

PROPERTY

THE PROJECT SITE IS WITHIN TRACT A-1-A-5-C MESA DEL SOL INNOVATION PARK. TRACT A-1-A-5-C IS APPROXIMATELY 7.4572 ACRES AND PART OF THE LEVEL B MESA DEL SOL MASTER PLAN.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0555H DATED AUGUST 16, 2012 SHOWS THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE X.

EXISTING DRAINAGE PLANS

- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD IMPROVEMENTS
 - DRAINAGE STUDY FOR BOBBY FOSTER ROAD UNIVERSITY BOULEVARD DATED NOVEMBER 2020
 - DRB - PR-2020-004138
 - CITY PROJECT NUMBER 393581 - CONSTRUCTION PLANS APPROVED SEPTEMBER 20, 2021
- BOBBY FOSTER ROAD AND UNIVERSITY BOULEVARD AMENDED DRAINAGE STUDY - MARCH 2023
 - CHANGE POND 1 TO RETENTION

EXISTING CONDITIONS

THE SITE IS UNDISTURBED SURROUNDED ON ALL SIDES BY FULLY IMPROVED ROADS, DRAINAGE AND UTILITIES. THE EXISTING DRAINAGE INFRASTRUCTURE WITHIN THE ADJACENT ROADWAYS (BOBBY FOSTER ROAD, SAGAN LOOP, STIEGLITZ AVENUE AND NEWHALL DRIVE) WAS CONSTRUCTED AS PART OF CPN 393581 AND SIZED TO ACCEPT DEVELOPED FLOWS FROM TRACT A-1-A-5-C.

PROPOSED MONTAGE 7 DRAINAGE STUDY

MONTAGE 7 SUBDIVISION AT MESA DEL SOL DRAINAGE SUBMITTED PREPARED BY HUITT-ZOLLARS AND SUBMITTED TO CITY OF ALBUQUERQUE FOR APPROVAL MARCH 5, 2023.

PROPOSED IMPROVEMENTS

THIS PROJECT DEVELOPS (57) SINGLE FAMILY RESIDENTIAL LOTS, (11) PARCELS, (2) TRACTS AND (4) ALLEY TRACTS.

PROPOSED DRAINAGE CONDIITIONS

BLOCK 1 LOTS 1 THRU 10 1 DISCHARGE TO HOPPER ALLEY.
BLOCK 2 LOTS 1 THRU 5 DISCHARGE TO NEWHALL DRIVE.
BLOCK 3 LOTS 1 THRU 3 DISCHARGE TO HOPPER ALLEY.
BLOCK 3 LOTS 4 THRU 11 DISCHARGE TO AARON ALLEY.
BLOCK 3 LOTS 12 THRU 14 DISCHARGE TO ROSE ALLEY.
BLOCK 4 LOTS 1 THRU 7 DISCHARGE TO SAGAN LOOP.
BLOCK 5 LOTS 1 THRU 3 DISCHARGE TO NEWHAL DRIVE.
BLOCK 6 LOTS 1 THRU 8 DISCHARGE TO SAGAN LOOP.
BLOCK 7 LOTS 1 THRU 10 DISCHARGE TO STIEGLITZ AVENUE.
PARCELS A AND B DISCHARGE TO HOPPER ALLEY.
PARCEL C AND J DISCHARGE TO AARON ALLEY.
PARCELS D AND G DISCHARGE TO WOOD ROAD SE.
PARCEL E DISCHARGE TO WOOD ALLEY.
PARCELS F AND H DISCHARGE TO AARON ROAD SE.
PARCEL K AND L DISCHARGE TO ROSE ALLEY.

HOPPER ALLEY DISCHARGES 7.7 CFS TO NEWHALL DRIVE VIA (3) EA 24-INCH WIDE SIDEWALK CULVERTS.

AARON ALLEY DISCHARGES 2.7 CFS TO NEWHALL DRIVE VIA (3) EA 24-INCH WIDE SIDEWALK CULVERTS.

STORM WATER QUALITY

STORM WATER QUALITY IS PROVIDED WITHIN POND 1

BENCHMARK

A STANDARD CITY OF ALBUQUERQUE MONUMNET "5-R15 2006" ALUMINUM DISC. NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983)
N=1,452,149.458 U.S. SURVEY FEET
E = 1,529,053.738 U.S. SURVEY FEET
PUBLISHED ELEVATION = 5306.674 U.S. SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.999664300 DELTA ALPHA ANGLE = -0°12'47.60".

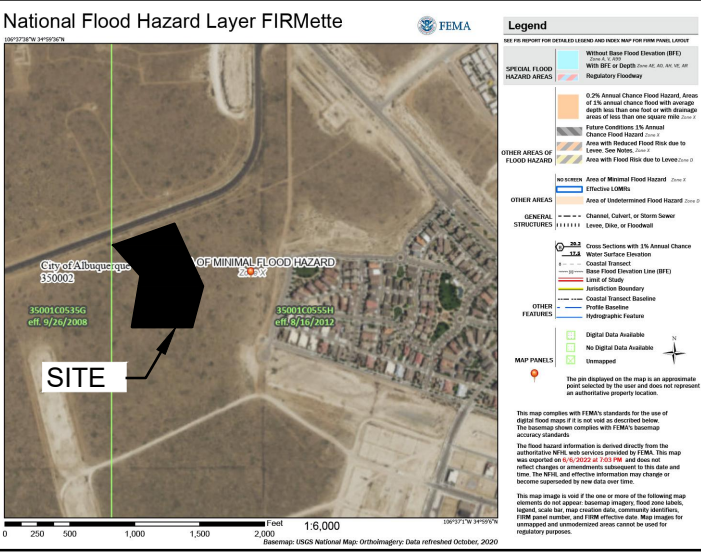
AREA OF DISTURBANCE IS APPROXIMATELY 7,5 AC

AN EROSION SEDIMENT CONTROL PLAN IS REQUIRED.

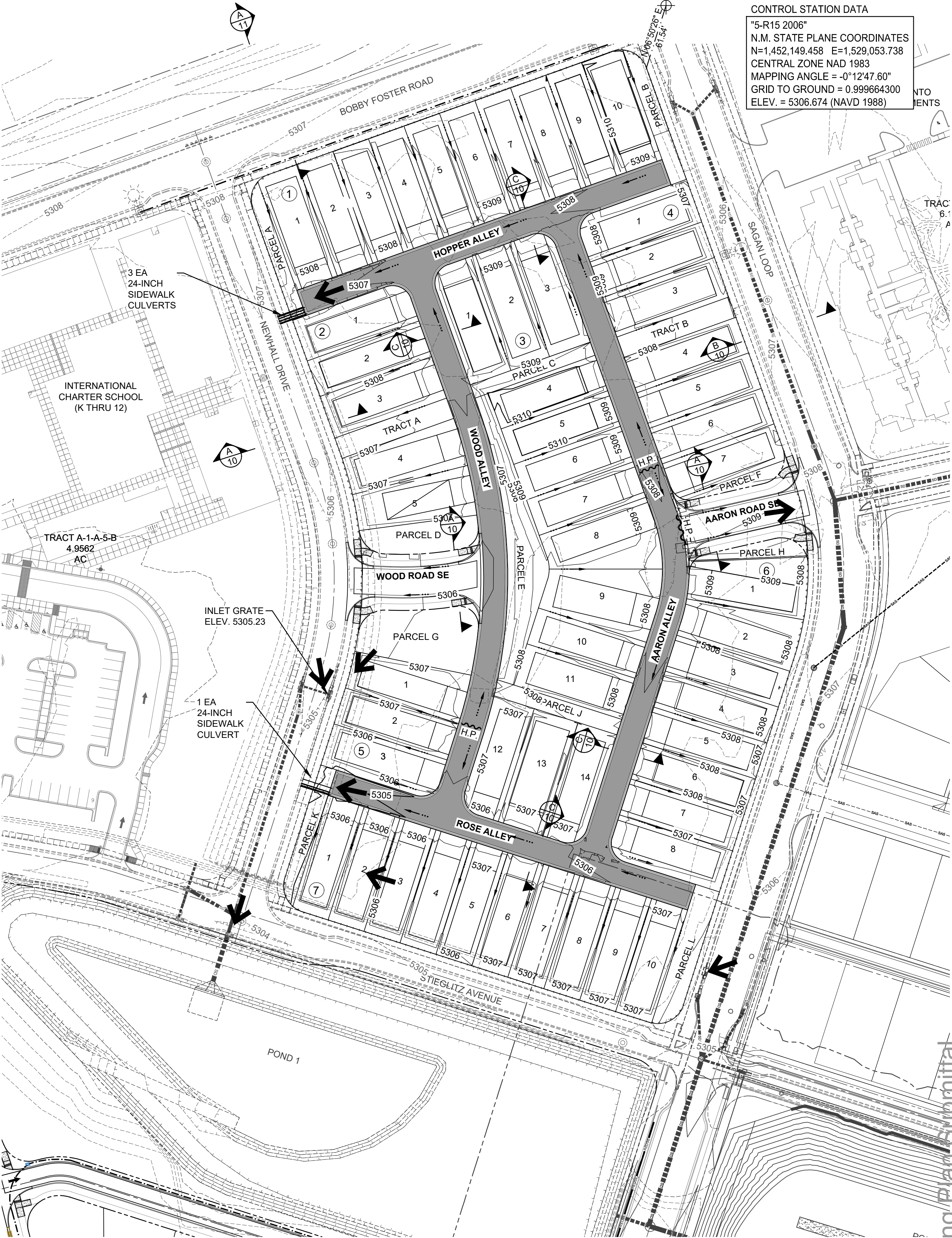
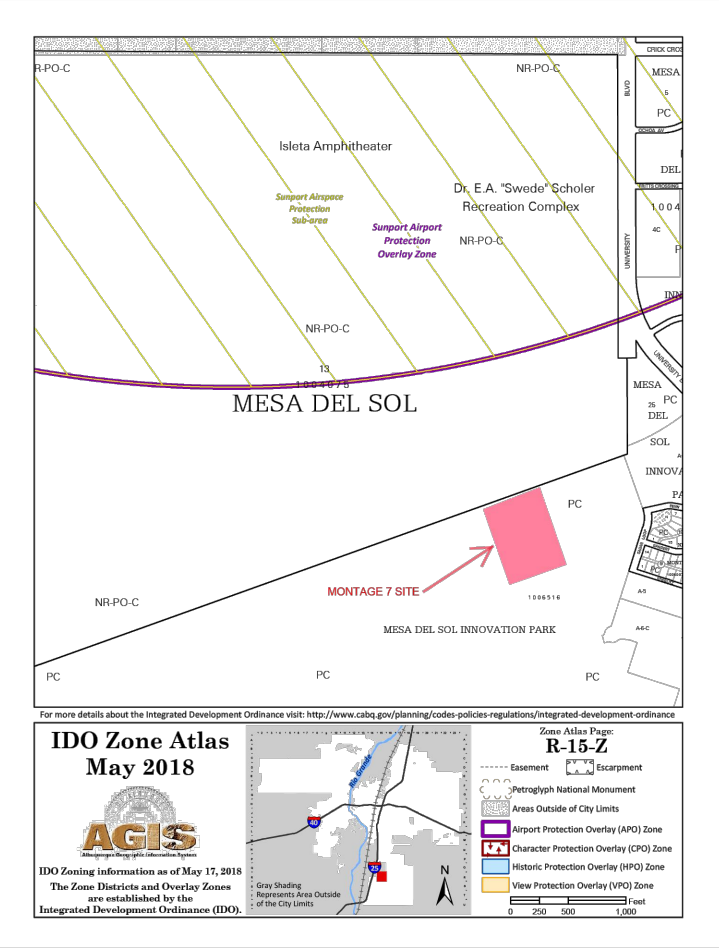
PLANIMETRIC AND TOPOGRAPHIC SURVEY

PROVIDED BY HUITT-ZOLLARS, DATED MARCH 2020 AND AUGMENTED WITH DESIGN CONTOURS AND FIELD SURVEYS FROM CPN 393581.

