

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

February 8, 2022

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

RE: **Encanto Apartments
Mesa Del Sol
University Blvd. and Bobby Foster Rd. SE
Grading and Drainage Plan
Engineers Stamp Date 12/27/2021 (R16D101)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 1/4/2022, this plan cannot be approved for Building Permit until the following comments are addressed:

What you have provided is not suitable for Building Permit. The plans are at Conceptual level only. There needs to be much more detail provided.

1. In your Drainage Approach you mention the site following historic conditions. The City of Albuquerque does not use historic conditions in site design. All flows must be captured on site or demonstrate downstream capacity if leaving the site.
2. Flows on this site are moving in separate directions and ponding is spread throughout the site. Please separate site into drainage basins and provide existing and proposed flow calculations for each basin and Storm Water Quality Volume (SWQV).
3. Please number the ponds and include a label on each with the SWQV and elevation, the 100-year volume and elevation, the peak 100 year inflow and outflow, the spillway crest elevation, the spillway flow depth, and the dam top elevation.
4. Please provide the SWQV calculations for each basin draining to each pond. The storm water quality ponds need to be sized for the areas draining to them. Make sure that each pond is receiving adequate volume, since the ponds are spread throughout the site you need to make sure that the ponding volume required is being captured and you don't count excess capacity where flows are not reaching.
5. Provide calculations showing the interior storm drain system can carry the flows generated by the site.

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6. Turn off layers that are not relevant to the G&D, as this makes the drawing cluttered, such as water, sewer, electrical and lighting.
7. Add more spot elevations around the site especially around buildings and their surrounding sidewalks to show if drainage is flowing across sidewalks or if some is being captured behind them around the buildings.
8. Show flow arrows or drain locations on buildings to show how and where these structures are draining.
9. North of Building H and west of Building E you show several sidewalks crossing through ponds. Are these sidewalks following the grades and flush with the ground? If not then they are splitting the ponds and you will need to account for this. Add spot elevations to clarify this.
10. Your plan shows part of the site draining to Bobby Foster and University through the entrances. You cannot drain to these roadways as there is no drainage infrastructure on these roads in this area and it changes the flow patterns which are supposed to flow south and west. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrances.
11. Include details of your inlets and sidewalk culverts. If you are using standard details call them out.
12. Label length and slope of all storm drain lines.
13. On the west side of Building F you show a pond tied into a storm drain inlet on Sagan Loop. This inlet is part of the Sagan Loop project CPN 393581 and is not in place. These plans do not show this connection. You will need to show that this connection is compatible with the Sagan Loop design. List inverts of the 12 SD and provide calculations. You should also coordinate with the project manager for this project and Huitt-Zollars, the engineer for this project.
14. The pond on the NW end of Building G ties to an inlet. Call out the inlet and list top of grate elevation.
15. On sheet 1 there is a building east of Building G that is not named and it does not show what phase it is in. Please add this information.
16. On sheet 2 between Buildings B and D there are two ponds connected with an 8" drain line. Based on the diameter and inverts listed, this line looks like it is very shallow. Please check to make sure you have clearance for the sidewalk running above it. Also, the southernmost pond of these two has an inlet with a top of grate elevation higher than the nearby curb opening. This inlet will not capture any flows as designed.

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17. Please add a note under Grading Notes. "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".
18. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

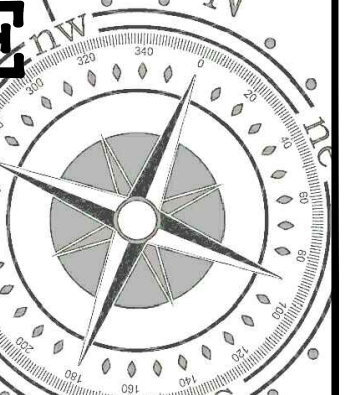
FEE PAID: _____











PHASING NOTE:

GRAPHIC SCALE

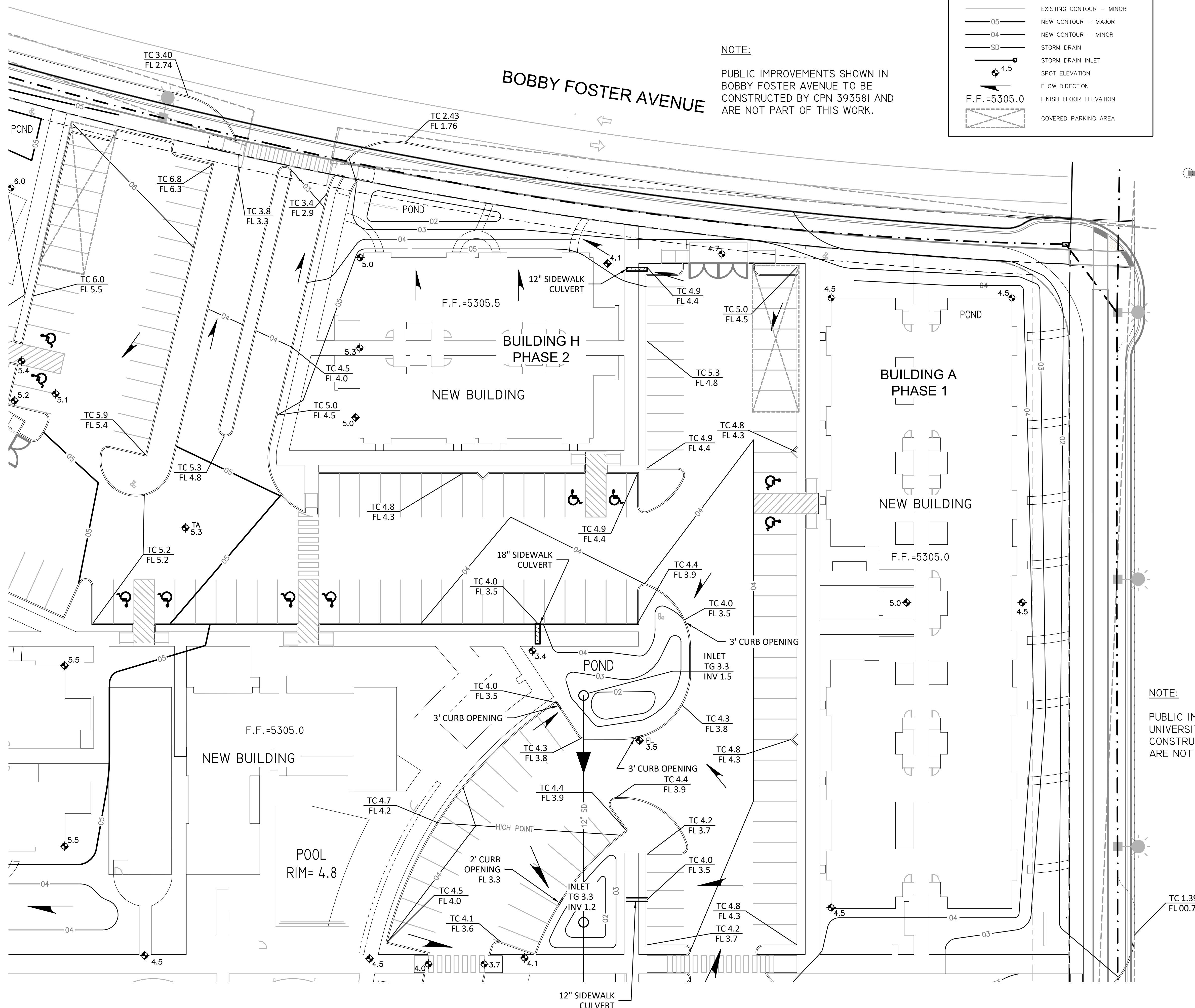


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scottmmcgee@gmail.com



	EXISTING CONTOUR – MAJOR
	EXISTING CONTOUR – MINOR
	NEW CONTOUR – MAJOR
	NEW CONTOUR – MINOR
	STORM DRAIN
	STORM DRAIN INLET
	SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	COVERED PARKING AREA

