Tract A-1-A-5-C Mesa del Sol Innovation Park
City Address, UPC, OR Parcel: UPC: 101505151712840301

Applicant/Agent: Huitt-Zollars Contact: Scott Eddings
Address: 333 Rio Rancho Blvd Phone: 505-235-7211
Email: seddings@huitt-zollars.com

Applicant/Owner: DR Horton Contact: Aaron Cooke
Address: 8440 Wyoming Blvd Ste A Phone: 505-797-4245
Email: acooke@drhorton.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☑ PLAT (#of lots) 57 ☐ RESIDENCE
☐ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☑ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☑ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☑ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☑ OTHER (SPECIFY) Pad Certification

TYPE OF APPROVAL SOUGHT:

- ☑ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 1/21/24

REV. 09/13/23

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

January 4, 2024

Scott Eddings, P.E.
Huitt-Zollers Inc.
6561 Americas Parkway NE
Albuquerque, NM 87110

RE: MDS - Montage Subdivision Unit 7 on Bobby Foster
Grading and Drainage Submittal for Building Permit
Grading Plan Engineer's Stamp Date: 8/16/2023
Hydrology File: R16D100A

Dear Mr. Eddings,

Based upon the information provided in your submittal received 12/29/2023, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house).

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO BUILDING PERMIT:

1. Once the grading is complete (the earth pad is done for the house), please attach a **site photo** with the Hydrology submittal for Pad Certification and Building Permit approval.

2. An Engineer's Certification of the compacted pad and grading (Pad Certification), per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language must be placed on the certification.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen

Tiequan Chen P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

City of Albuquerque

Planning Department
Development & Building Services Division

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- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 1/21/24

REV. 09/13/23

PROPERTY

THE PROJECT SITE IS WITHIN TRACT A-1-A-5-C MESA DEL SOL INNOVATION PARK. TRACT A-1-A-5-C IS APPROXIMATELY 7.4572 ACRES AND PART OF THE LEVEL B MESA DEL SOL MASTER PLAN.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0555H DATED AUGUST 16, 2012 SHOWS THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE X.

EXISTING DRAINAGE PLANS

- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD IMPROVEMENTS
  - DRAINAGE STUDY FOR BOBBY FOSTER ROAD UNIVERSITY BOULEVARD DATED NOVEMBER 2020
  - DRB - PR-2020-004138
  - CITY PROJECT NUMBER 393581 - CONSTRUCTION PLANS APPROVED SEPTEMBER 20, 2021
- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD AMENDED DRAINAGE STUDY - MARCH 2023
  - CHANGE POND 1 TO RETENTION

EXISTING CONDITIONS

THE SITE IS UNDISTURBED SURROUNDED ON ALL SIDES BY FULLY IMPROVED ROADS, DRAINAGE AND UTILITIES. THE EXISTING DRAINAGE INFRASTRUCTURE WITHIN THE ADJACENT ROADWAYS (BOBBY FOSTER ROAD, SAGAN LOOP, STIEGLITZ AVENUE AND NEWHALL DRIVE) WAS CONSTRUCTED AS PART OF CPN 393581 AND SIZED TO ACCEPT DEVELOPED FLOWS FROM TRACT A-1-A-5-C.

PROPOSED MONTAGE 7 DRAINAGE STUDY

MONTAGE 7 SUBDIVISION AT MESA DEL SOL DRAINAGE SUBMITTED PREPARED BY HUITT-ZOLLARS AND SUBMITTED TO CITY OF ALBUQUERQUE FOR APPROVAL MARCH 5, 2023.

PROPOSED IMPROVEMENTS

THIS PROJECT DEVELOPS (57) SINGLE FAMILY RESIDENTIAL LOTS, (11) PARCELS, (2) TRACTS AND (4) ALLEY TRACTS.

PROPOSED DRAINAGE CONDIITIONS

SEE SHEETS 1A THRU 1C

HOPPER ALLEY DISCHARGES 7.5 CFS TO NEWHALL DRIVE VIA (2) EA 24-INCH WIDE SIDEWALK CULVERTS.

AARON ALLEY DISCHARGES 7.8 CFS TO NEWHALL DRIVE VIA (2) EA 24-INCH WIDE SIDEWALK CULVERTS.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/4/2024
BY: Leonen Cho
HydroTrans # R16D100A

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR ERROR OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

STORM WATER QUALITY

STORM WATER QUALITY IS PROVIDED WITHIN POND 1

BENCHMARK

A STANDARD CITY OF ALBUQUERQUE MONUMNET "5-R15 2006" ALUMINUM DISC. NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983)
N=1,452,149.458 U.S. SURVEY FEET
E = 1,529,053.738 U.S. SURVEY FEET
PUBLISHED ELEVATION = 5306.674 U.S. SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999664300 DELTA ALPHA ANGLE = -0°12'47.60".

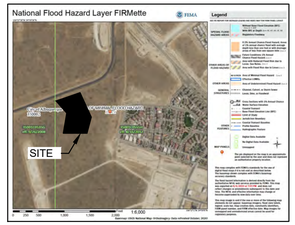
AREA OF DISTURBANCE IS APPROXIMATELY 7.5 AC

AN EROSION SEDIMENT CONTROL PLAN IS REQUIRED.

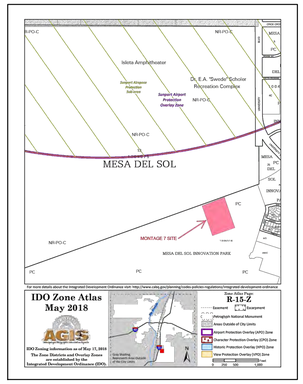
PLANIMETRIC AND TOPOGRAPHIC SURVEY

PROVIDED BY HUITT-ZOLLARS, DATED MARCH 2020 AND AUGMENTED WITH DESIGN CONTOURS AND FIELD SURVEYS FROM CPN 393581.

FIRMETTE



IDO ZONE MAP R-15



DRAINAGE CERTIFICATION

I, SCOTT EDDINGS, NMPE 12856, OF THE FIRM HUITT-ZOLLARS, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLANS DATED 1/4/24 ENGINEER SEAL DATE OF 8/16/23. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JASON SMITH, NMPS 17122, OF THE FIRM HUITT-ZOLLARS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JAN 5, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT FOR PAD CERTIFICATIONS.

THE RECORDE INFORMATION PRESENTED HERON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Scott Eddings

SCOTT EDDINGS, PE 12856

DATE 1/5/24

SURVEYOR'S CERTIFICATION

I, JASON SMITH, A DULY QUALIFIED LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME, OR UNDER MY SUPERVISION, THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS (UNLESS OTHERWISE NOTED) WAS ADDED BY ME, OR UNDER MY SUPERVISION AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Jason D. Smith

JASON SMITH — 9/26/23
NEW MEXICO PROFESSIONAL SURVEYOR NO. 17155 — DATE
333 RIO RANCHO BLVD, STE 101
RIO RANCHO, NM 87124
505-892-5141

August 16, 2023

GRADING SHEET INDEX

LEGEND

- EXIST. (INDEX) CONTOUR
- EXIST. (INTERMEDIATE) CONTOUR
- PROP. (INDEX) CONTOUR
- PROP. (INTERMEDIATE) CONTOUR
- WATER BLOCK
- NEW CURB & GUTTER
- FUTURE CURB & GUTTER
- XX.XXTP — TOP OF PAVEMENT
- XX.XXTC / XX.XXFL — TOP OF CURB ELEVATION / FLOW LINE ELEVATION
- XX.XXTOC — TOP OF CONCRETE
- FLOW PATH
- GRADING LIMITS
- DISCHARGE LOCATION
- H.P. — HIGH POINT
- L.P. — LOW POINT

GENERAL NOTES

1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAT FOR LOT DIMENSIONS.
3. SEE DETAIL 5 FOR TYPICAL LOT GRADING.
4. SEE SHEETS 5-8 FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
5. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
6. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
7. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY

Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:

HUITT ZOLLARS

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
FIELD INSPECTION BY — DATE
ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999664300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

ENGINEER'S SEAL
SCOTT A. EDDINGS — NEW MEXICO — 12856 — REGISTERED PROFESSIONAL ENGINEER
Scott Eddings 8/16/23

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY: SAE — DATE: August 16, 2023
DRAWN BY: LRT — DATE: August 16, 2023
DWG NAME: Sht 1 2.dwg — PROJ #: R315530.01
CHECKED BY: SAE — DATE: August 16, 2023