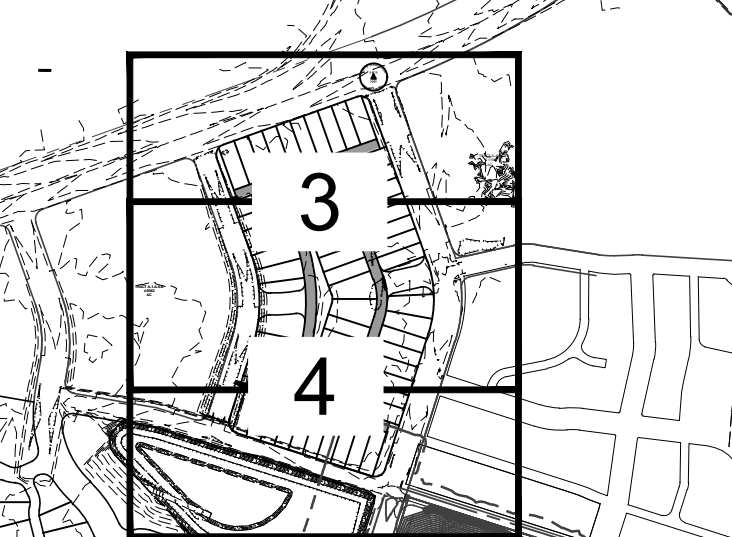
FIRMETTE



IDO ZONE MAP R-15



CONTROL STATION DATA
"5-R15 2006"
N.M. STATE PLANE COORDINATES
N=1,452,149.458 E=1,529,053.738
CENTRAL ZONE NAD 1983
MAPPING ANGLE = -0°12'47.60"
GRID TO GROUND = 0.999664300
ELEV. = 5306.674 (NAVD 1988)



GRADING SHEET INDEX

- LEGEND
- EXIST. (INDEX) CONTOUR
 - EXIST. (INTERMEDIATE) CONTOUR
 - PROP. (INDEX) CONTOUR
 - PROP. (INTERMEDIATE) CONTOUR
 - WATER BLOCK
 - NEW CURB & GUTTER
 - FUTURE CURB & GUTTER
 - XX.XXTP TOP OF PAVEMENT
 - XX.XXTC TOP OF CURB ELEVATION
 - XX.XXFL FLOW LINE ELEVATION
 - XX.XXTOC TOP OF CONCRETE
 - FLOW PATH
 - GRADING LIMITS
 - DISCHARGE LOCATION
 - H.P. HIGH POINT
 - L.P. LOW POINT

GENERAL NOTES

- ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
- SEE PLAT FOR LOT DIMENSIONS.
- SEE DETAIL 5 FOR TYPICAL LOT GRADING.
- SEE SHEETS 5-8 FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
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- CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



Designed By:

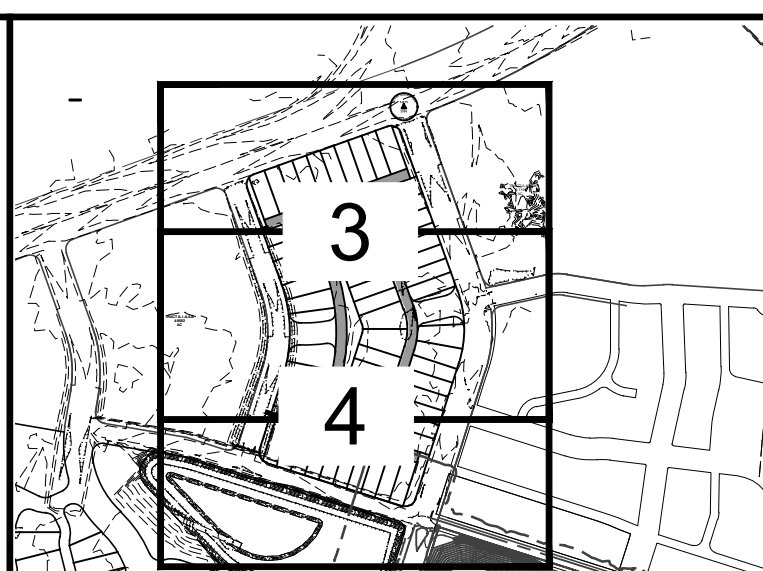
HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

MESA DEL SOL
MONTAGE 7

TITLE:

GRADING COMPOSITE

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	1	11



	EXIST. (INDEX) CONTOUR
	EXIST. (INTERMEDIATE) CONTOUR
	PROP. (INDEX) CONTOUR
	PROP. (INTERMEDIATE) CONTOUR
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	NEW CURB & GUTTER
	FUTURE CURB & GUTTER
	TOP OF PAVEMENT
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RETENTION POND VOLUMES

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
775685	R-15-Z, S-15-Z	2	11	

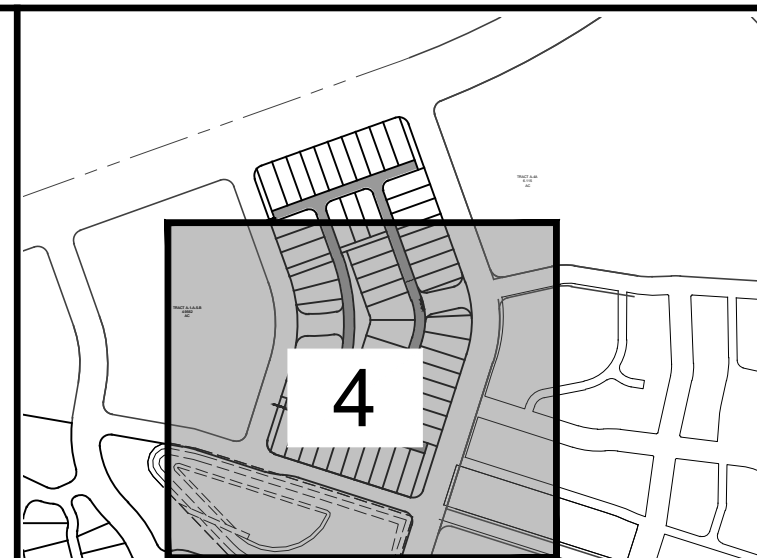
Pond 1 Rating Curve							
Elevation	Area	Average Area	Volume	Volume	Accumulative Volume	Accumulative Volume	
	sf		sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5295.0	27700		28959	28959	0.66	28959	0.66
5296.0	30217		31516	31516	0.72	60474	1.39
5297.0	32814		34136	34136	0.78	94610	2.17
5298.0	35457		62793	62793	1.44	157402	3.61
5299.0	90128		98630	98630	2.26	256032	5.88
5300.0	107131		109407	109407	2.51	365438	8.39
5301.0	111682		113987	113987	2.62	479425	11.01
5302.0	116291		118625	118625	2.72	598049	13.73
5303.0	120958		123322	123322	2.83	721371	16.56
5304.0	125686						

Pond 2a Rating Curve						
Elevation	Area	Average Area	Volume	Volum	Accumulative Volume	Accumulative Volume
	sf	sf	Cu-Ft	Acre-Ft	Cu-Ft	Acre-Ft
5293.0	38552	41048	41048	0.94	41048	0.94
5294.0	43544	46114	46114	1.06	87162	2.00
5295.0	48683	51326	51326	1.18	138488	3.18
5296.0	53969	56679	56679	1.30	195166	4.48
5297.0	59388	65141	65141	1.50	260307	5.98
5298.0	70894	76983	76983	1.77	337290	7.74
5299.0	83072	89967	89967	2.07	427257	9.81
5300.0	96861	102128	102128	2.34	529384	12.15
5301.0	107394	112037	112037	2.57	641421	14.72
5302.0	116679	121174	121174	2.78	762594	17.51
5303.0	125668	130325	130325	2.99	892919	20.50
5304.0	134982					