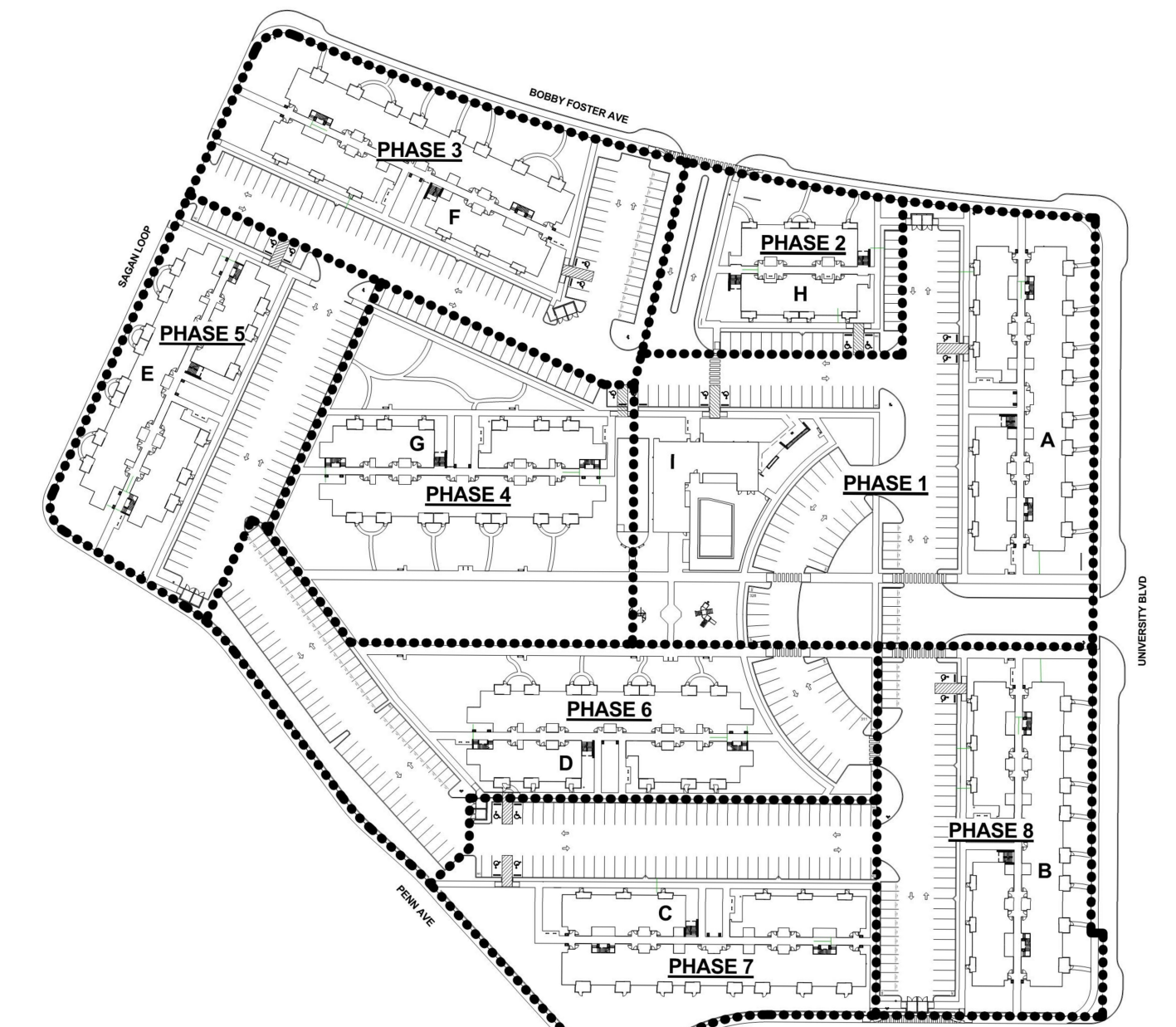
PUBLIC IMPROVEMENTS SHOWN IN
BOBBY FOSTER AVENUE TO BE
CONSTRUCTED BY CPN 39358I AND
ARE NOT PART OF THIS WORK.