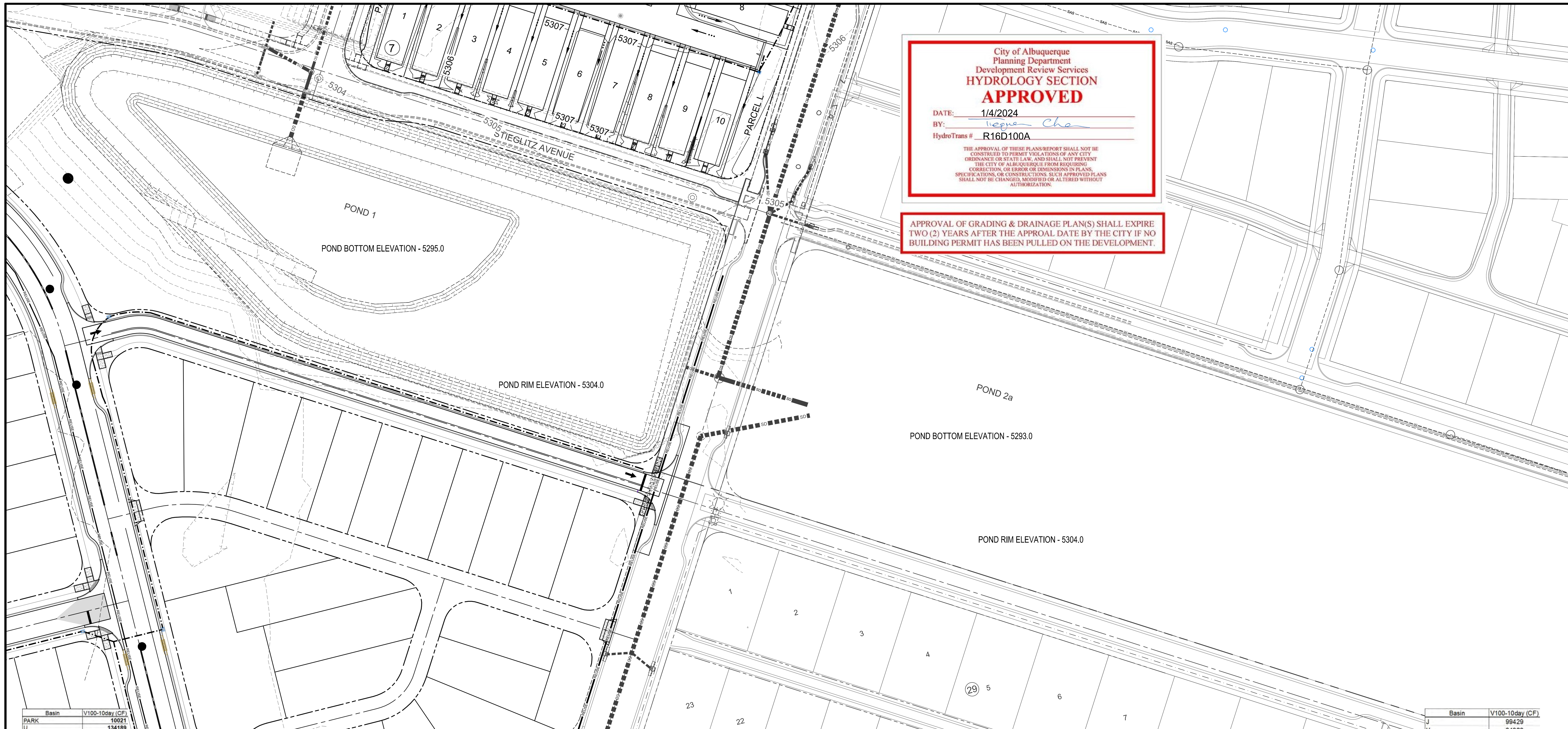
MESA DEL SOL MONTAGE 7

TITLE: GRADING COMPOSITE

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	1	11

Plotted: 12/29/2023 9:05:31 AM, By:Eddings, Scott
H:\proj\R315530.01 - Montage Unit 7 - Mesa del Sol\10 CADD & BIM\10.1 AutoCAD\SHEET SET\Grading\Sht 1 2.dwg
Last Saved: 12/29/2023 9:01:51 AM, seddings



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/4/2024
BY: [signature]
HydroTrans # R16D100A

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APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

POND 1 - RETENTION POND VOLUME

Basin	V100-10day (CF)
PARK	10021
U	134189
V	101243
W-1	38750
W-2	50062
W-3 (PARTIAL)	68201
BOBBY FOSTER (PARTIAL)	24543
REQUIRED VOLUME	427009
ACTUAL VOLUME	721371

Basin Park

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(1.03)+(1.03)x(2.23)+(2.23)x(0.168)/ 2.4 ac.
= 1.5 in.
V100-360 = (1.5)x(2.4)/ 12 = 0.29 ac-ft = 12688.81 cf
V100-10day = (0.29)+(0.17)x(3.62 - 2.29)/ 12 = 0.31 ac-ft = **13443.5** cf

Basin U

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(4.48)+(1.03)x(4.482)+(2.23)x(7.636)/ 16.6 ac.
= 1.5 in.
V100-360 = (1.49)x(16.6)/ 12 = 2.06 ac-ft = 89838.65 cf
V100-10day = (2.06)+(7.64)x(3.62 - 2.29)/ 12 = 2.91 ac-ft = **134188.5** cf

Basin V

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(4.58)+(1.03)x(4.576)+(2.23)x(5.148)/ 14.3 ac.
= 1.4 in.
V100-360 = (1.37)x(14.3)/ 12 = 1.64 ac-ft = 71343.73 cf
V100-10day = (1.64)+(5.15)x(3.62 - 2.29)/ 12 = 2.32 ac-ft = **101243.3** cf

Basin W-1

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.16)+(1.03)x(0.155)+(2.23)x(2.79)/ 3.1 ac.
= 2.1 in.
V100-360 = (2.00)x(3.1)/ 12 = 0.52 ac-ft = 22545.39 cf
V100-10day = (0.52)+(2.79)x(3.62 - 2.29)/ 12 = 0.89 ac-ft = **38749.7** cf

Basin W-2

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(1.48)+(1.03)x(1.475)+(2.23)x(2.95)/ 5.9 ac.
= 1.6 in.
V100-360 = (1.54)x(5.9)/ 12 = 0.76 ac-ft = 32928.64 cf
V100-10day = (0.76)+(2.95)x(3.62 - 2.29)/ 12 = 1.15 ac-ft = **50062.2** cf

Basin W-3 Partial

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.98)+(1.03)x(0.975)+(2.23)x(4.55)/ 6.5 ac.
= 1.8 in.
V100-360 = (1.77)x(6.5)/ 12 = 0.96 ac-ft = 41774.95 cf
V100-10day = (0.96)+(4.55)x(3.62 - 2.29)/ 12 = 1.57 ac-ft = **68201.3** cf

Basin Bobby Foster Partial

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.48)+(1.03)x(0)+(2.23)x(1.716)/ 2.2 ac.
= 1.9 in.
V100-360 = (1.83)x(2.2)/ 12 = 0.33 ac-ft = 14576.05 cf
V100-10day = (0.33)+(1.72)x(3.62 - 2.29)/ 12 = 0.56 ac-ft = **24542.6** cf

Pond 1 Rating Curve

Elevation	Area	Average Area	Volume	Volume	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5295.0	*27700*					
		28959	28959	0.66	28959	0.66
5296.0	*30217*					
		31516	31516	0.72	60474	1.39
5297.0	*32814*					
		34136	34136	0.78	94610	2.17
5298.0	*35457*					
		62793	62793	1.44	157402	3.61
5299.0	*90128*					
		98630	98630	2.26	256032	5.88
5300.0	*107131*					
		109407	109407	2.51	365438	8.39
5301.0	*111682*					
		113987	113987	2.62	479425	11.01
5302.0	*116291*					
		118625	118625	2.72	598049	13.73
5303.0	*120958*					
		123322	123322	2.83	**721371**	16.56
5304.0	*125686*					

Pond 2a Rating Curve

Elevation	Area	Average Area	Volume	Volum	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5293.0	*38552*					
		41048	41048	0.94	41048	0.94
5294.0	*43544*					
		46114	46114	1.06	87162	2.00
5295.0	*48683*					
		51326	51326	1.18	138488	3.18
5296.0	*53969*					
		56679	56679	1.30	195166	4.48
5297.0	*59388*					
		65141	65141	1.50	260307	5.98
5298.0	*70894*					
		76983	76983	1.77	337290	7.74
5299.0	*83072*					
		89967	89967	2.07	427257	9.81
5300.0	*96861*					
		102128	102128	2.34	529384	12.15
5301.0	*107394*					
		112037	112037	2.57	641421	14.72
5302.0	*116679*					
		121174	121174	2.78	762594	17.51
5303.0	*125668*					
		130325	130325	2.99	**892919**	20.50
5304.0	*134982*					

POND 2A - RETENTION POND VOLUME

Basin	V100-10day (CF)
J	99429
H	24960
X	53512
Y	53512
G	29926
BOBBY FOSTER (PAR	42392

Basin J

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(3.321)+(1.03)x(3.321)+(2.23)x(5.769)/ 12.3
= 1.54 in.
V100-360 = (1.54)x(12.3)/ 12 = 1.579 ac-ft = 68760.55 cf
V100-10day = (1.58)+(5.77)x(3.62 - 2.29)/ 12 = 2.91 ac-ft = **126704.50** cf

Basin X

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.765)+(1.03)x(0.765)+(2.23)x(3.57)/ 5.1 ac.
= 1.84 in.
V100-360 = (1.84)x(5.1)/ 12 = 0.78 ac-ft = 33980.61 cf
V100-10day = (0.78)+(3.57)x(3.62 - 2.29)/ 12 = 1.18 ac-ft = **51216.21** cf

Basin H

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(3.6)+(1.03)x(3.6)+(2.23)x(0)/ 7.2 ac.
= 0.92 in.
V100-360 = (0.92)x(7.2)/ 12 = 0.549 ac-ft = 23914.44 cf
V100-10day = (0.55)+(0)x(3.62 - 2.29)/ 12 = 0.55 ac-ft = **23914.44** cf

Basin Y

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.765)+(1.03)x(0.765)+(2.23)x(3.57)/ 5.1 ac.
= 1.84 in.
V100-360 = (1.84)x(5.1)/ 12 = 0.78 ac-ft = 33980.61 cf
V100-10day = (0.78)+(3.57)x(3.62 - 2.29)/ 12 = 1.18 ac-ft = **51216.21** cf

Basin G

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(1.2)+(1.03)x(1.2)+(2.23)x(1.6)/ 4 ac.
= 1.44 in.
V100-360 = (1.44)x(4)/ 12 = 0.48 ac-ft = 20923.32 cf
V100-10day = (0.48)+(1.6)x(3.62 - 2.29)/ 12 = 0.66 ac-ft = **28647.96** cf

Basin W (Partial)

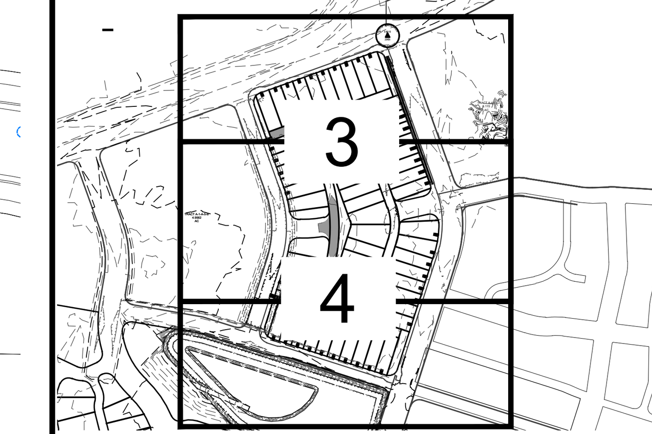
PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.255)+(1.03)x(0.255)+(2.23)x(1.19)/ 1.7 ac.
= 1.84 in.
V100-360 = (1.84)x(1.7)/ 12 = 0.26 ac-ft = 11326.87 cf
V100-10day = (0.26)+(1.19)x(3.62 - 2.29)/ 12 = 0.39 ac-ft = **17072.07** cf

Basin Bobby Foster

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.62)x(0)+(0.8)x(0.836)+(1.03)x(0)+(2.23)x(2.964)/ 3.8 ac.
= 1.92 in.
V100-360 = (1.92)x(3.8)/ 12 = 0.607 ac-ft = 26421.03 cf
V100-10day = (0.61)+(2.96)x(3.62 - 2.29)/ 12 = 0.94 ac-ft = **40730.92** cf