Basin J											W (PARTIAL)	17837						
PROPOSED EXCESS PRECIPITATION:											REQUIRED VOLUME	321568						
											ACTUAL VOLUME	892919						
Weighted E =	(	0.53	)(	0	)=	0.78	)(	3.321	)(	1.13	)(	3.321	)(	2.12	)(	5.658	/	12.3
V100-360 =	(	1.4909	in	(	1.49	)(	12.3	/	12	=	1.528	ac-ft	=	66567.194	cf			
V100-10day =	(	1.53	)(	5.66	)(	3.95	-	2.35	/	12	=	2.2825725	ac-ft	=	99428.86	cf		
Basin X																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	0.765	)(	1.13	)(	0.765	)(	2.12	)(	3.57	/	5.1
V100-360 =	(	1.7705	in	(	1.77	)(	5.1	/	12	=	0.752	ac-ft	=	32777.267	cf			
V100-10day =	(	0.75	)(	3.57	)(	3.95	-	2.35	/	12	=	1.2284825	ac-ft	=	53511.83	cf		
Basin H																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	3.6	)(	1.13	)(	3.6	)(	2.12	)(	0	/	7.2
V100-360 =	(	0.855	in	(	0.96	)(	7.2	/	12	=	0.573	ac-ft	=	24959.88	cf			
V100-10day =	(	0.57	)(	0	)(	3.95	-	2.35	/	12	=	0.573	ac-ft	=	24959.88	cf		
Basin Y																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	0.765	)(	1.13	)(	0.765	)(	2.12	)(	3.57	/	5.1
V100-360 =	(	1.7705	in	(	1.77	)(	5.1	/	12	=	0.752	ac-ft	=	32777.267	cf			
V100-10day =	(	0.75	)(	3.57	)(	3.95	-	2.35	/	12	=	1.2284825	ac-ft	=	53511.83	cf		
Basin G																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	1.2	)(	1.13	)(	1.2	)(	2.12	)(	1.6	/	4
V100-360 =	(	1.421	in	(	1.42	)(	4	/	12	=	0.474	ac-ft	=	20632.92	cf			
V100-10day =	(	0.47	)(	1.6	)(	3.95	-	2.35	/	12	=	0.687	ac-ft	=	29925.72	cf		
Basin W (Partial)																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	0.255	)(	1.13	)(	0.255	)(	2.12	)(	1.19	/	1.7
V100-360 =	(	1.7705	in	(	1.77	)(	1.7	/	12	=	0.251	ac-ft	=	10925.756	cf			
V100-10day =	(	0.25	)(	1.19	)(	3.95	-	2.35	/	12	=	0.4094875	ac-ft	=	17837.28	cf		
Basin Bobby Foster																		
PROPOSED EXCESS PRECIPITATION:																		
Weighted E =	(	0.53	)(	0	)=	0.78	)(	0.836	)(	1.13	)(	0	)(	2.12	)(	2.964	/	3.8
V100-360 =	(	1.8252	in	(	1.83	)(	3.8	/	12	=	0.578	ac-ft	=	25176.809	cf			
V100-10day =	(	0.58	)(	2.96	)(	3.95	-	2.35	/	12	=	0.97318	ac-ft	=	42391.72	cf		



Grading Plan Submittal



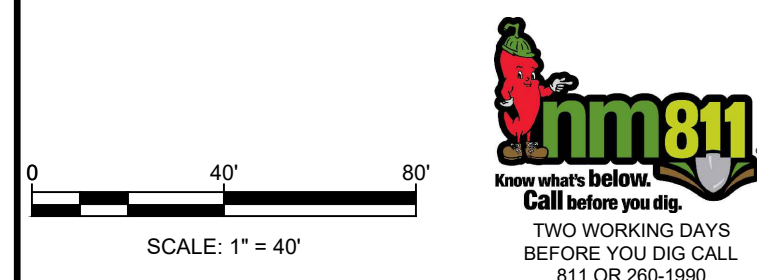
GRADING SHEET INDEX

LEGEND

- | | |
|--|-------------------------------|
| | EXIST. (INDEX) CONTOUR |
| | EXIST. (INTERMEDIATE) CONTOUR |
| | PROP. (INDEX) CONTOUR |
| | PROP. (INTERMEDIATE) CONTOUR |
| | WATER BLOCK |
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| | TOP OF PAVEMENT |
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| | TOP OF CONCRETE |
| | FLOW PATH |
| | GRADING LIMITS |

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2. SEE PLAT FOR LOT DIMENSIONS.
3. SEE DETAIL GX FOR TYPICAL LOT GRADING.
4. SEE SHEETS GX-G1X FOR DIAGRAM & DETAILS OF WALLS RETAINING MORE THAN 18", AND PERIMETER WALLS.
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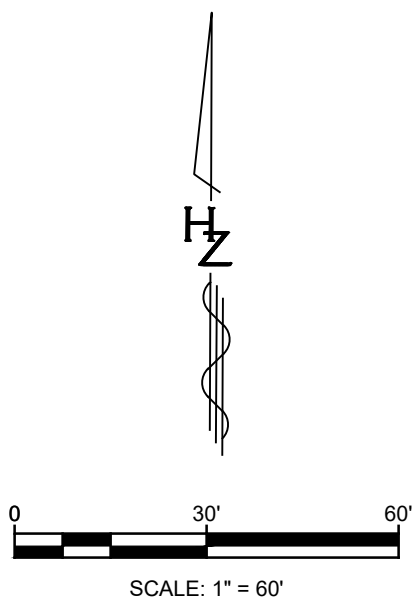
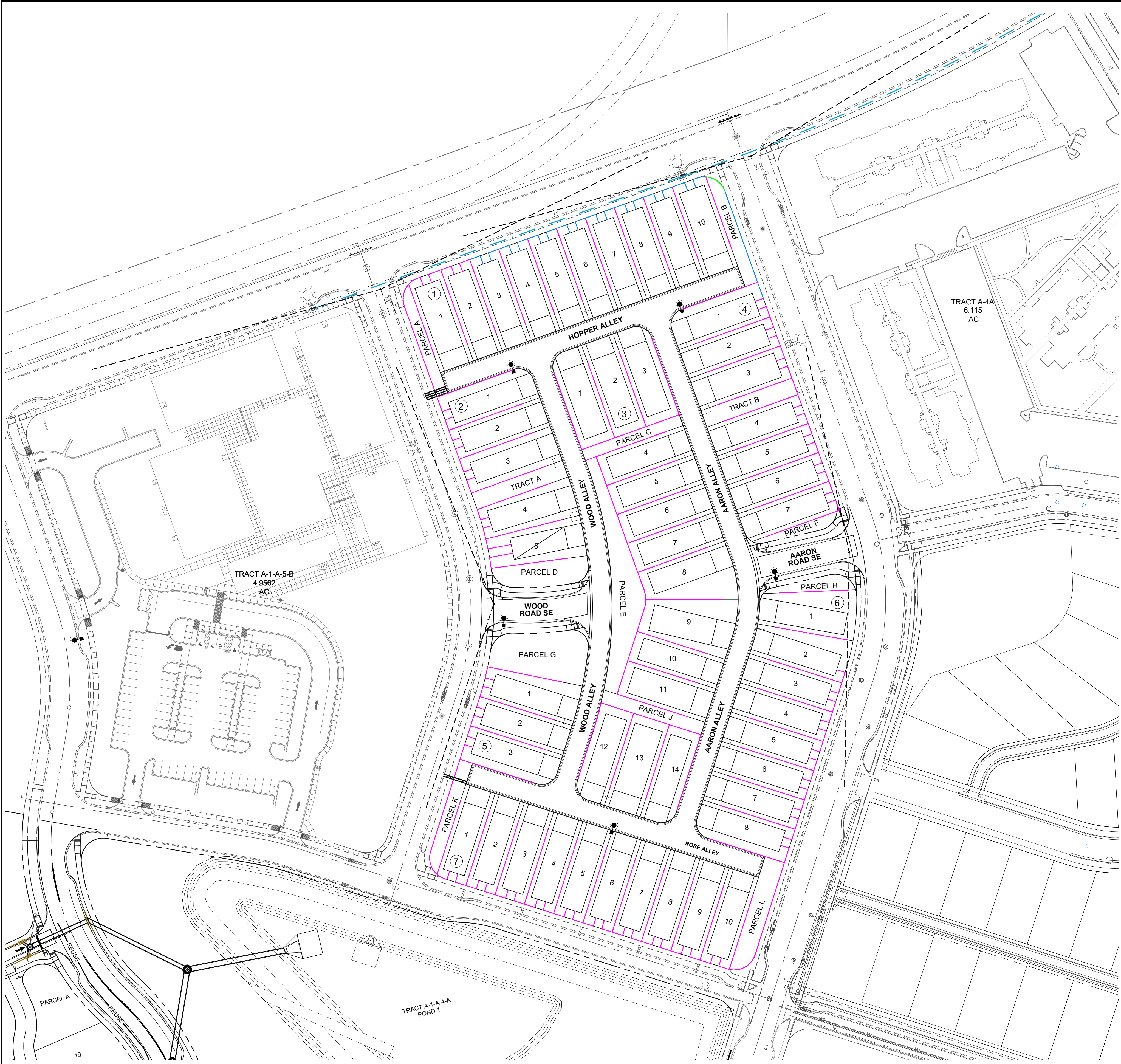
MESA DEL SOL MONTAGE 7

TITLE:

GRADING PLAN

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
775685	R-15-Z, S-15-Z	4	11	

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Project: R315530.01 - Montage Unit 7 - Mesa del Sol
9.dwg
Last Saved: 3/6/2023 4:16:27 PM, settings



GENERAL NOTES

1. THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION, WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.

2. RETAINING WALLS ARE SPECIFIED WHENEVER THE DIFFERENTIAL IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES). ELEVATION DIFFERENCES OF LESS THAN 1.5 FT (2 CMU EXPOSED COURSES) SHALL BE INCLUDED IN THE COST OF THE PRIVACY WALL CONSTRUCTION UNLESS WALL IS PART OF PERIMETER WALL.

3. PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.

4. FINAL TYPE AND HEIGHTS OF CMU PERIMETER WALL WILL BE PROVIDED BY THE OWNER AT TIME OF BID PROPOSAL. INTERIOR PRIVACY WALLS WILL BE CONSTRUCTED BY HOME BUILDER.

5. 2 TURNED BLOCKS ARE TO BE PROVIDED ALONG PERIMETER WALLS AT THE CORNERS WHERE LOTS DRAIN TO THE REAR.

6. ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8.

7. BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.

8. CONTRACTOR SHALL APPLY ANTI-GRAFFITI COATINGS TO ALL PERIMETER WALLS. CONTRACTOR SHALL USE PROSOCO DEFAKER ERASER OR APPROVED EQUIVALENT.

9. ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.

10. SEE PLAT FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

AS BUILT INFORMATION

CONTRACTOR

DATE

WORK

STANDARD

INSPECTED BY

FIELD DATE BY

VERIFICATION BY

CORRECTED BY

MICRO-FILM INFORMATION

RECORDED BY

NO.

BENCH MARKS

FOUND MONUMENT

5+R15 2006

STANDARD 3 1/4" ALUMINUM DISC

NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)

N= 1,452,449.458

E= 1,529,053.733

ELEV=5306.674 (NAVD 1988)

GROUND TO GRID FACTOR=0.999864300

MAPPING ANGLE=0°12'47.60"

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

SCOTT A. EDLINGS

REGISTERED PROFESSIONAL ENGINEER

NEW MEXICO

12856

3/5/23

REVISIONS

DESIGN

DATE

REMARKS

NO.

DATE

BY

DESIGNED BY: SAE

DATE: March 5, 2023

DRAWN BY: LRT

DATE: March 5, 2023

DWG NAME: Sht 6.9.dwg

CHECKED BY: SAE

DATE: March 5, 2023

Designed By:

HUITT-ZOLLARS

Huitt-Zollars, Inc.