PUBLIC IMPROVEMENTS SHOWN IN
UNIVERSITY BOULEVARD TO BE
CONSTRUCTED BY CPN 393581 AND
ARE NOT PART OF THIS WORK.

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GRADING AND DRAINAGE PLAN
SHEET 2 - SE
ENCANTO APARTMENTS
MESA DEL SOL
DECEMBER, 2021



PHASING PLAN
N.T.S.

PHASING NOTE:

ALL MASS GRADING (INCLUDING ALL STORMWATER POND AREAS) AND ALL STORM DRAIN INLETS AND STORM DRAIN LINES SHALL BE BUILT AS PART OF PHASE I.

LEGAL DESCRIPTION: TRACT A-4-A, REPLAT OF TRACT A-4 MESA DEL SOL INNOVATION PARK

SITE AREA: 11.9075 AC (518,694 SF)

BENCHMARK: City of Albuquerque Station '5-R15' being a brass cap.
ELEV= 5306.674 (NAVD 1988)

SURVEYOR: Harris Surveying Inc. dated November, 2020

FLOOD HAZARD: From FEMA Map 35001C0555H (8/16/2012), this site is identified as being within Zone 'X' which is determined to be an area of minimal flood hazard.

OFFSITE FLOW: The site does not accept offsite flow as public streets border the site to the north, east, and south. The land to the west is undeveloped and is scheduled to be developed as Sagan Road. The Mesa del Sol DMP defines this site as being within Basin M which is to drain to the southwest and discharge to regional pond 2A. Discharge is based on 56.08/15.15= 3.7 CFS/AC.

EXISTING CONDITIONS: The site is currently undeveloped and the site slopes down to the west at 0.5 - 1%.

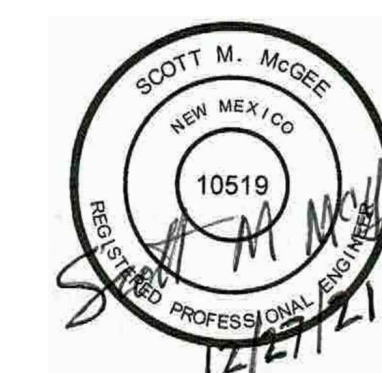
PROPOSED IMPROVEMENTS: The proposed improvements include 8 residential apartment buildings, a community building, paved access and parking, sidewalks, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the SWQ volume.

Existing land treatment: 100% A PRECIPITATION ZONE: 3
 $Q = (1.87)(11.91) = 22.3$ CFS
Proposed land treatment: 5% B, 33% C and 62% D
 $Q = [(0.05)(2.60) + (0.33)(3.45) + (.62)(5.02)](11.91) = 52.2$ CFS