GRADING SHEET INDEX

LEGEND

Symbol	Description
5050	EXIST. (INDEX) CONTOUR
5251	EXIST. (INTERMEDIATE) CONTOUR
5040	PROP. (INDEX) CONTOUR
5041	PROP. (INTERMEDIATE) CONTOUR
	WATER BLOCK
	NEW CURB & GUTTER
	FUTURE CURB & GUTTER
XX.XXTP	TOP OF PAVEMENT
XX.XXTC XX.XXFL	TOP OF CURB ELEVATION FLOW LINE ELEVATION
XX.XXTOC	TOP OF CONCRETE
	FLOW PATH
	GRADING LIMITS
	DISCHARGE LOCATION
H.P. L.P.	HIGH POINT LOW POINT

GENERAL NOTES

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nm811 Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
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E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999664300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ENGINEER'S SEAL
SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
8/16/23

REVISIONS
NO. DATE REMARKS BY

DESIGN
DESIGNED BY: SAE — DATE: August 16, 2023
DRAWN BY: LRT — DATE: August 16, 2023
DWG NAME: Sht 1 2.dwg — PROJ #: R315530.01
CHECKED BY: SAE — DATE: August 16, 2023

Designed By: HZ HUITT ZOLLARS

August 16, 2023

MESA DEL SOL MONTAGE 7

TITLE:

RETENTION POND VOLUMES

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	2	11

Plotted: 12/29/2023 9:04:04 AM, By:Eddings, Scott
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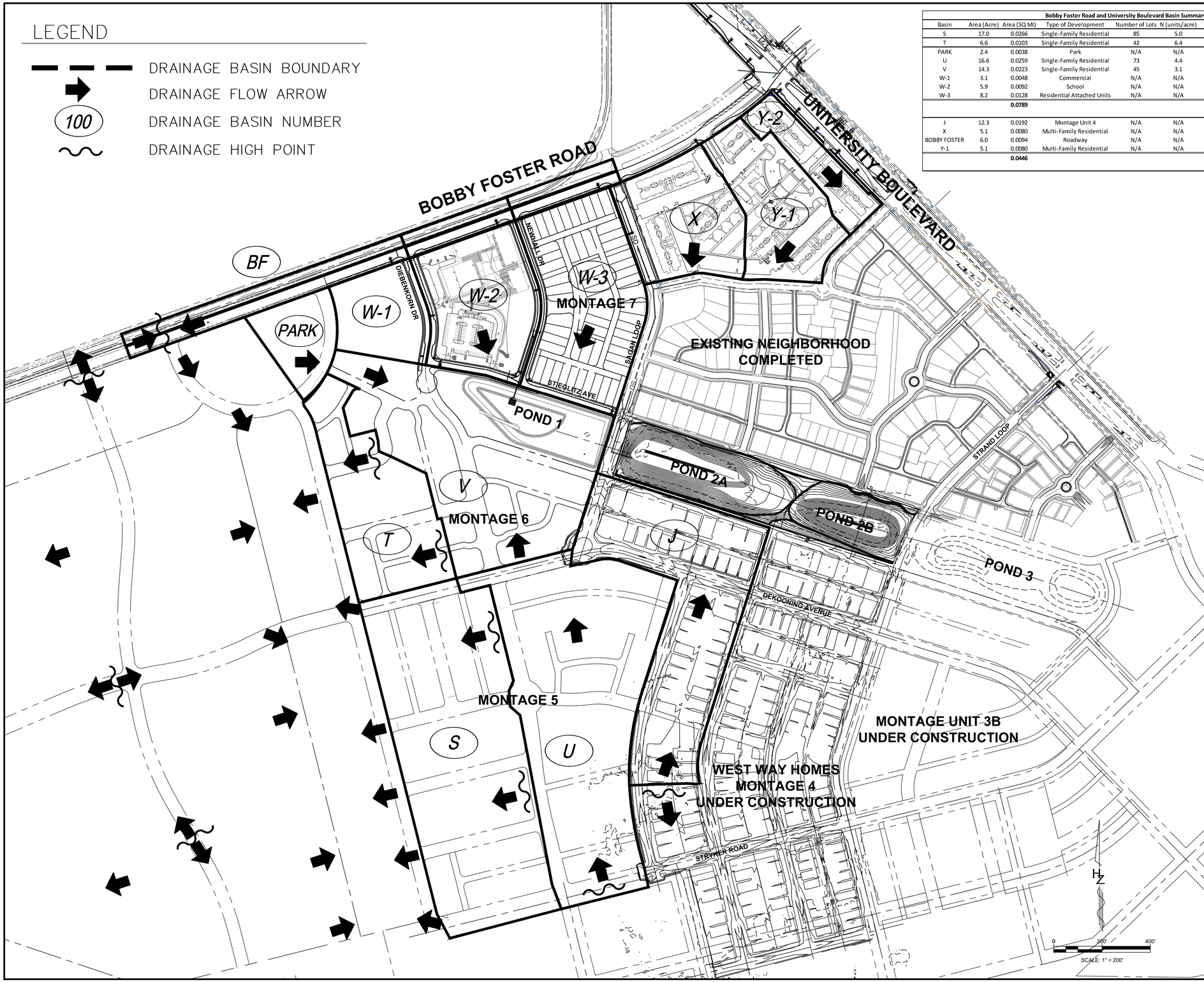
Last Saved:12/29/2023 9:01:51 AM, seddings

LEGEND

- DRAINAGE BASIN BOUNDARY
- DRAINAGE FLOW ARROW
- 100 — DRAINAGE BASIN NUMBER
- DRAINAGE HIGH POINT



Bobby Foster Road and University Boulevard Basin Summary - Developed Conditions

Basin	Area (Acre)	Area (SQ MI)	Type of Development	Number of Lots	N (units/acre)	%A	%B	%C	%D	100-Year V (AC-FT)	100-Year Q (CFS)
S	17.0	0.0266	Single-Family Residential	85	5.0	0	25	25	50	2.12	61.6
T	6.6	0.0103	Single-Family Residential	42	6.4	0	20	20	60	0.88	25.0
PARK	2.4	0.0038	Park	N/A	N/A	0	46	47	7	0.21	7.1
U	16.6	0.0259	Single-Family Residential	73	4.4	0	27	27	46	2.00	58.8
V	14.3	0.0223	Single-Family Residential	45	3.1	0	32	32	36	1.59	48.3
W-1	3.1	0.0048	Commercial	N/A	N/A	0	5	5	90	0.49	13.2
W-2	5.9	0.0092	School	N/A	N/A	0	25	25	50	0.73	21.3
W-3	8.2	0.0128	Residential Attached Units	N/A	N/A	0	15	15	70	1.17	32.4
		0.0789							**Total Inflow to Pond 1 =**	**6.19**	**181.1**
									Total Outflow from Pond 1 =	**4.23**	**45.2**
J	12.3	0.0192	Montage Unit 4	N/A	N/A	0	27	27	46	1.48	43.6
X	5.1	0.0080	Multi-Family Residential	N/A	N/A	0	15	15	70	0.73	20.3
BOBBY FOSTER	6.0	0.0094	Roadway	N/A	N/A	0	22	0	78	0.89	24.2
Y-1	5.1	0.0080	Multi-Family Residential	N/A	N/A	0	15	15	70	0.73	20.3
		0.0446							**Total Inflow to Pond 2A =**	**8.06**	**153.46**
									Total Outflow from Pond 2A =	**6.58**	**13.9**

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
SURVEY CHECKED BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "15-J12 1989"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,487,534.543
E=1,511,214.742
ELEV=4955.627 (NAVD 1988)
GROUND TO GRID FACTOR=0.999865508
MAPPING ANGLE=-0°14'53.77"

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN

DESIGNED BY: SAE	DATE: May 17, 2021
DRAWN BY: CAT	DATE: May 17, 2021
DWG NAME: 2_MDS BASIN MAP.dwg	PROJ #: R312703.01
CHECKED BY: SAE	DATE: May 17, 2021

nm811 Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

TITLE:
DEVELOPED CONDITIONS BASIN MAP
BOBBY FOSTER & UNIVERSITY BLVD

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
3935.81	R-15-Z, R-16-Z	EXHIBIT 1	

Plotted: 1/11/2023 11:25:11 AM, By:Trujillo, Corie
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Last Saved:11/10/2023 6:35:21 PM, ctrujillo

DRAINAGE CERTIFICATION

I, SCOTT EDDINGS, NMPE 12856, OF THE FIRM HUITT-ZOLLARS, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLANS DATED 1/4/24 ENGINEER SEAL DATE OF 8/16/23. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JASON SMITH, NMPS 17122, OF THE FIRM HUITT-ZOLLARS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JAN 5, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT FOR PAD CERTIFICATIONS.