6501 Americas Pkwy NE, Suite 550

Albuquerque, New Mexico 87110

Phone (505) 883-8114 Fax (505) 883-5022

Albuquerque

87110

883-8114

883-5022

TITLE:

MESA DEL SOL

MONTAGE 7

WALL COMPOSITE

Design Review Committee

City Engineer

Mo./Day/Yr.

Mo./Day/Yr.

City Project No.

775685

Zone Map No.

R-15-Z, S-15-Z

Sheet

5

Of

11

Plotter: 3/6/2023 4:21:57 PM, By: Edgings, Scott
Last Saved: 3/6/2023 7:11:23 AM, settings



GENERAL NOTES

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SIGHT DISTANCE LEGEND

----- INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
- TYPE B (2'-4')
- TYPE C (4'-6')



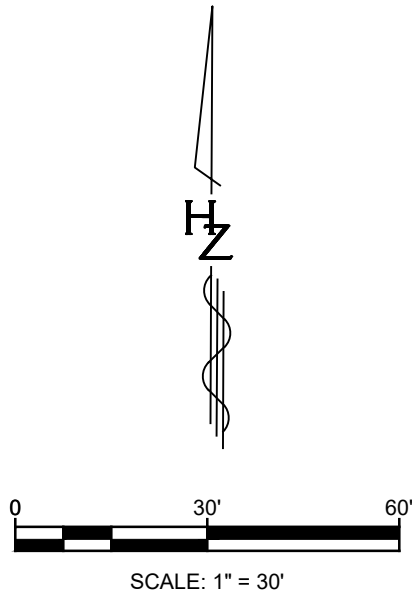
Designed By:
HUITT-ZOLLARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Pkwy NE, Suite 550
Albuquerque, New Mexico 87110
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MESA DEL SOL MONTAGE 7

ENLARGED WALL PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	6	11

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT	DATE	FIELD NOTES	DATE		
WORK STAKED BY	DATE	STANDARD 3 1/4" ALUMINUM DISC	DATE	BY	DATE		
INSPECTED BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)	DATE	NO.			
FIELD CHECKED BY	DATE	N= 1,452,449.458	DATE				
VERIFICATION BY	DATE	E= 1,529,063.733	DATE				
CORRECTED BY	DATE	ELEV=5308.674 (NAVD 1988)	DATE				
MICRO-FILM INFORMATION		GROUND TO GRID FACTOR=0.99984300					
RECORDED BY	DATE	MAPPING ANGLE=0°12'47.60"					
NO.							



GENERAL NOTES

1. THE WALL COURSES ON THIS PLAN INDICATE THE NUMBER OF EXPOSED BLOCK COURSES OF RETAINING WALL TO BE CONSTRUCTED, DETAILED ON SHEET 8, TO MATCH SURFACE ELEVATIONS ON THE GRADING PLAN. A MINIMUM OF ONE ADDITIONAL COURSE (8" HIGH) IS REQUIRED, BURIED BELOW THE LOWER SURFACE DESIGN ELEVATION. WHEN THE LOWER SLOPE IS SEVERE AND/OR THE FOOTER IS WIDE, AN ADDITIONAL BURIED COURSE MAY BE REQUIRED.
2. RETAINING WALLS ARE SPECIFIED WHENEVER THE DIFFERENTIAL IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES). ELEVATION DIFFERENCES OF LESS THAN 1.5 FT (2 CMU EXPOSED COURSES) SHALL BE INCLUDED IN THE COST OF THE PRIVACY WALL CONSTRUCTION UNLESS WALL IS PART OF PERIMETER WALL.
3. PAY QUANTITIES INCLUDE THE COST OF EXCAVATION, GRADING, COMPACTION, FOOTERS, AND ALL COURSES (INCLUDING BURIED COURSES) OF CMU WALL WITH REINFORCING, GROUT, BOND BEAMS, PILASTERS, WATERPROOFING AND BACKFILL ALL PER SPECIFICATIONS.
4. FINAL TYPE AND HEIGHTS OF CMU PERIMETER WALL WILL BE PROVIDED BY THE OWNER AT TIME OF BID PROPOSAL. INTERIOR PRIVACY WALLS WILL BE CONSTRUCTED BY HOME BUILDER.
5. 2 TURNED BLOCKS ARE TO BE PROVIDED ALONG PERIMETER WALLS AT THE CORNERS WHERE LOTS DRAIN TO THE REAR.
6. ALL PRIVACY AND RETAINING WALLS CONSTRUCTED AT INTERSECTIONS SHALL CONFORM TO AASHTO INTERSECTION SIGHT DISTANCE CRITERIA. SEE DETAIL B/8.
7. BETWEEN PRIVATE PROPERTIES WALLS SHALL BE CONSTRUCTED WITH THE MIDDLE OF THE BLOCK ON THE PROPERTY LINE. ADJACENT TO PUBLIC RIGHT-OF-WAYS THE FACE OF THE WALL SHALL BE CONSTRUCTED ON THE RIGHT-OF-WAY LINE. NO PORTION OF THE BLOCK SHALL BE WITHIN THE PUBLIC RIGHT-OF-WAY.
8. CONTRACTOR SHALL APPLY ANTI-GRAFFITI COATINGS TO ALL PERIMETER WALLS. CONTRACTOR SHALL USE PROSOCO DEFACER ERASER OR APPROVED EQUIVALENT.
9. ALL INTERIOR SIDE YARD WALLS SHALL TERMINATE AT THE 10' PUE ALONG THE LOT FRONTAGES.
10. SEE PLAN FOR ALL BEARINGS, DISTANCES, AND CURVES DURING CONSTRUCTION OF WALLS.

SIGHT DISTANCE LEGEND

INTERSECTION CLEAR SIGHT TRIANGLE

* NOTE:

REFER TO DETAIL B/ 8 FOR INTERSECTION CLEAR SIGHT
TRIANGLE DETAIL.

LEGEND

- TYPE A & X (0'-2')
- TYPE B (2'-4')
- TYPE C (4'-6')



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MESA DEL SOL
MONTAGE 7

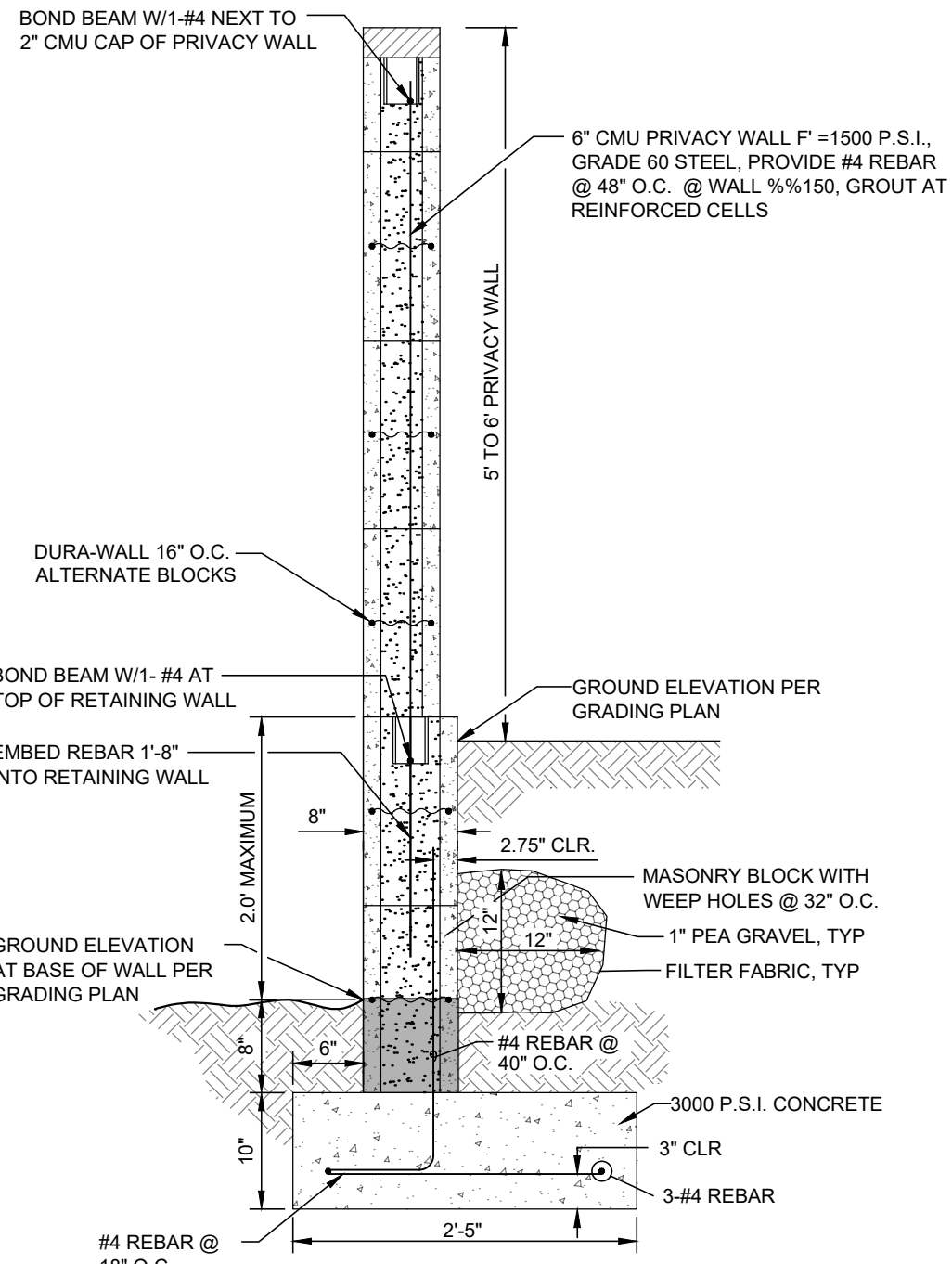
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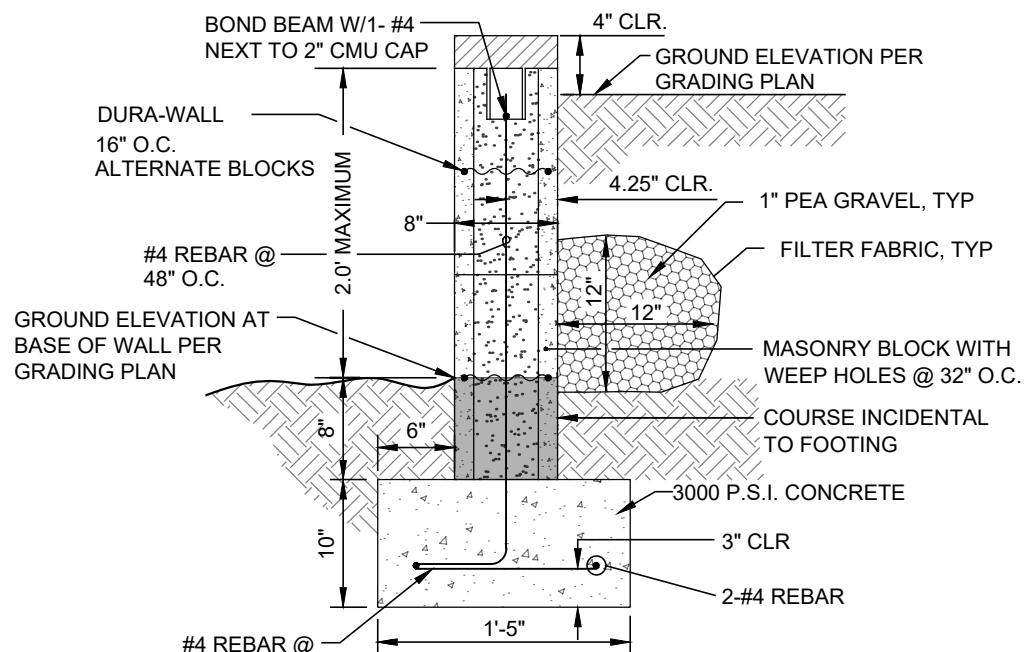
Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
775685	R-15-Z, S-15-Z	7	11	