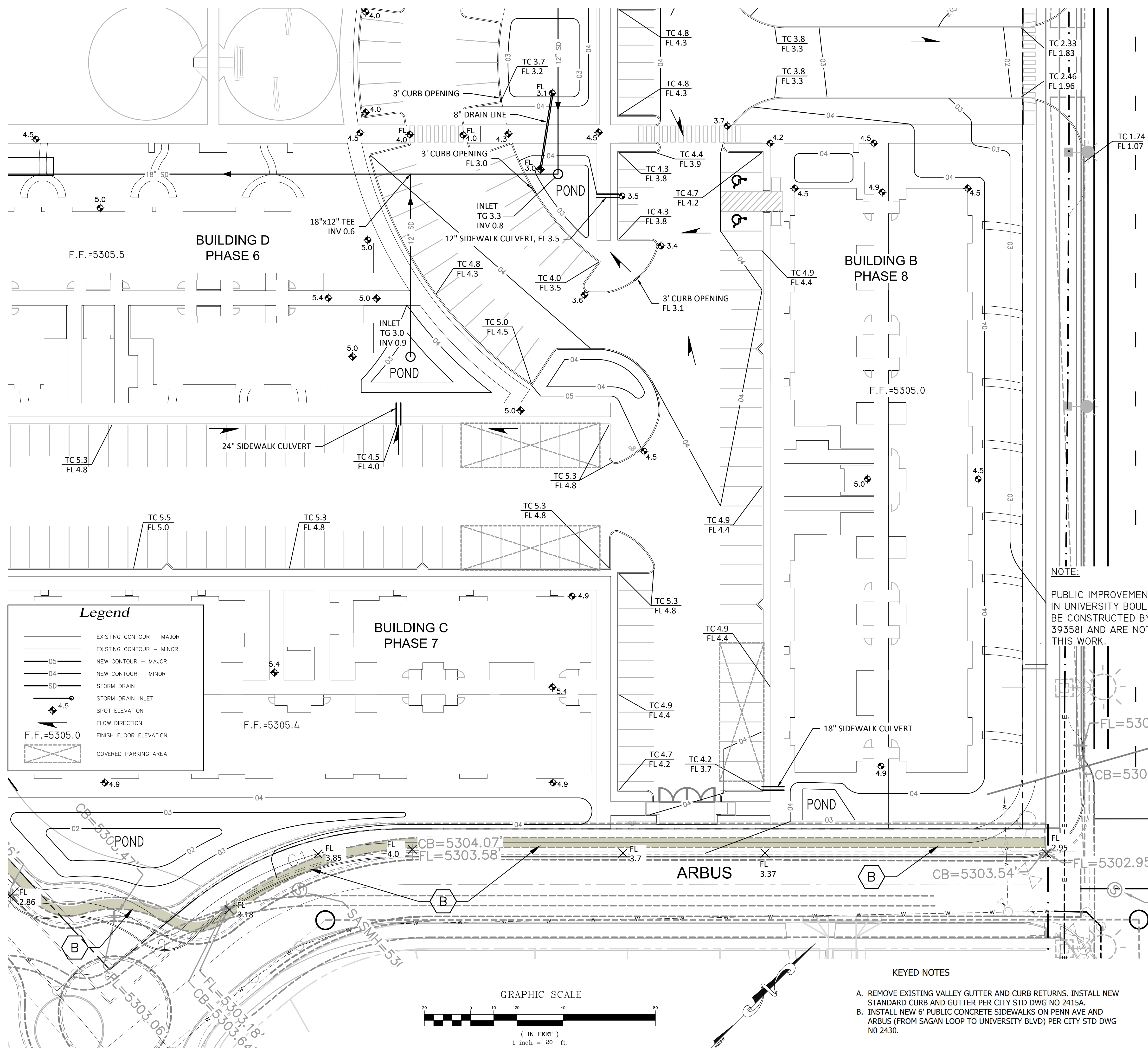
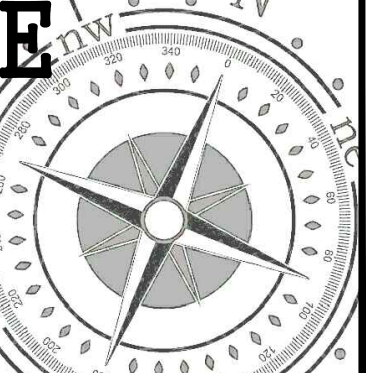
SWQ V= (320,318)(0.42/12)= 11,211 CF

This flow will discharge to several onsite retention ponding areas located throughout the site. The SWQ volume of 10,900 CF will be retained in the ponds as shown. Site discharge will not exceed the allowable:
 $Q = (11.91/15.15) 56.08 = 44.0$ CFS.