THE RECORDE INFORMATION PRESENTED HERON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT EDDINGS, PE 12856

DATE 1/5/24

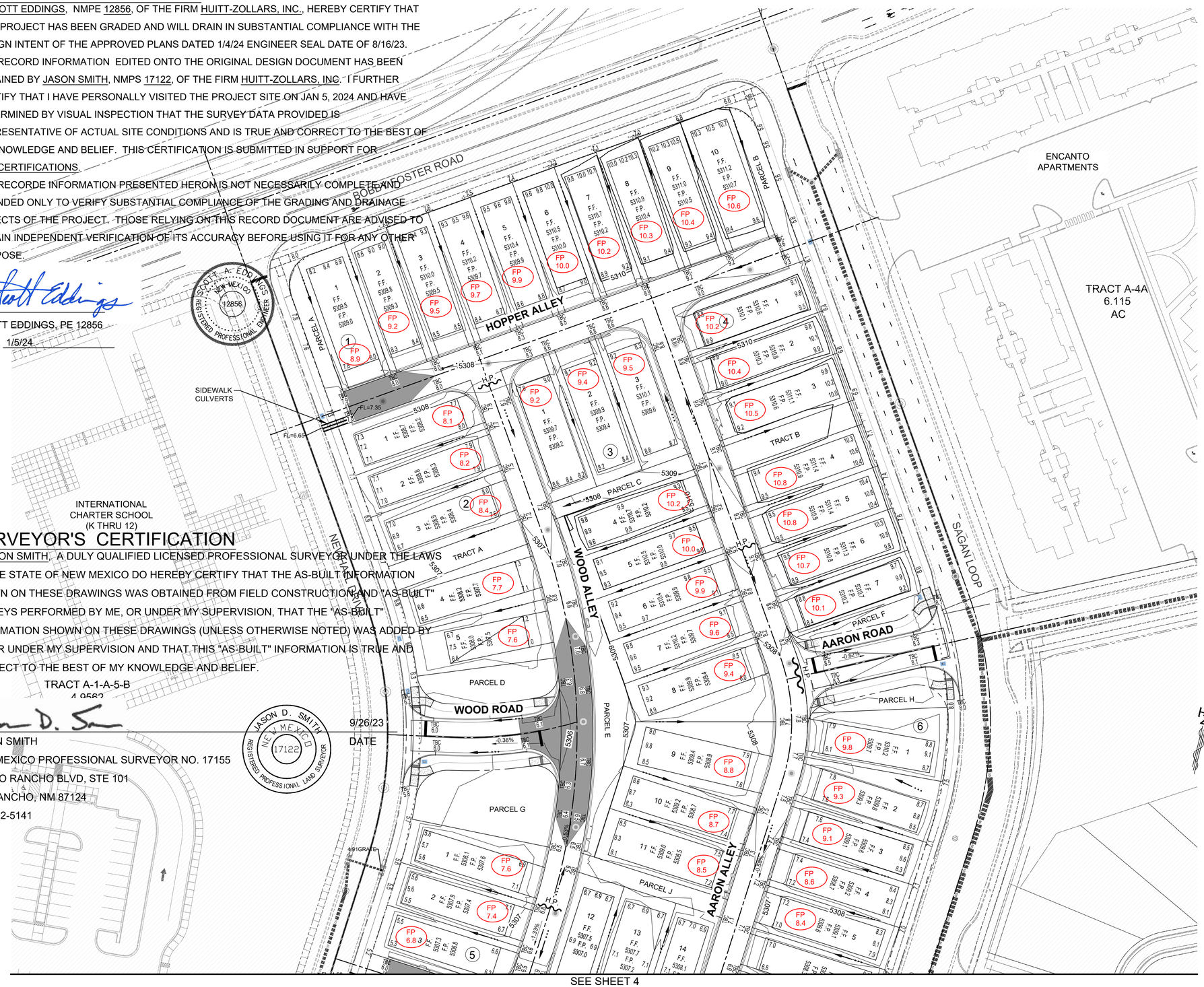
SURVEYOR'S CERTIFICATION

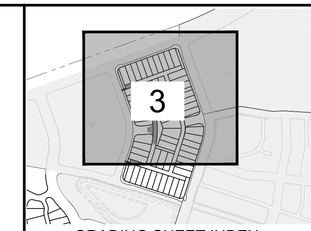
I, JASON SMITH, A DULY QUALIFIED LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME, OR UNDER MY SUPERVISION, THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS (UNLESS OTHERWISE NOTED) WAS ADDED BY ME, OR UNDER MY SUPERVISION AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

TRACT A-1-A-5-B
4.9562

9/26/23
DATE

JASON SMITH
NEW MEXICO PROFESSIONAL SURVEYOR NO. 17155
333 RIO RANCHO BLVD, STE 101
RIO RANCHO, NM 87124
505-892-5141





GRADING SHEET INDEX

LEGEND

- EXIST. (INDEX) CONTOUR
- EXIST. (INTERMEDIATE) CONTOUR
- PROP. (INDEX) CONTOUR
- PROP. (INTERMEDIATE) CONTOUR
- WATER BLOCK
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- FUTURE CURB & GUTTER
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- XX.XXTC / XX.XXFL — TOP OF CURB ELEVATION / FLOW LINE ELEVATION
- XX.XXTOC — TOP OF CONCRETE
- FLOW PATH
- GRADING LIMITS
- FP X.X — "AS-BUILT" ELEVATION

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0 40' 80'
SCALE: 1" = 40'

TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:

HUITT ZOLLARS

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
AS-BUILTS REVIEWED BY — DATE
ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
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FOUND MONUMENT "5-R15 2006"
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GROUND TO GRID FACTOR=0.999964300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY

REVISIONS
DESIGN
DESIGNED BY: SAE — DATE: August 16, 2023
DRAWN BY: LRT — DATE: August 16, 2023
DWG NAME: Sht 3 4 R.dwg — PROJ #: R315530.01
CHECKED BY: SAE — DATE: August 16, 2023

MESA DEL SOL
MONTAGE 7

TITLE:
GRADING PLAN

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	3	11

August 16, 2023

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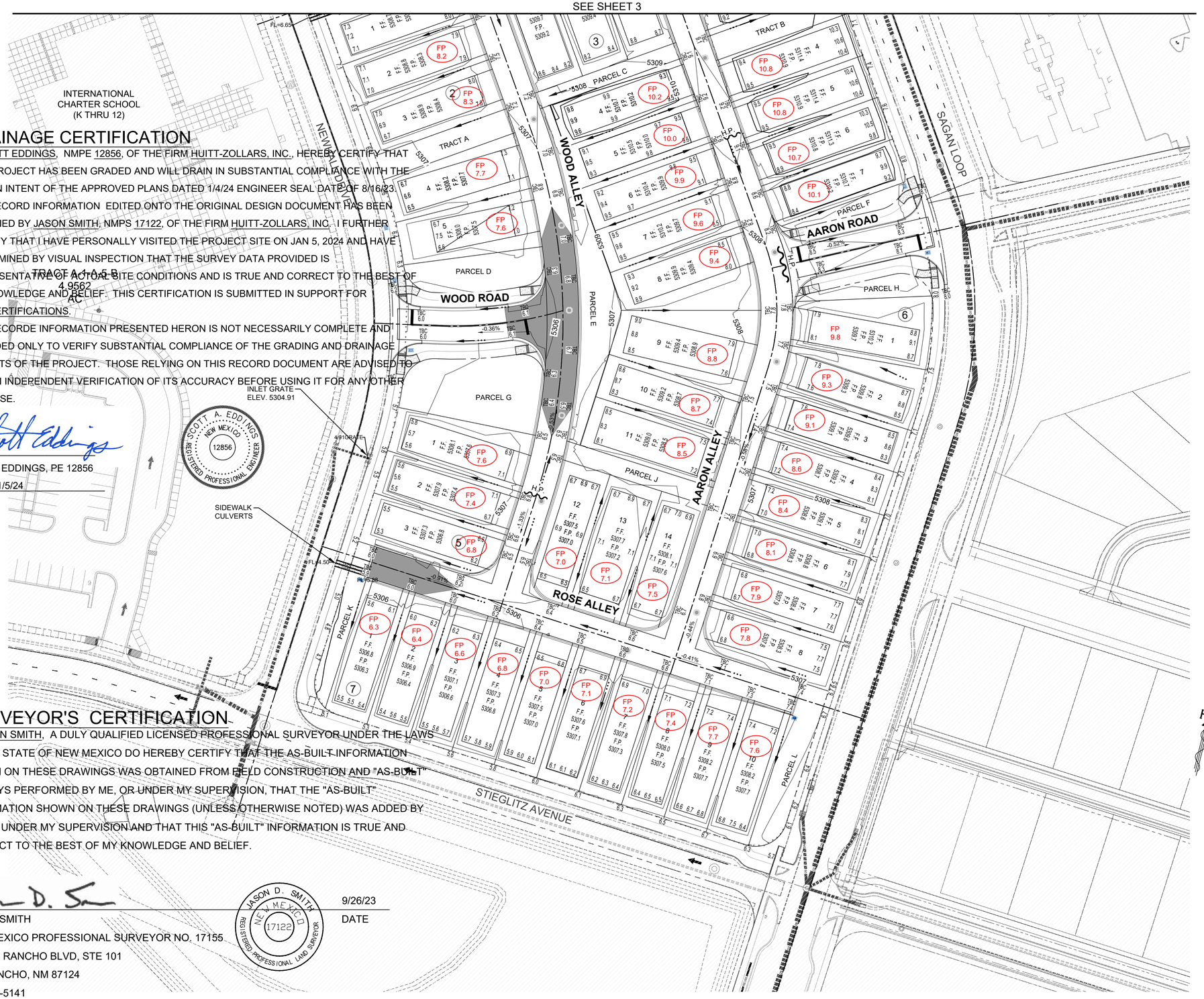
SEE SHEET 3



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SCOTT EDDINGS, PE 12856

DATE 1/5/24

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER

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JASON SMITH

NEW MEXICO PROFESSIONAL SURVEYOR NO. 17155

333 RIO RANCHO BLVD, STE 101

RIO RANCHO, NM 87124

505-892-5141

JASON D. SMITH NEW MEXICO 17122 REGISTERED PROFESSIONAL LAND SURVEYOR

9/26/23

DATE

Plotted: 12/6/2023 4:45:06 AM, By:Eddings, Scott
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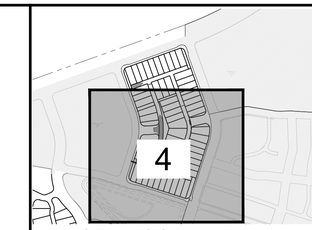

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Designed By:

HUITT ZOLLARS

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FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER

8/16/23

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: SAE	DATE: August 16, 2023
DRAWN BY: LRT	DATE: August 16, 2023
DWG NAME: Sht 3 4 R.dwg	PROJ #: R315530.01
CHECKED BY: SAE	DATE: August 16, 2023

MESA DEL SOL MONTAGE 7

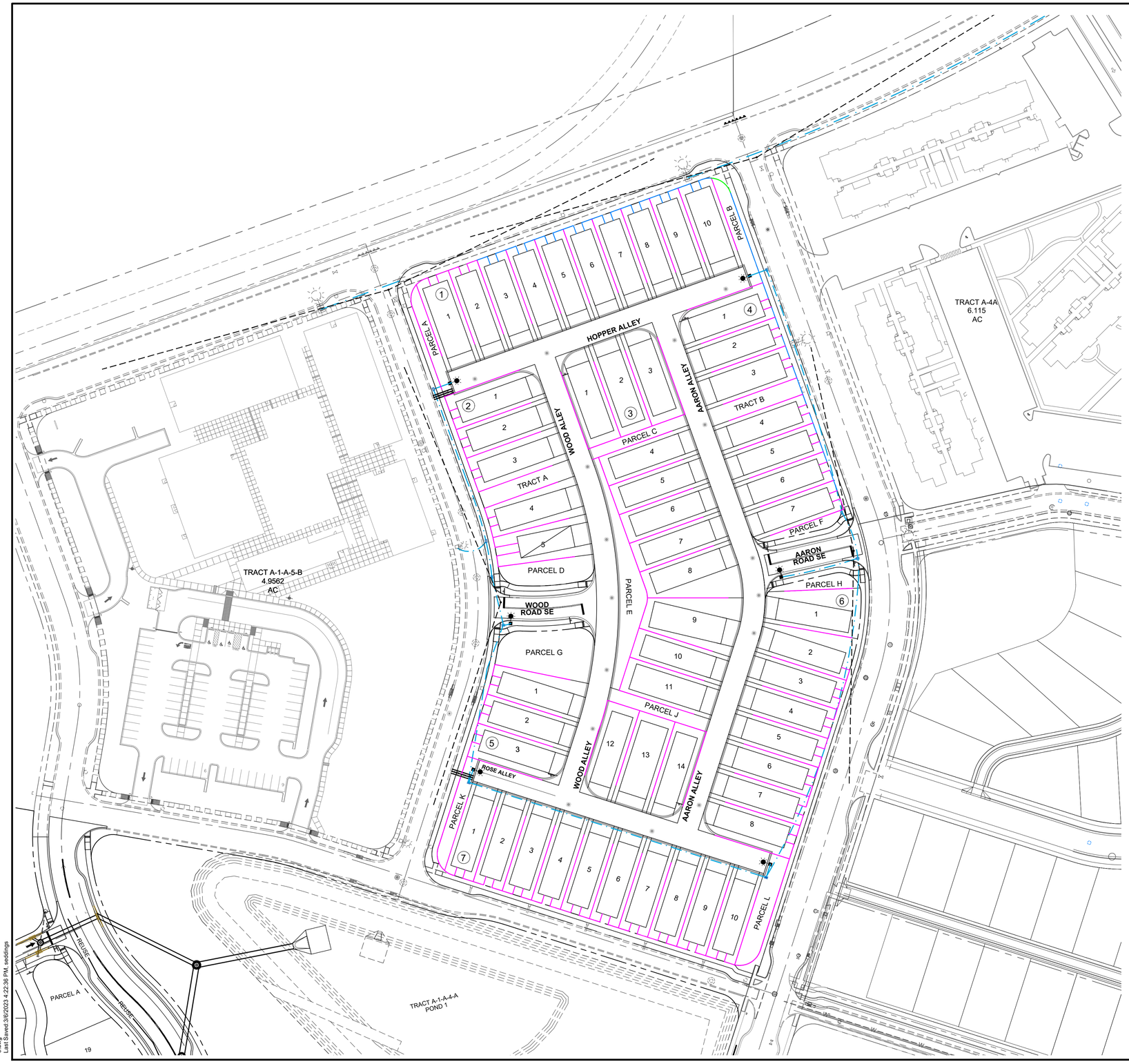
TITLE:

GRADING PLAN

August 16, 2023

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	4	11



GENERAL NOTES

1. THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.

2. RETAINING WALLS ARE SPECIFIED WHENEVER THE DIFFERENTIAL IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES). ELEVATION DIFFERENCES OF LESS THAN 1.5 FT (2 CMU EXPOSED COURSES) SHALL BE INCLUDED IN THE COST OF THE PRIVACY WALL CONSTRUCTION UNLESS WALL IS PART OF PERIMETER WALL.

3. PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.

4. FINAL TYPE AND HEIGHTS OF CMU PERIMETER WALL WILL BE PROVIDED BY THE OWNER AT TIME OF BID PROPOSAL. INTERIOR PRIVACY WALLS WILL BE CONSTRUCTED BY HOME BUILDER.

5. 2 TURNED BLOCKS ARE TO BE PROVIDED ALONG PERIMETER WALLS AT THE CORNERS WHERE LOTS DRAIN TO THE REAR.

6. ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8

.

7. BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.

8. CONTRACTOR SHALL APPLY ANTI-GRAFFITI COATINGS TO ALL PERIMETER WALLS. CONTRACTOR SHALL USE PROSOCO DEFACER ERASER OR APPROVED EQUIVALENT.

9. ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.

10 SEE PLAT FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

SIGHT DISTANCE LEGEND

- - - - - - - INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
- TYPE B (2'-4')
- TYPE C (4'-6')

TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

0 30' 60'
SCALE: 1" = 60'

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	DATE
INSPECTED & ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS COMPLETED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS

FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999964300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: SAE DATE: August 16, 2023
DRAWN BY: LRT DATE: August 16, 2023
DWG NAME: Sht 5 8 9.dwg PROJ #: R315530.01
CHECKED BY: SAE DATE: August 16, 2023

Designed By:
HUITT ZOLLARS

MESA DEL SOL
MONTAGE 7

TITLE:
WALL COMPOSITE

August 16, 2023

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	5	11

Plotted: 12/6/2023 5:11:21 AM, By: Eddings Scott
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Last Saved:3/8/2023 4:22:36 PM, eddings

GENERAL NOTES

1. THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.

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SIGHT DISTANCE LEGEND

- - - - - - - INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

TYPE A & X (0'-2')
TYPE B (2'-4')
TYPE C (4'-6')

Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

SCALE: 1" = 30'

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
AS-BUILT REVIEWS ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS COORDINATED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "S-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
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GROUND TO GRID FACTOR=0.999664300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL
SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY: SAE — DATE: JUL. 8, 2020
DRAWN BY: LRT — DATE: JUL. 8, 2020
DWG NAME: Sht 6 7.dwg — PROJ #: R311293.01
CHECKED BY: SAE — DATE: JUL. 8, 2020

Designed By: HUITT ZOLLARS

MESA DEL SOL MONTAGE 7

TITLE:

ENLARGED WALL PLAN

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	6	11

August 16, 2023

Plotted: 12/6/2023 5:18:51 AM, By: Eddings Scott
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* NOTE:

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WORK INSPECTED BY	
ACCEPTANCE BY	
FIELD VERIFICATION BY	
DRAWINGS CORRECTED BY	
MICRO-FILM INFORMATION	
RECORDED BY	
NO.	

BENCH MARKS

FOUND MONUMENT 5-R15 "2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
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SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER 8/16/23

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: SAE	DATE: JUL. 8, 2020
DRAWN BY: LRT	DATE: JUL. 8, 2020
DWG NAME: Sht 6 7.dwg	PROJ #: R311293.01
CHECKED BY: SAE	DATE: JUL. 8, 2020

Designed By: HUITT ZOLLARS

MESA DEL SOL MONTAGE 7

TITLE:

ENLARGED WALL PLAN

August 16, 2023

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	7	11

Plotted: 12/6/2023 5:20:55 AM, By:Eddings, Scott
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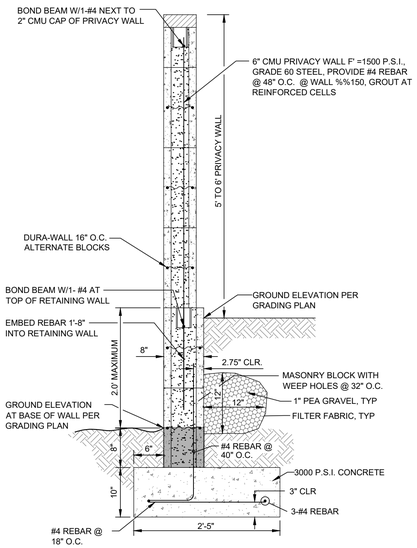
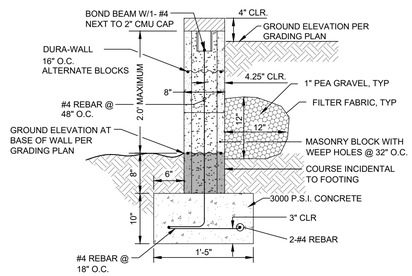
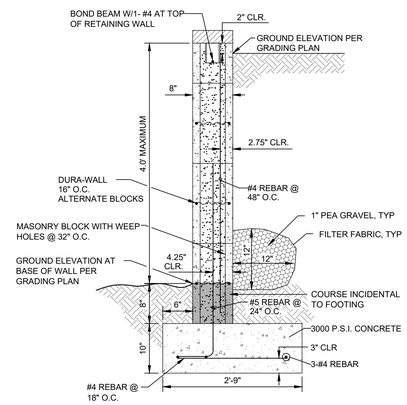


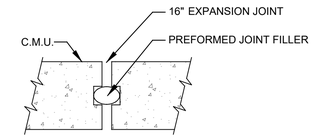
RETAINING WALL W/PRIVACY WALL (1 - 3 COURSES)
TYPE X



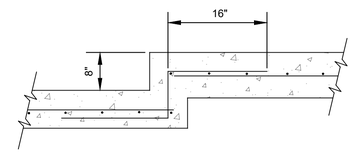
RETAINING WALL (1 - 3 COURSES)
TYPE A



RETAINING WALL (4 - 6 COURSES)
TYPE B



EXPANSION JOINT DETAIL
N.T.S.



FOOTING STEP DETAIL
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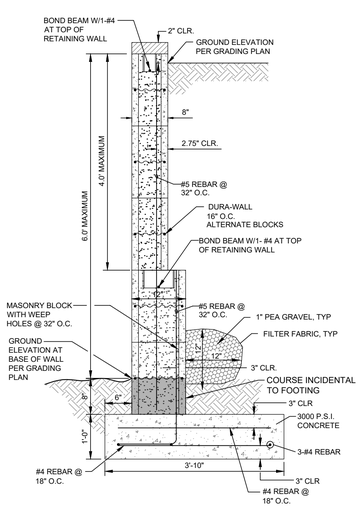

RETAINING WALL (7 -9 COURSES)
TYPE C

MASONRY WALL CONSTRUCTION NOTES:

1. RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES)
2. ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). F'M=1500 PSI
3. MORTAR SHALL BE TYPE S.
4. GROUT - F' =2000 PSI
5. CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
6. PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.
7. THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
8. ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
9. LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
10. ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
11. PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 16" O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
12. MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI.
13. WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK.
14. SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
15. REINFORCING STEEL SHALL COMFORM TO ASTM A-615, GRADE 60.
16. ALL RETAINING WALLS REPRESENTED ON THIS SHEET HAVE BEEN DESIGNED TO ACCEPT A 5' TO 6' PRIVACY WALL.
17. THE TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.
18. PROVIDE ANTI-GRAFFITI SURFACE COATING ON THE CMU WALL WHEN FACING THE PUBLIC AREAS AND RIGHT-OF-WAY LOCATIONS.

GENERAL NOTE:

1. WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.
2. ADDITIONAL COURSE MAY BE BURIED AS A RESULT OF FIELD CONDITIONS.
3. PAY ITEM IS FOR EXPOSED BLOCKS ONLY.