Grading Plan Submittal

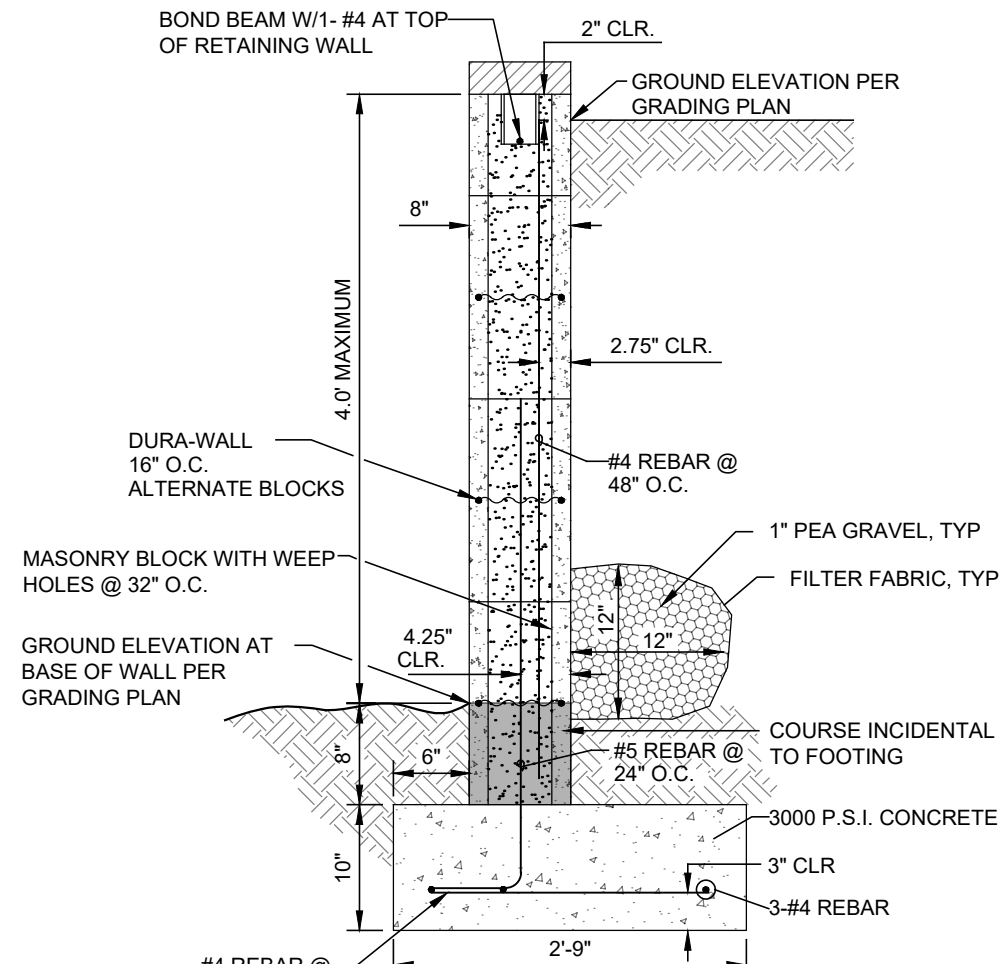
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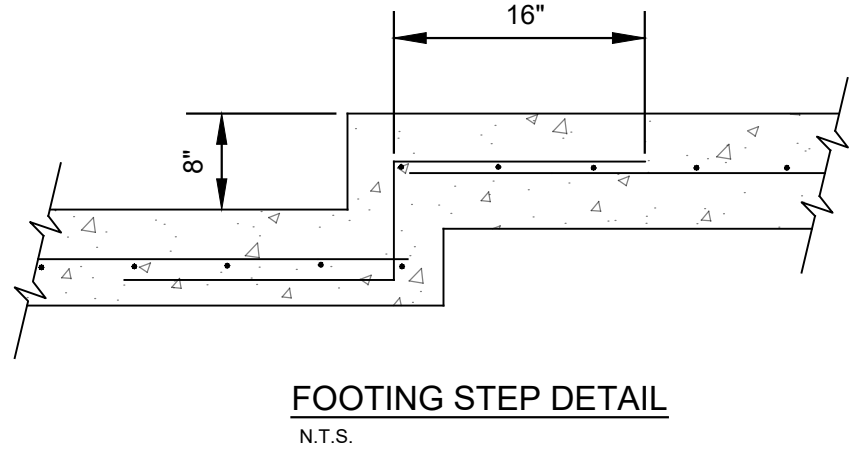
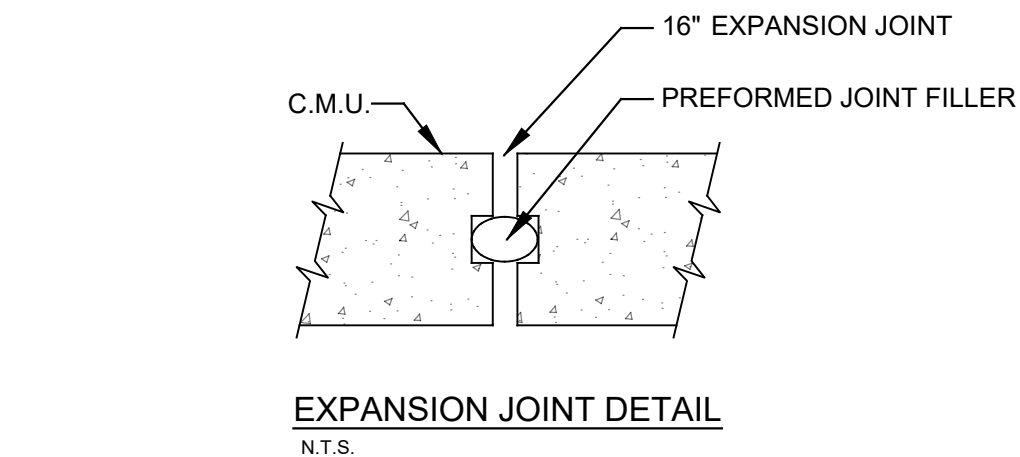
RETAINING WALL W/PRIVACY WALL (1 - 3 COURSES)
TYPE X



RETAINING WALL (1 - 3 COURSES)
TYPE A

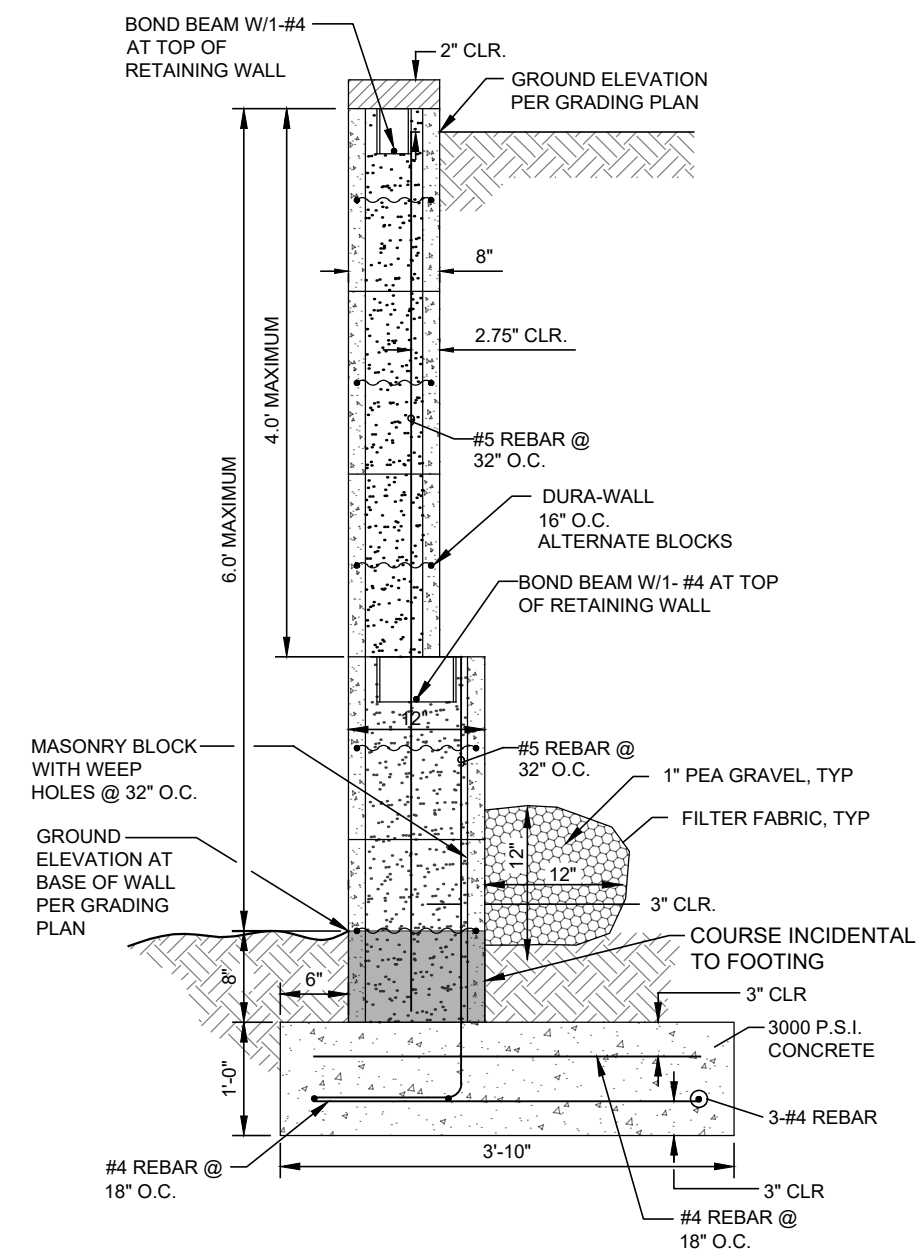


RETAINING WALL (4 - 6 COURSES)
TYPE B



- MASONRY WALL CONSTRUCTION NOTES:**
- RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES).
 - ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). F'M=1500 PSI
 - MORTAR SHALL BE TYPE S.
 - GROUT - F' =2000 PSI
 - CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
 - PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.
 - THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
 - ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
 - LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
 - ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
 - PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 16' O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
 - MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI.
 - WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK.
 - SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
 - ALL RETAINING WALLS REPRESENTED ON THIS SHEET HAVE BEEN DESIGNED TO ACCEPT A 5' TO 6' PRIVACY WALL.
 - THE TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.
 - PROVIDE ANTI-GRAFFITI SURFACE COATING ON THE CMU WALL WHEN FACING THE PUBLIC AREAS AND RIGHT-OF-WAY LOCATIONS.