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "5-R15 2006"
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SURVEY INFORMATION
FIELD NOTES

NO.	DATE	BY

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY: SAE — DATE: August 16, 2023
DRAWN BY: LRT — DATE: August 16, 2023
DWG NAME: Sht 5 8 9.dwg — PROJ #: R315530.01
CHECKED BY: SAE — DATE: August 16, 2023

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Designed By:
HUITT ZOLLARS

MESA DEL SOL
MONTAGE 7

TITLE:
RETAINING WALL DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	8	11

August 16, 2023

Plotted: 12/6/2023 5:11:49 AM, By:Eddings, Scott
H:\proj\R315530.01 - Montage Unit 7 - Mesa del Sol\10 CADD & BIM\10.1 AutoCAD\SHEET SET\Grading\Sht 5 8 9.dwg
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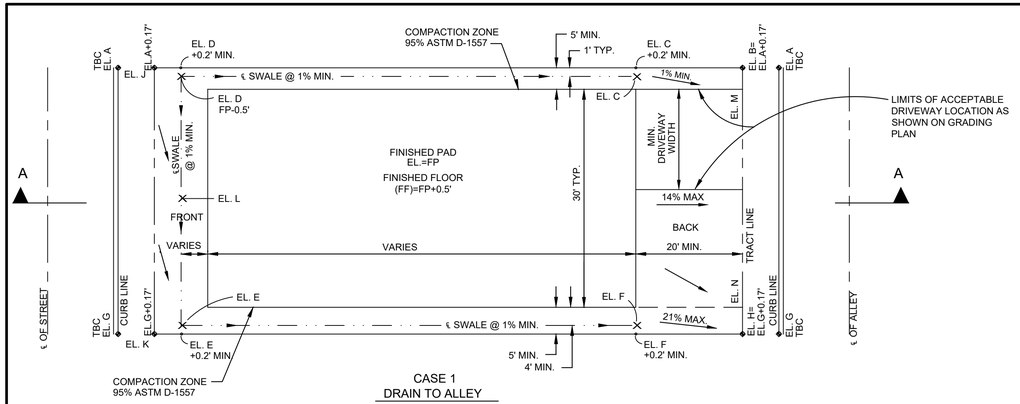
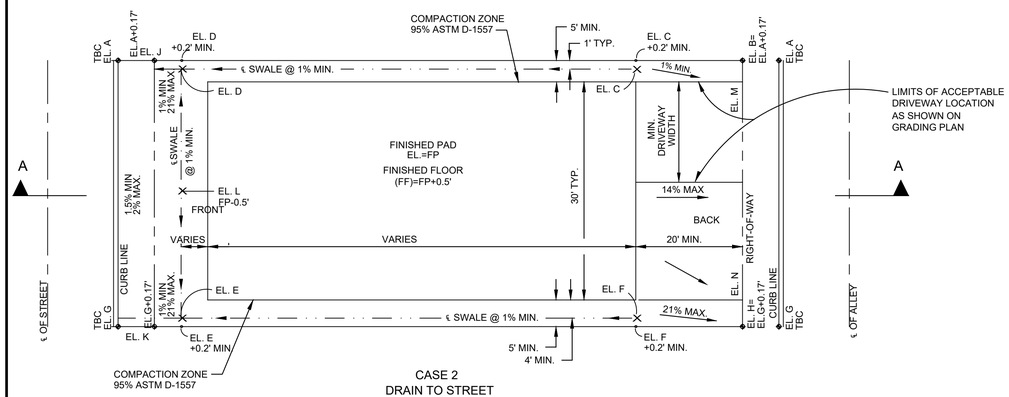


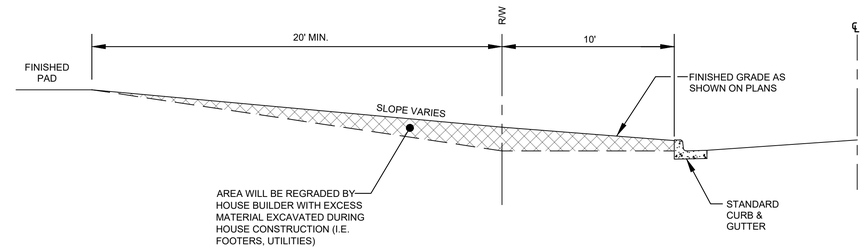
CASE 1
DRAIN TO ALLEY



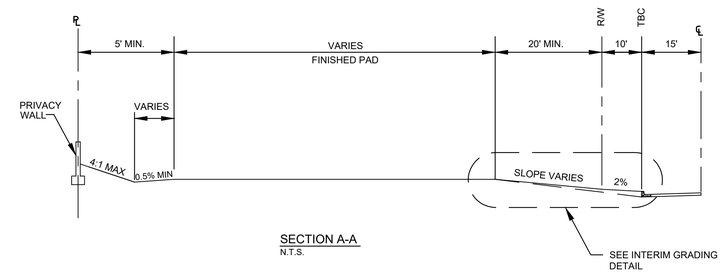
CASE 2
DRAIN TO STREET
PLAN VIEW
N.T.S.

TYPICAL LOT GRADING
N.T.S.
A

NOTE: THIS IS THE GRADING CONCEPT FOR THIS DEVELOPMENT. FOR SPECIFIC INFORMATION PLEASE SEE THE CONSTRUCTION PLANS.

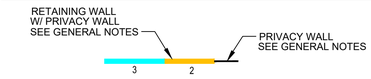


INTERIM GRADING DETAIL
N.T.S.

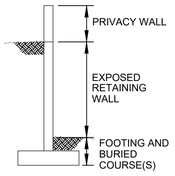


SECTION A-A
N.T.S.

LEGEND



CMU BLOCK WALL



WALL SECTION

WALL LEGEND

1 - 3 COURSES	0 TO 2 FT RETAINING HEIGHT TO BE CONSTRUCTED BY HOME BUILDER, EXCEPT FOR PERIMETER WALLS
4 - 6 COURSES	2.1 TO 4.0 FT RETAINING HEIGHT
7 - 9 COURSES	4.1 TO 6.0 FT RETAINING HEIGHT
10 - 12 COURSES	6.1 TO 8.0 FT RETAINING HEIGHT
13 - 14 COURSES	8.1 TO 10.0 FT RETAINING HEIGHT
15 - 17 COURSES	10.1 TO 12.0 FT RETAINING HEIGHT

FIGURE 7.4.93 **Intersection Sight Distance**

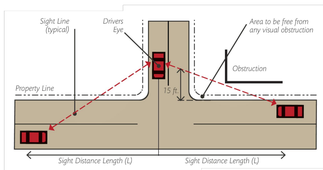


TABLE 7.4.65 **Minimum Intersection Sight Distance**

Speed Limit (MPH)	Minimum Intersection Sight Distance					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12 ft. Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230 ft.	200 ft.	240 ft.	200 ft.	250 ft.	200 ft.
25	280 ft.	240 ft.	300 ft.	240 ft.	320 ft.	240 ft.
30	340 ft.	290 ft.	360 ft.	290 ft.	380 ft.	290 ft.
35	390 ft.	340 ft.	420 ft.	340 ft.	440 ft.	340 ft.
40	450 ft.	390 ft.	480 ft.	390 ft.	500 ft.	390 ft.
45	500 ft.	430 ft.	530 ft.	430 ft.	570 ft.	430 ft.
50	560 ft.	480 ft.	590 ft.	480 ft.	630 ft.	480 ft.

7-4(I)(5)(iv) Mini Clear Sight Triangle

Driveways need to maintain the mini clear sight triangle as shown in *FIGURE 7.4.94*. This triangle starts at the sidewalk and measures 11 feet on a side.

INTERSECTION CLEAR SIGHT TRIANGLE DETAIL
N.T.S.
B

NOTES

1. ALL PROPOSED IMPROVEMENTS WITHIN THE CLEAR SIGHT TRIANGLE SHALL PROVIDE AN UNOBSTRUCTED VISION AT STREET INTERSECTIONS BETWEEN 2.5 FT AND 7 FT ABOVE THE FLOW LINE.
2. IF A PRIVACY WALL IS TO BE CONSTRUCTED AROUND RIGHT- OF-WAY RETURN, THE WALL SHALL BE CONSTRUCTED ALONG THE CLEAR SIGHT TRIANGLE IF RETURN IS LOCATED WITHIN CLEAR SIGHT TRIANGLE.
3. SIGHT TRIANGLE DISTANCES SHOULD BE MEASURED ALONG CENTERLINE OF ROAD CONSTRUCTION, TYPICALLY CENTERLINE OF RIGHT-OF-WAY.
4. STOPPING SIGHT DISTANCES ARE BASED ON DESIGN CRITERIA FROM THE CITY OF RIO RANCHO DEVELOPMENT PROCESS MANUAL.
5. SIGHT TRIANGLES ARE INDICATED BASED ON DIMENSIONS PROVIDED IN DETAIL OR MODIFIED AS INDICATED ON THE PLANS.

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAKED BY	
NEW WORK ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999964300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	

DESIGNED BY: SAE DATE: August 16, 2023
DRAWN BY: LRT DATE: August 16, 2023
DWG NAME: Sht 5 8 9.dwg PROJ #: R315530.01
CHECKED BY: SAE DATE: August 16, 2023

Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:
HUITT ZOLLARS

MESA DEL SOL
MONTAGE 7

TITLE:
GRADING DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	9	11

August 16, 2023

Plotted: 12/6/2023 5:12:12 AM, By:Eddings, Scott
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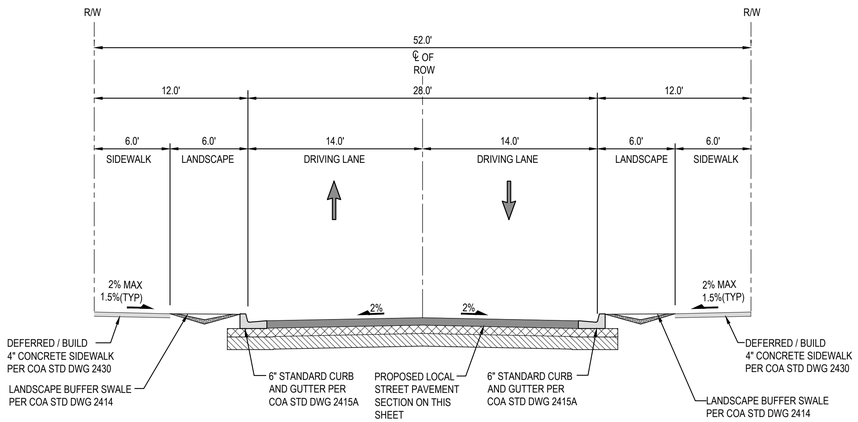
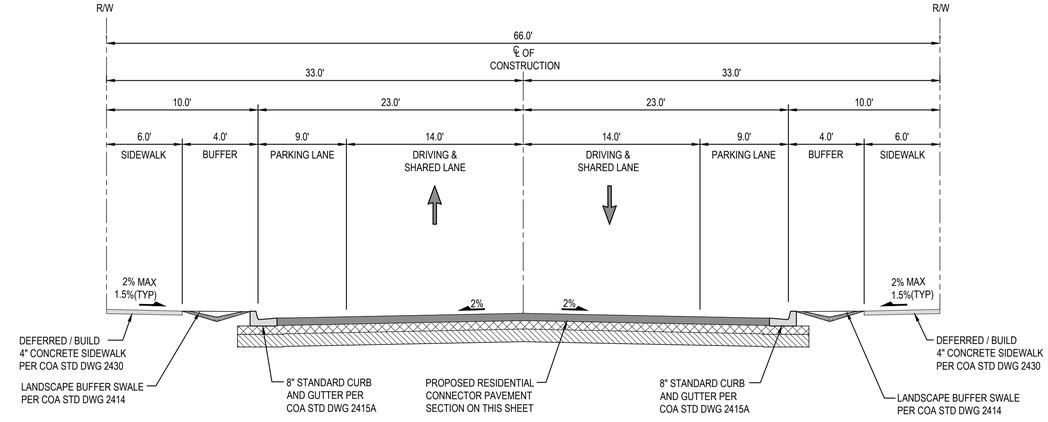