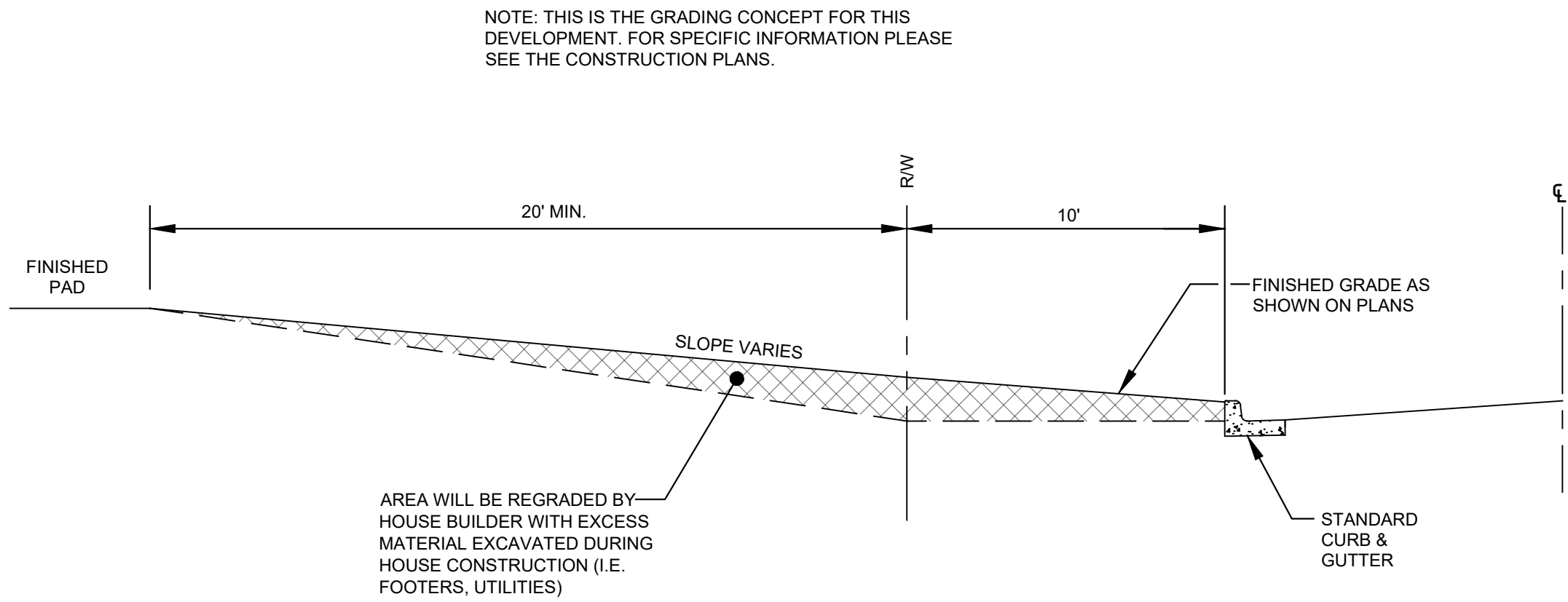
- GENERAL NOTE:**
- WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.
 - ADDITIONAL COURSE MAY BE BURIED AS A RESULT OF FIELD CONDITIONS.
 - PAY ITEM IS FOR EXPOSED BLOCKS ONLY.



RETAINING WALL (7 - 9 COURSES)
TYPE C

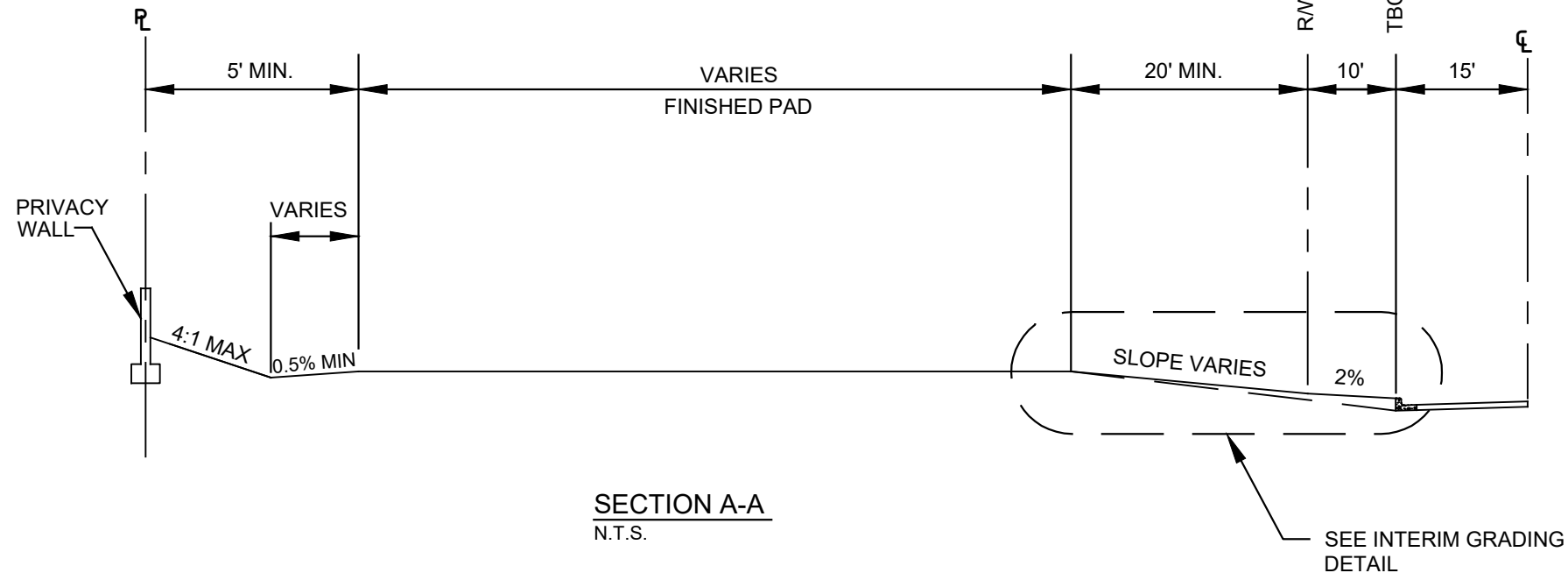
Grading Plan Submittal

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGNED BY: SAE		DRAWN BY: LRT		CHECKED BY: SAE																																	
CONTRACTOR	DATE	WORK STAKED BY	DATE	INSPECTED BY	DATE	FIELD CHECKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE																																
		STANDARD 3 1/4" ALUMINUM DISC		NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE N.A.D. 1983)		N= 1,452,49,458																																									
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				GROUND TO GRID FACTOR=0.999864300																																											
				MAPPING ANGLE=0°12'47.60"																																											
Designed By: HUITT-ZOLLARS Huitt-Zollars, Inc. Albuquerque 6501 Americas Pkwy NE, Suite 550 Albuquerque, New Mexico 87110 Phone (505) 883-8114 Fax (505) 883-5022 MESA DEL SOL MONTAGE 7 RETAINING WALL DETAILS <table><tr><td>Design Review Committee</td><td>City Engineer</td><td>Mo./Day/Yr.</td><td>Mo./Day/Yr.</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>City Project No.</td><td>Zone Map No.</td><td>Sheet</td><td>Of</td></tr><tr><td>775685</td><td>R-15-Z, S-15-Z</td><td>8</td><td>11</td></tr></table>																Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.																					City Project No.	Zone Map No.	Sheet	Of	775685	R-15-Z, S-15-Z	8	11
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.																																												
City Project No.	Zone Map No.	Sheet	Of																																												
775685	R-15-Z, S-15-Z	8	11																																												



INTERIM GRADING DETAIL

N.T.S.



SECTION A-A
N.T.S.

LEGEND

RETAINING WALL
W/ PRIVACY WALL
SEE GENERAL NOTES

PRIVACY WALL
SEE GENERAL NOTES



WALL SECTION



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MESA DEL SOL MONTAGE 7

TITLE:

GRADING DETAILS

Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 775685	Zone Map No. R-15-Z, S-15-Z		Sheet 9	Of 11

TYPICAL LOT GRADING

N.T.S.



WALL LEGEND

1 - 3 COURSES	0 TO 2 FT RETAINING HEIGHT TO BE CONSTRUCTED BY HOME BUILDER, EXCEPT FOR PERIMETER WALLS
4 - 6 COURSES	2.1 TO 4.0 FT RETAINING HEIGHT
7 - 9 COURSES	4.1 TO 6.0 FT RETAINING HEIGHT
10 - 12 COURSES	6.1 TO 8.0 FT RETAINING HEIGHT
13 - 14 COURSES	8.1 TO 10.0 FT RETAINING HEIGHT
15 - 17 COURSES	10.1 TO 12.0 FT RETAINING HEIGHT

NOTES

1. ALL PROPOSED IMPROVEMENTS WITHIN THE CLEAR SIGHT TRIANGLE SHALL PROVIDE AN UNOBSTRUCTED VISION AT STREET INTERSECTIONS BETWEEN 2.5 FT AND 7 FT ABOVE THE FLOW LINE.
2. IF A PRIVACY WALL IS TO BE CONSTRUCTED AROUND RIGHT-OF-WAY RETURN, THE WALL SHALL BE CONSTRUCTED ALONG THE CLEAR SIGHT TRIANGLE IF RETURN IS LOCATED WITHIN CLEAR SIGHT TRIANGLE.
3. SIGHT TRIANGLE DISTANCES SHOULD BE MEASURED ALONG CENTERLINE OF ROAD CONSTRUCTION, TYPICALLY CENTERLINE OF RIGHT-OF-WAY.
4. STOPPING SIGHT DISTANCES ARE BASED ON DESIGN CRITERIA FROM THE CITY OF RIO RANCHO DEVELOPMENT PROCESS MANUAL.
5. SIGHT TRIANGLES ARE INDICATED BASED ON DIMENSIONS PROVIDED IN DETAIL OR MODIFIED AS INDICATED ON THE PLANS.

FIGURE 7.4.93 Intersection Sight Distance

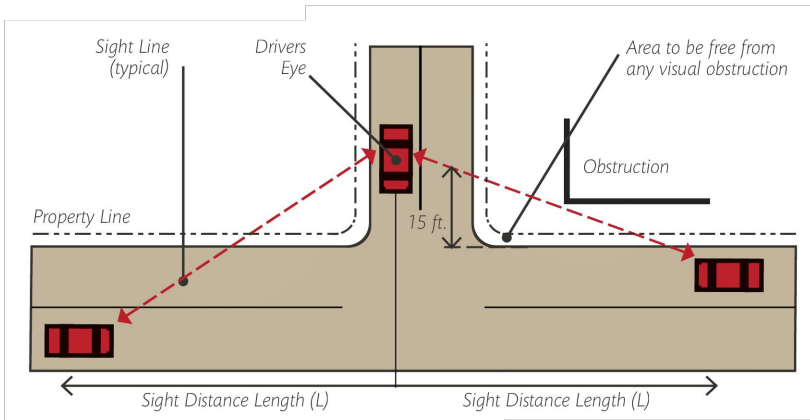


TABLE 7.4.65 Minimum Intersection Sight Distance

Speed Limit (MPH)	Minimum Intersection Sight Distance					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12 ft. Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230 ft.	200 ft.	240 ft.	200 ft.	250 ft.	200 ft.
25	280 ft.	240 ft.	300 ft.	240 ft.	320 ft.	240 ft.
30	340 ft.	290 ft.	360 ft.	290 ft.	380 ft.	290 ft.
35	390 ft.	340 ft.	420 ft.	340 ft.	440 ft.	340 ft.
40	450 ft.	390 ft.	480 ft.	390 ft.	500 ft.	390 ft.
45	500 ft.	430 ft.	530 ft.	430 ft.	570 ft.	430 ft.
50	560 ft.	480 ft.	590 ft.	480 ft.	630 ft.	480 ft.

7-4(1)(5)(iv) Mini Clear Sight Triangle

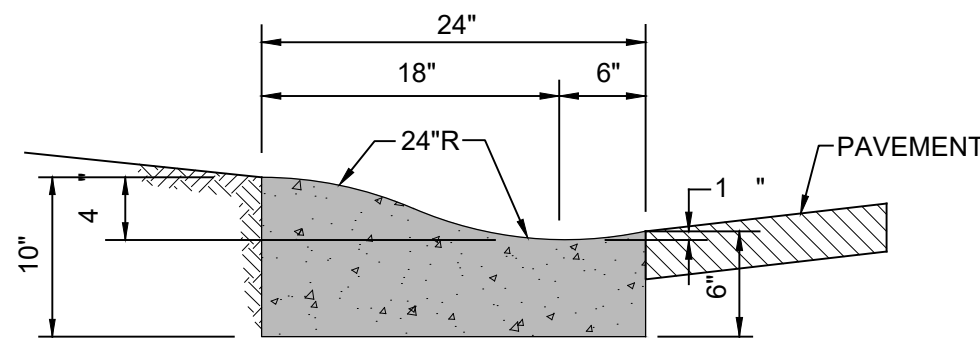
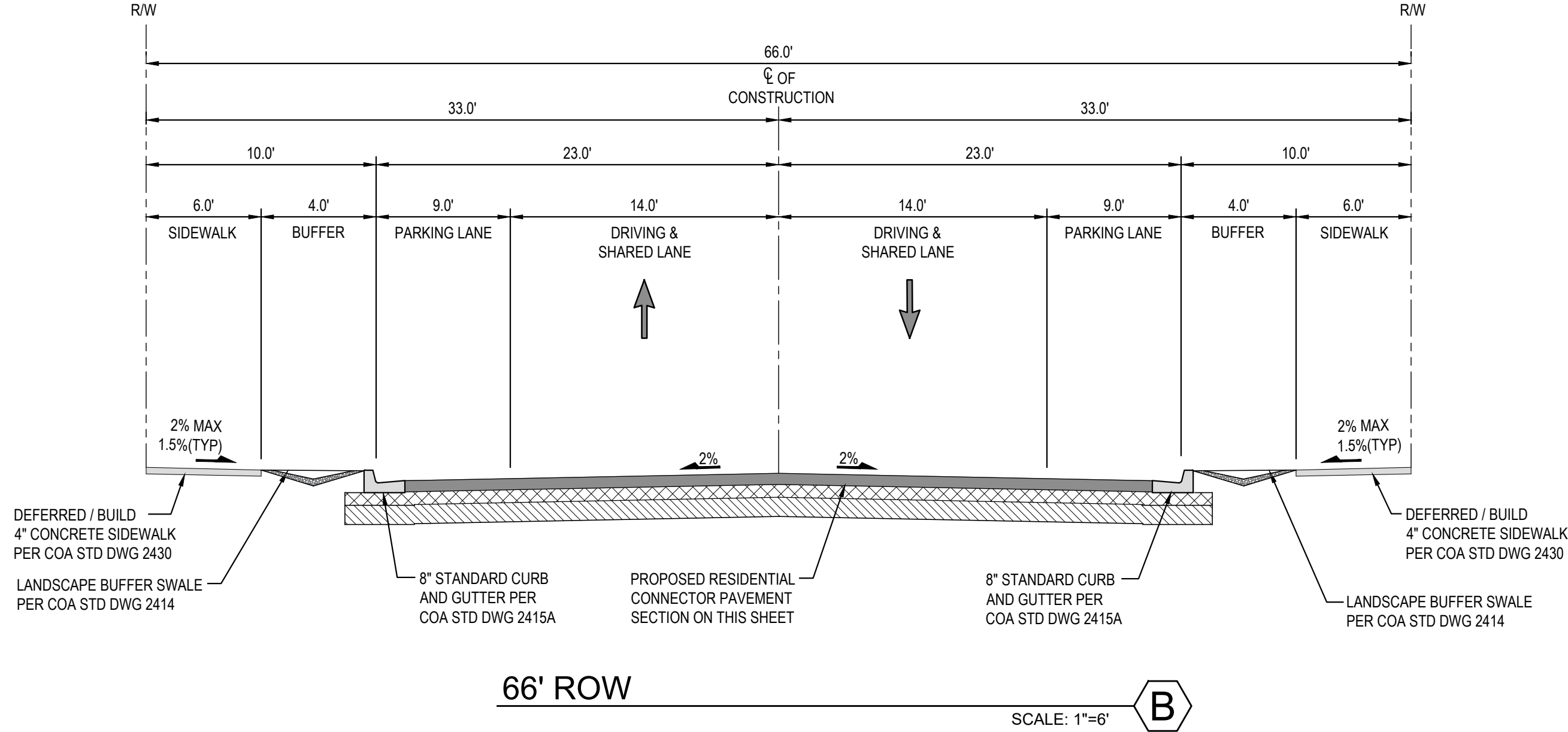
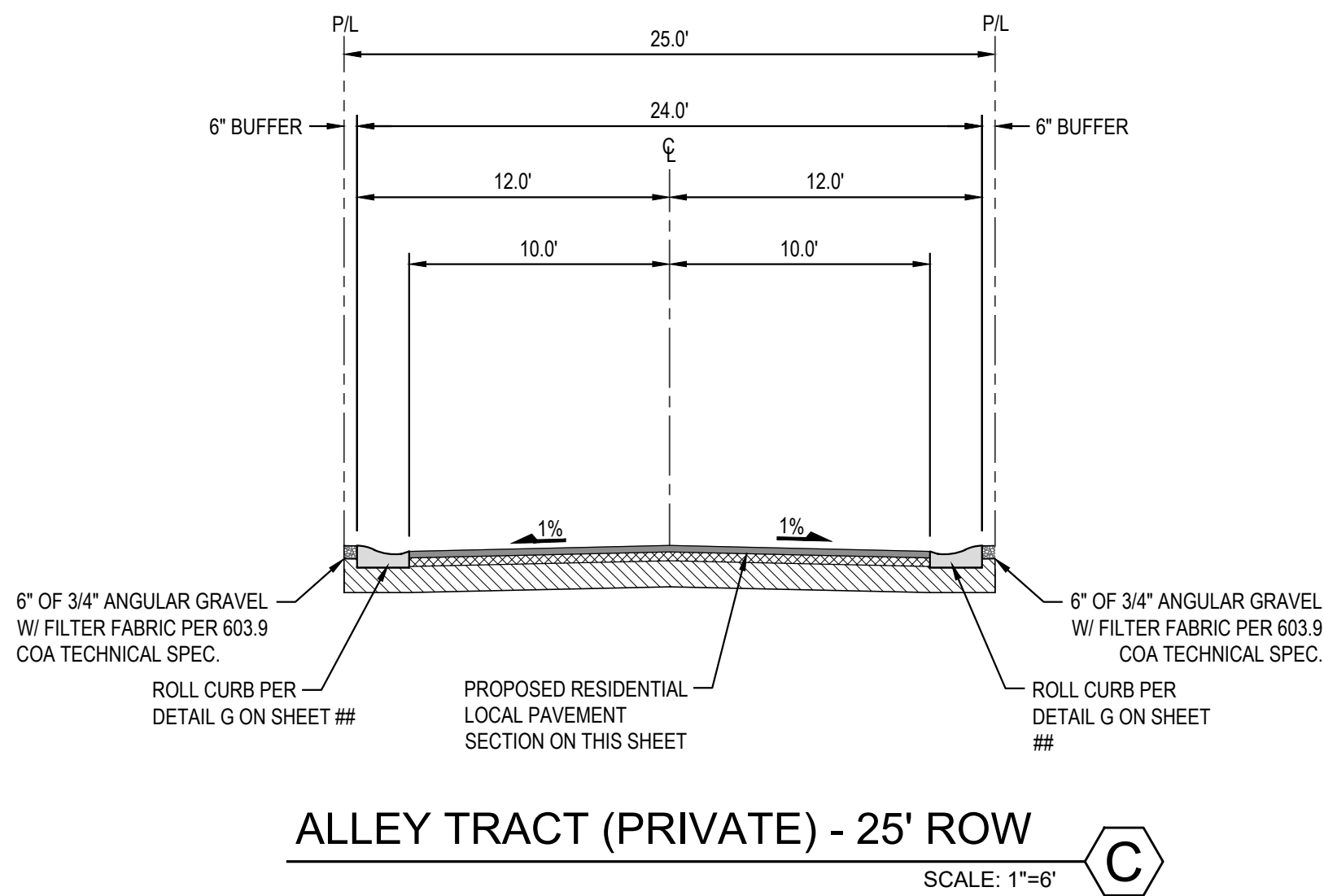
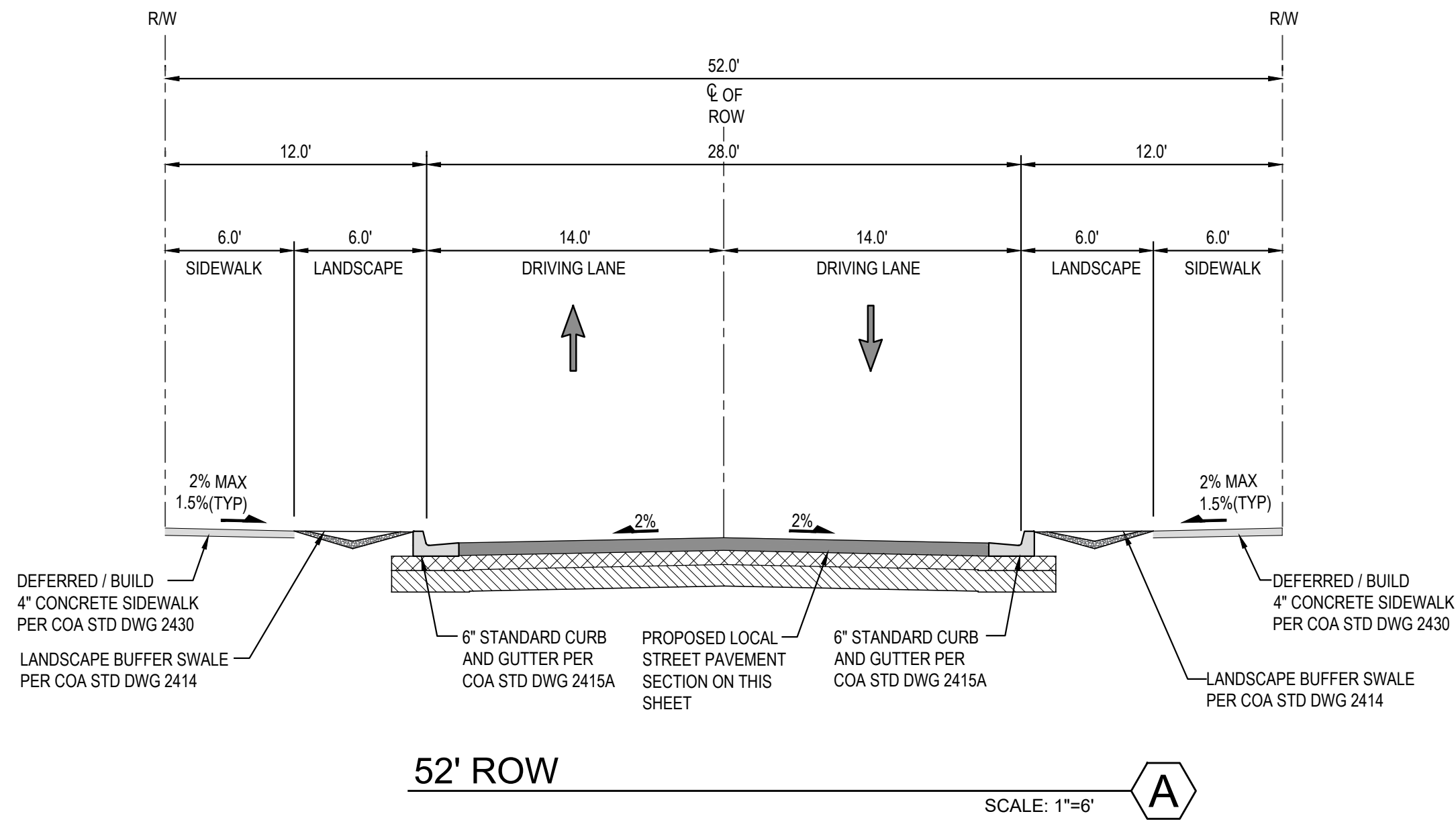
Driveways need to maintain the mini clear sight triangle as shown in [FIGURE 7.4.94](#). This triangle starts at the sidewalk and measures 11 feet on a side.