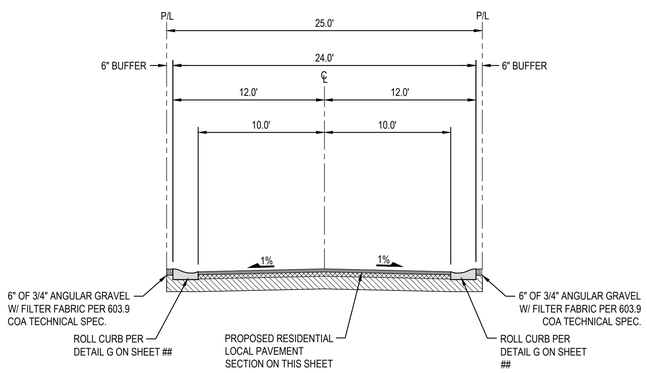
52' ROW (A)

SCALE: 1"=6'



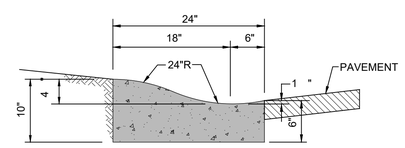
66' ROW (B)

SCALE: 1"=6'



ALLEY TRACT (PRIVATE) - 25' ROW (C)

SCALE: 1"=6'



MOUNTABLE CURB (D)

N.T.S.

GENERAL NOTES:

1. ANY DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY FOR PRIOR APPROVAL.
2. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE CITY.
3. SUBGRADE SHALL BE COMPACTED TO 95% ASTM D 1557. MIN.
4. CURB AND GUTTER SHALL BE PORTLAND CEMENT CONCRETE. PORTLAND CEMENT CONCRETE SHALL BE 3000 PSI @ 28 DAYS. AIR ENTRAINMENT SHALL BE A 5% MINIMUM TO 9% MAXIMUM. A CLASS F FLY ASH ADDITIVE IS ALLOWED UP TO 20% BY WEIGHT.
5. FOR CONCRETE CURB AND GUTTER

CONSTRUCT TRANSVERSE JOINTS AS FOLLOWS:

- TOOLED CONTRACTION JOINTS AT 5' INTERVALS

- 1/2" PRE-MOLDED BITUMINOUS EXPANSION

6. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
7. 8" CURB AND GUTTER AND CUTOFF WALL IS NOT FOR USE IN NEW RESIDENTIAL DEVELOPMENT. USE MUST BE PREAPPROVED BY THE CITY.
8. ASPHALT PLACEMENT SHALL BE EVEN WITH THE LIP OF GUTTER, BUT IN NO CASE SHALL IT EXCEED 1/4". ASPHALT PLACED LOWER THAN LIP OF GUTTER SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.

AS BUILT INFORMATION
CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC.
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999964300
MAPPING ANGLE=0°12'47.68"

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

ENGINEER'S SEAL
SCOTT A. EDDINGS NEW MEXICO 12856 PROFESSIONAL ENGINEER
8/16/23

NO.	DATE	REMARKS	BY

REVISIONS
DESIGN
DESIGNED BY: SAE — DATE: August 16, 2023
DRAWN BY: LRT — DATE: August 16, 2023
DWG NAME: Sht 10 11.dwg — PROJ #: R315530.01
CHECKED BY: SAE — DATE: August 16, 2023

Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:
HUITT ZOLLARS

MESA DEL SOL
MONTAGE 7

TITLE:
ROADWAY TYPICAL SECTIONS

August 16, 2023

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	10	11

Plotted: 12/6/2023 5:22:09 AM, By:Eddings, Scott
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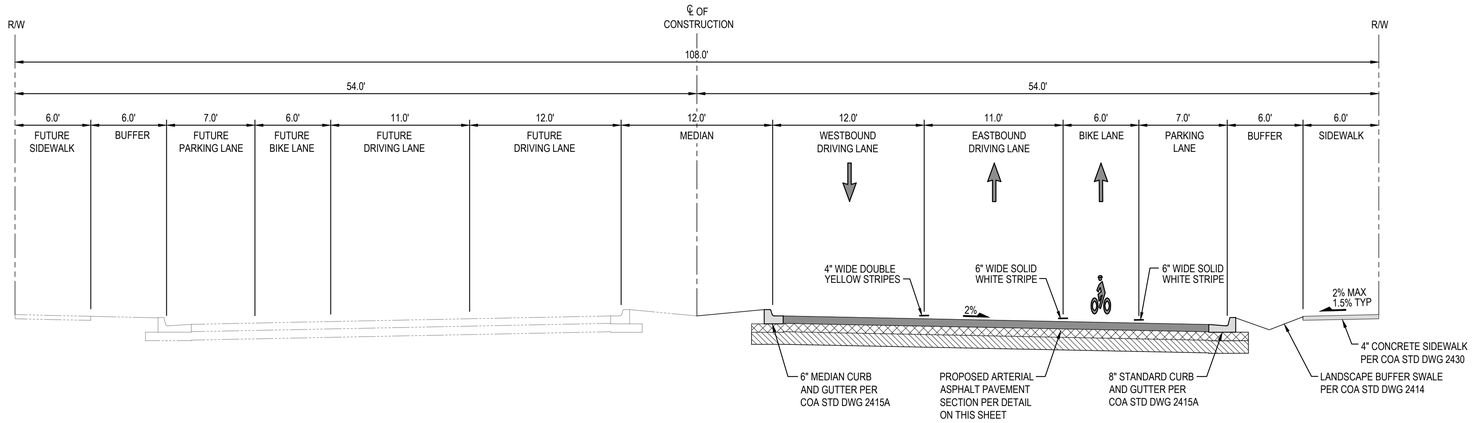

BOBBY FOSTER BLVD

STA. 21+44.90 TO STA. 30+00.00
LOOKING EAST

SCALE: 1"=6'

A

AS BUILT INFORMATION

CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION

RECORDED BY — DATE
NO.

BENCH MARKS

FOUND MONUMENT "5-R15 2006"
STANDARD 3 1/4" ALUMINUM DISC
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N= 1,452,149.458
E= 1,529,053.738
ELEV=5306.674 (NAVD 1988)
GROUND TO GRID FACTOR=0.999964300
MAPPING ANGLE=-0°12'47.60"

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

ENGINEER'S SEAL

SCOTT A. EDDINGS NEW MEXICO 12856 REGISTERED PROFESSIONAL ENGINEER
9/6/17

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY: SAE — DATE: SEPT. 6, 2017
DRAWN BY: LRT — DATE: SEPT. 6, 2017
DWG NAME: Sht 10 11.dwg — PROJ #: R304101.01
CHECKED BY: SAE — DATE: SEPT. 6, 2017

811 Know what's below. Call before you dig.
TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR 260-1990

Designed By:
HUITT ZOLLARS

MESA DEL SOL MONTAGE 7

TITLE:

ROADWAY TYPICAL SECTIONS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	11	11

Plotted: 12/6/2023 5:22:45 AM, By:Eddings, Scott
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Pad Verification
Cut Sheet

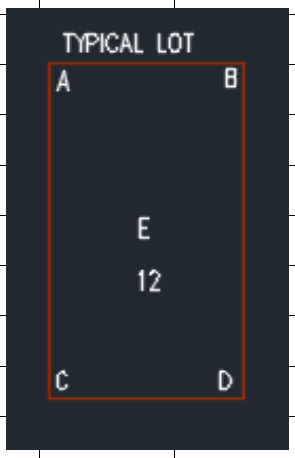
Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

Allowable tolerance is 0.2' +/- Shaded values indicate pads which need adjustment

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill
1	1	A	5308.9	5309.0	-0.1
		B	5308.9	5309.0	-0.1
		C	5309.0	5309.0	0.0
		D	5308.9	5309.0	-0.1
		E	5308.9	5309.0	-0.1
	2	A	5309.2	5309.3	-0.2
		B	5309.3	5309.3	0.0
		C	5309.4	5309.3	0.1
		D	5309.4	5309.3	0.1
		E	5309.2	5309.3	-0.1
	3	A	5309.5	5309.5	0.0
		B	5309.6	5309.5	0.1
		C	5309.4	5309.5	-0.1
		D	5309.3	5309.5	-0.2
		E	5309.5	5309.5	-0.1
	4	A	5309.7	5309.7	0.0
		B	5309.7	5309.7	0.0
		C	5309.7	5309.7	0.0
		D	5309.7	5309.7	0.0
		E	5309.7	5309.7	0.0
	5	A	5309.9	5309.9	0.0
		B	5309.9	5309.9	0.0
		C	5309.8	5309.9	-0.1
		D	5309.9	5309.9	0.0
		E	5309.7	5309.9	-0.2
	6	A	5310.0	5310.0	0.0
		B	5310.0	5310.0	0.0
		C	5309.9	5310.0	-0.1
		D	5309.9	5310.0	-0.1
		E	5309.9	5310.0	-0.1



Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
	7	A	5310.2	5310.2	0.0			
		B	5310.1	5310.2	-0.1			
		C	5310.0	5310.2	-0.2			
		D	5310.2	5310.2	0.0			
		E	5310.2	5310.2	0.0			
	8	A	5310.3	5310.4	-0.1			
		B	5310.3	5310.4	-0.1			
		C	5310.2	5310.4	-0.2			
		D	5310.3	5310.4	-0.1			
		E	5310.5	5310.4	0.1			
	9	A	5310.4	5310.5	-0.1			
		B	5310.3	5310.5	-0.2			
		C	5310.4	5310.5	-0.1			
		D	5310.4	5310.5	-0.1			
		E	5310.4	5310.5	-0.1			
	10	A	5310.7	5310.7	0.0			
		B	5310.7	5310.7	0.0			
		C	5310.6	5310.7	-0.1			
		D	5310.7	5310.7	0.0			
		E	5310.6	5310.7	-0.1			
2	1	A	5308.2	5308.2	0.0			
		B	5308.1	5308.2	-0.1			
		C	5308.3	5308.2	0.1			
		D	5308.3	5308.2	0.1			
		E	5308.2	5308.2	-0.1			
	2	A	5308.3	5308.3	0.0			
		B	5308.2	5308.3	-0.2			
		C	5308.3	5308.3	0.0			
		D	5308.4	5308.3	0.1			
		E	5308.2	5308.3	-0.1			
	3	A	5308.3	5308.4	-0.1			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		B	5308.4	5308.4	0.0			
		C	5308.4	5308.4	0.0			
		D	5308.4	5308.4	0.0			
		E	5308.4	5308.4	0.0			
	4	A	5307.6	5307.7	-0.1			
		B	5307.7	5307.7	0.0			
		C	5307.7	5307.7	0.0			
		D	5307.7	5307.7	0.0			
		E	5307.7	5307.7	0.0			
	5	A	5307.5	5307.5	0.0			
		B	5307.6	5307.5	0.1			
		C	5307.6	5307.5	0.1			
		D	5307.5	5307.5	0.0			
		E	5307.5	5307.5	0.0			
3	1	A	5309.3	5309.2	0.1			
		B	5309.1	5309.2	-0.1			
		C	5309.2	5309.2	0.0			
		D	5309.2	5309.2	0.0			
		E	5309.3	5309.2	0.1			
	2	A	5309.5	5309.4	0.1			
		B	5309.4	5309.4	0.0			
		C	5309.3	5309.4	-0.1			
		D	5309.4	5309.4	0.0			
		E	5309.5	5309.4	0.1			
	3	A	5309.6	5309.6	0.0			
		B	5309.5	5309.6	-0.1			
		C	5309.6	5309.6	0.0			
		D	5309.5	5309.6	-0.1			
		E	5309.6	5309.6	0.0			
	4	A	5310.2	5310.2	0.0			
		B	5310.2	5310.2	0.0			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		C	5310.1	5310.2	-0.1			
		D	5310.2	5310.2	0.0			
		E	5310.1	5310.2	-0.1			
	5	A	5309.9	5310.0	-0.1			
		B	5310.0	5310.0	0.0			
		C	5310.1	5310.0	0.1			
		D	5310.0	5310.0	0.0			
		E	5309.9	5310.0	-0.1			
	6	A	5309.8	5309.9	-0.1			
		B	5309.9	5309.9	0.0			
		C	5310.0	5309.9	0.1			
		D	5309.9	5309.9	0.0			
		E	5309.9	5309.9	0.0			
	7	A	5309.6	5309.7	-0.1			
		B	5309.7	5309.7	0.0			
		C	5309.6	5309.7	-0.1			
		D	5309.8	5309.7	0.1			
		E	5309.6	5309.7	-0.1			
	8	A	5309.3	5309.4	-0.1			
		B	5309.4	5309.4	0.0			
		C	5309.4	5309.4	0.0			
		D	5309.5	5309.4	0.1			
		E	5309.4	5309.4	0.0			
	9	A	5308.8	5308.9	-0.1			
		B	5308.9	5308.9	0.0			
		C	5308.8	5308.9	-0.1			
		D	5308.9	5308.9	0.0			
		E	5308.9	5308.9	0.0			
	10	A	5308.6	5308.7	-0.1			
		B	5308.7	5308.7	0.0			
		C	5308.6	5308.7	-0.1			
		D	5308.7	5308.7	0.0			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		E	5308.7	5308.7	0.0			
	11	A	5308.4	5308.5	-0.1			
		B	5308.5	5308.5	0.0			
		C	5308.5	5308.5	-0.1			
		D	5308.6	5308.5	0.1			
		E	5308.5	5308.5	0.0			
	12	A	5307.0	5307.0	-0.1			
		B	5307.0	5307.0	0.0			
		C	5307.1	5307.0	0.1			
		D	5307.0	5307.0	0.0			
		E	5307.1	5307.0	0.1			
	13	A	5307.2	5307.2	0.0			
		B	5307.1	5307.2	-0.1			
		C	5307.2	5307.2	0.0			
		D	5307.1	5307.2	-0.1			
		E	5307.2	5307.2	0.0			
	14	A	5307.5	5307.6	-0.1			
		B	5307.6	5307.6	0.0			
		C	5307.5	5307.6	-0.1			
		D	5307.6	5307.6	0.0			
		E	5307.6	5307.6	0.0			
4	1	A	5310.2	5310.2	-0.1			
		B	5310.2	5310.2	0.0			
		C	5310.1	5310.2	-0.1			
		D	5310.1	5310.2	-0.1			
		E	5310.1	5310.2	-0.1			
	2	A	5310.5	5310.5	0.0			
		B	5310.6	5310.5	0.1			
		C	5310.4	5310.5	-0.1			
		D	5310.4	5310.5	-0.1			
		E	5310.4	5310.5	-0.1			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
	3	A	5310.6	5310.6	0.0			
		B	5310.6	5310.6	0.0			
		C	5310.5	5310.6	-0.1			
		D	5310.5	5310.6	-0.1			
		E	5310.5	5310.6	-0.1			
	4	A	5310.8	5310.9	-0.1			
		B	5310.8	5310.9	-0.1			
		C	5310.8	5310.9	-0.1			
		D	5310.9	5310.9	0.0			
		E	5310.8	5310.9	-0.1			
	5	A	5310.8	5310.9	-0.1			
		B	5310.8	5310.9	-0.1			
		C	5310.9	5310.9	0.0			
		D	5310.7	5310.9	-0.2			
		E	5310.8	5310.9	-0.1			
	6	A	5310.8	5310.8	-0.1			
		B	5310.7	5310.8	-0.1			
		C	5310.7	5310.8	-0.1			
		D	5310.7	5310.8	-0.1			
		E	5310.8	5310.8	0.0			
	7	A	5310.3	5310.2	0.1			
		B	5310.1	5310.2	-0.1			
		C	5310.2	5310.2	-0.1			
		D	5310.1	5310.2	-0.1			
		E	5310.1	5310.2	-0.1			
5	1	A	5307.6	5307.6	0.0			
		B	5307.6	5307.6	0.0			
		C	5307.5	5307.6	-0.1			
		D	5307.6	5307.6	0.0			
		E	5307.5	5307.6	-0.1			
	2	A	5307.4	5307.4	0.0			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		B	5307.5	5307.4	0.1			
		C	5307.3	5307.4	-0.1			
		D	5307.4	5307.4	0.0			
		E	5307.4	5307.4	0.0			
	3	A	5306.8	5306.8	0.0			
		B	5306.8	5306.8	0.0			
		C	5306.8	5306.8	0.0			
		D	5306.8	5306.8	0.0			
		E	5306.7	5306.8	-0.1			
6	1	A	5309.7	5309.7	0.0			
		B	5309.8	5309.7	0.1			
		C	5309.8	5309.7	0.1			
		D	5309.7	5309.7	0.0			
		E	5309.7	5309.7	-0.1			
	2	A	5309.4	5309.3	0.1			
		B	5309.3	5309.3	0.0			
		C	5309.3	5309.3	0.0			
		D	5309.2	5309.3	-0.1			
		E	5309.3	5309.3	0.0			
	3	A	5309.1	5309.1	0.0			
		B	5309.1	5309.1	0.0			
		C	5309.1	5309.1	0.0			
		D	5309.0	5309.1	-0.1			
		E	5309.1	5309.1	0.0			
	4	A	5308.8	5308.7	0.1			
		B	5308.7	5308.7	-0.1			
		C	5308.6	5308.7	-0.1			
		D	5308.6	5308.7	-0.1			
		E	5308.6	5308.7	-0.1			
	5	A	5308.4	5308.4	0.0			
		B	5308.4	5308.4	0.0			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		C	5308.3	5308.4	-0.1			
		D	5308.4	5308.4	0.0			
		E	5308.3	5308.4	-0.1			
	6	A	5308.0	5308.0	0.0			
		B	5308.0	5308.0	0.0			
		C	5308.1	5308.0	0.1			
		D	5308.0	5308.0	0.0			
		E	5308.0	5308.0	0.0			
	7	A	5307.9	5307.9	0.0			
		B	5307.9	5307.9	0.0			
		C	5308.0	5307.9	0.1			
		D	5307.9	5307.9	0.0			
		E	5307.8	5307.9	-0.1			
	8	A	5307.8	5307.8	0.0			
		B	5307.8	5307.8	0.0			
		C	5307.9	5307.8	0.1			
		D	5307.8	5307.8	0.0			
		E	5307.6	5307.8	-0.2			
7	1	A	5306.3	5306.3	0.0			
		B	5306.3	5306.3	0.0			
		C	5306.2	5306.3	-0.1			
		D	5306.3	5306.3	0.0			
		E	5306.2	5306.3	-0.1			
	2	A	5306.5	5306.4	0.1			
		B	5306.4	5306.4	0.0			
		C	5306.4	5306.4	0.0			
		D	5306.4	5306.4	0.0			
		E	5306.2	5306.4	-0.2			
	3	A	5306.6	5306.6	0.0			
		B	5306.6	5306.6	0.0			
		C	5306.6	5306.6	0.0			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
		D	5306.5	5306.6	-0.1			
		E	5306.6	5306.6	-0.1			
	4	A	5306.9	5306.8	0.1			
		B	5306.8	5306.8	0.0			
		C	5306.8	5306.8	-0.1			
		D	5306.7	5306.8	-0.1			
		E	5306.8	5306.8	0.0			
	5	A	5307.0	5307.0	0.0			
		B	5306.9	5307.0	-0.1			
		C	5307.0	5307.0	0.0			
		D	5306.8	5307.0	-0.2			
		E	5306.9	5307.0	-0.1			
	6	A	5307.2	5307.1	0.0			
		B	5307.1	5307.1	0.0			
		C	5307.1	5307.1	0.0			
		D	5307.1	5307.1	0.0			
		E	5307.1	5307.1	0.0			
	7	A	5307.2	5307.3	-0.1			
		B	5307.2	5307.3	-0.1			
		C	5307.2	5307.3	-0.1			
		D	5307.2	5307.3	-0.1			
		E	5307.2	5307.3	-0.1			
	8	A	5307.4	5307.5	-0.1			
		B	5307.5	5307.5	0.0			
		C	5307.4	5307.5	-0.1			
		D	5307.6	5307.5	0.1			
		E	5307.5	5307.5	0.0			
	9	A	5307.7	5307.7	0.0			
		B	5307.7	5307.7	0.0			
		C	5307.7	5307.7	0.0			
		D	5307.7	5307.7	0.0			
		E	5307.5	5307.7	-0.2			

Pad Verification
Cut Sheet

Job Number R315530.01

Date:08/28/23

Project: Mesa Del Sol Montage 7

BLOCK	LOT #	Spot Elev	Pad Elev	Plan Grade	Cut/Fill			
	10	A	5307.5	5307.7	-0.2			
		B	5307.6	5307.7	-0.1			
		C	5307.7	5307.7	0.0			
		D	5307.6	5307.7	-0.1			
		E	5307.8	5307.7	0.1			