INTERSECTION CLEAR SIGHT TRIANGLE DETAIL

N.T.S.



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GENERAL NOTES:

- ANY DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY FOR PRIOR APPROVAL.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE CITY.
- SUBGRADE SHALL BE COMPACTED TO 95% ASTM D 1557, MIN.
- CURB AND GUTTER SHALL BE PORTLAND CEMENT CONCRETE. PORTLAND CEMENT CONCRETE SHALL BE 3000 PSI @ 28 DAYS. AIR ENTRAINMENT SHALL BE A 5% MINIMUM TO 9% MAXIMUM. A CLASS F FLY ASH ADDITIVE IS ALLOWED UP TO 20% BY WEIGHT.
- FOR CONCRETE CURB AND GUTTER

CONSTRUCT TRANSVERSE JOINTS AS FOLLOWS:

- TOOLED CONTRACTION JOINTS AT 5' INTERVALS
 - 1/2" PRE-MOLDED BITUMINOUS EXPANSION
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
 - 8" CURB AND GUTTER AND CUTOFF WALL IS NOT FOR USE IN NEW RESIDENTIAL DEVELOPMENT. USE MUST BE PREAPPROVED BY THE CITY.
 - ASPHALT PLACEMENT SHALL BE EVEN WITH THE LIP OF GUTTER, BUT IN NO CASE SHALL IT EXCEED 1/4". ASPHALT PLACED LOWER THAN LIP OF GUTTER SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.



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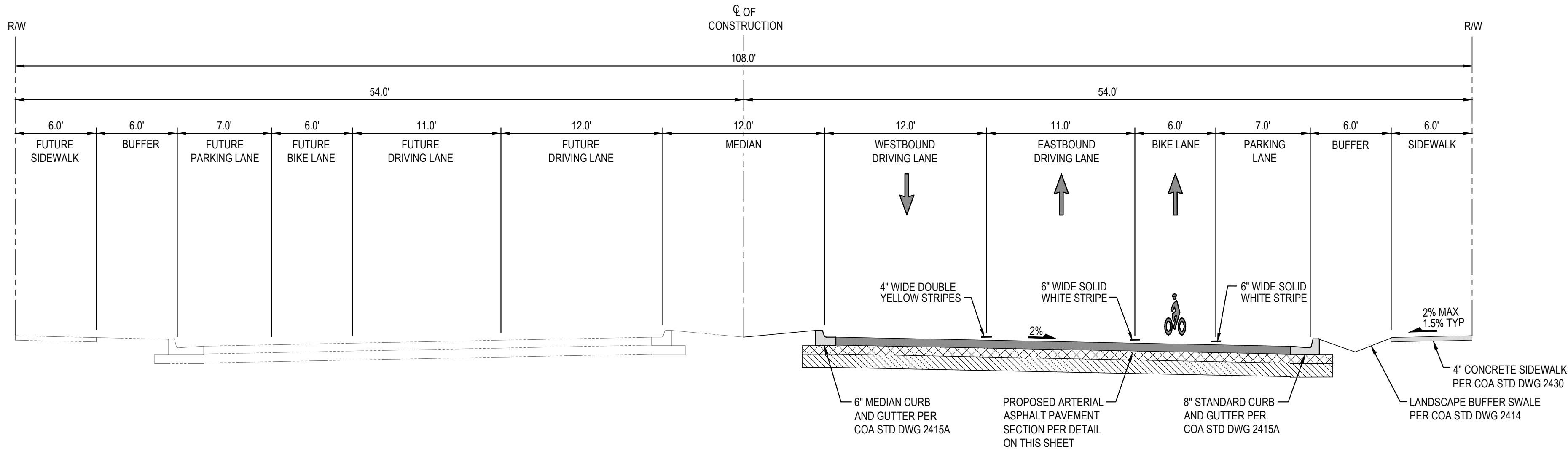
MESA DEL SOL
MONTAGE 7

TITLE:
ROADWAY TYPICAL SECTIONS

Design Review Committee	City Engineer	Mo./Day/Yr.	
		Mo./Day/Yr.	Mo./Day/Yr.
Last Update			
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	10	11

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
 <i>Scott Edgings</i> 9/6/17			FIELD NOTES			FOUND MONUMENT "5-R16 2006"			CONTRACTOR		
			BY			STANDARD 3 1/4" ALUMINUM DISC			WORK		
			DATE			NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1983)			DATE		
			N= 1,452,493.458			FIELD LOCATION BY			DATE		
			E= 1,529,033.738			DRAWINGS			DATE		
			ELEV=5306.674 (NAVD 1988)			CORRECTED BY			MICRO-FILM INFORMATION		
			GROUND TO GRID FACTOR=0.999864300			RECORDED BY			DATE		
			MAPPING ANGLE=0°12'47.60"			No.					

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BOBBY FOSTER BLVD

STA. 21+44.90 TO STA. 30+00.00
LOOKING EAST

SCALE: 1"=6'

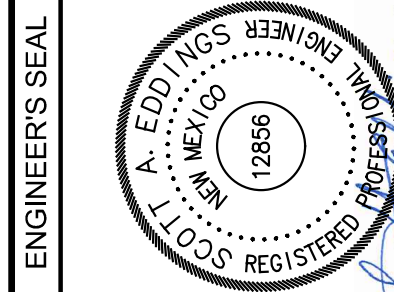


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MESA DEL SOL MONTAGE 7

TITLE: ROADWAY TYPICAL SECTIONS

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
775685	R-15-Z, S-15-Z	11	11



9/6/17
Scott Edgings

SURVEY INFORMATION			BENCH MARKS	AS BUILT INFORMATION	
FIELD NOTES		CONTRACTOR		DATE	
NO.	BY	DATE	FOUND MONUMENT "5415 2006"	WORK STAKED BY	DATE
			STANDARD 3 1/4" ALUMINUM DISC	INSPECTOR'S	DATE
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