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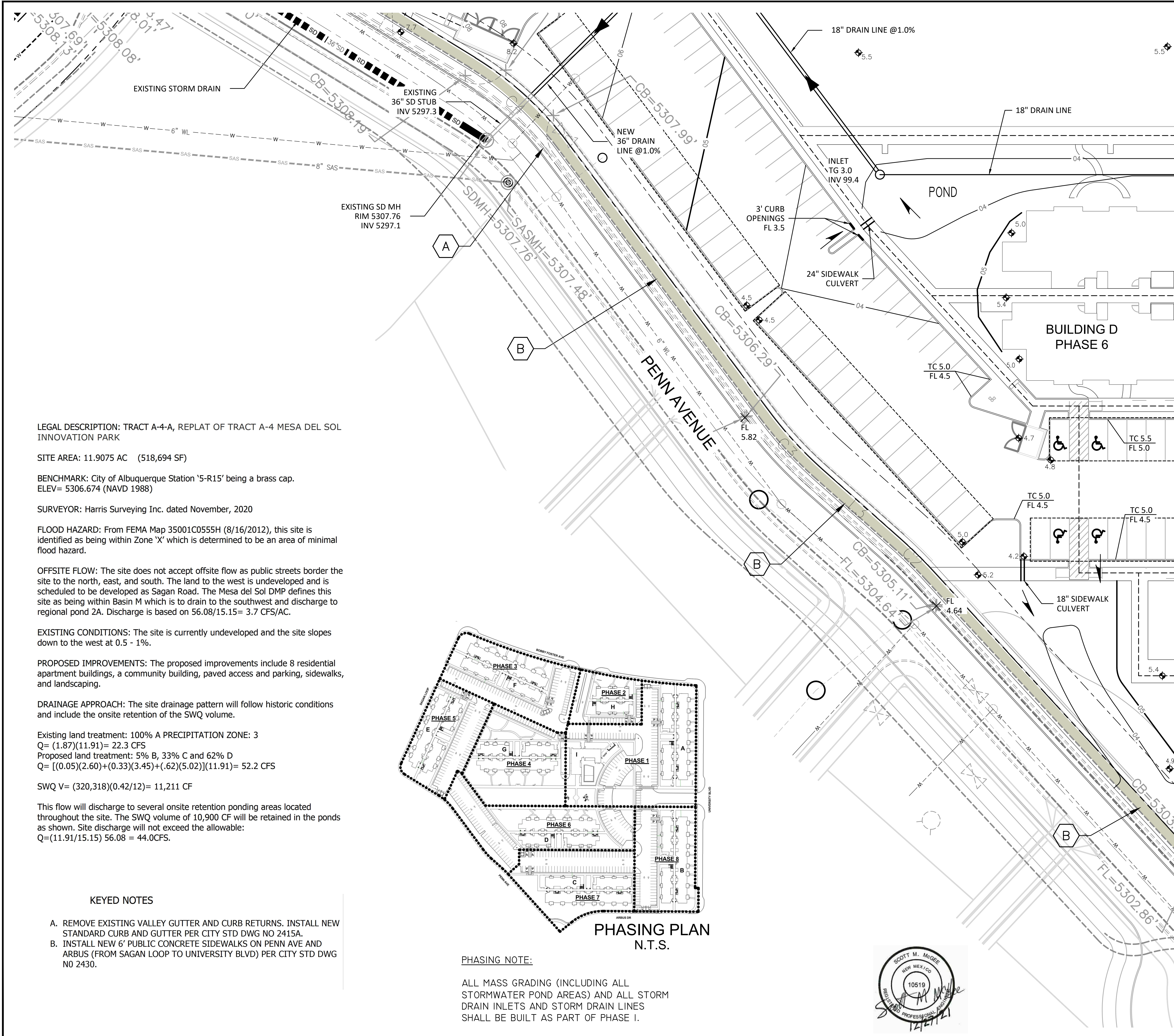
NOTE:

PUBLIC IMPROVEMENTS SHOWN IN UNIVERSITY BOULEVARD TO BE CONSTRUCTED BY CPN 393581 AND ARE NOT PART OF THIS WORK.

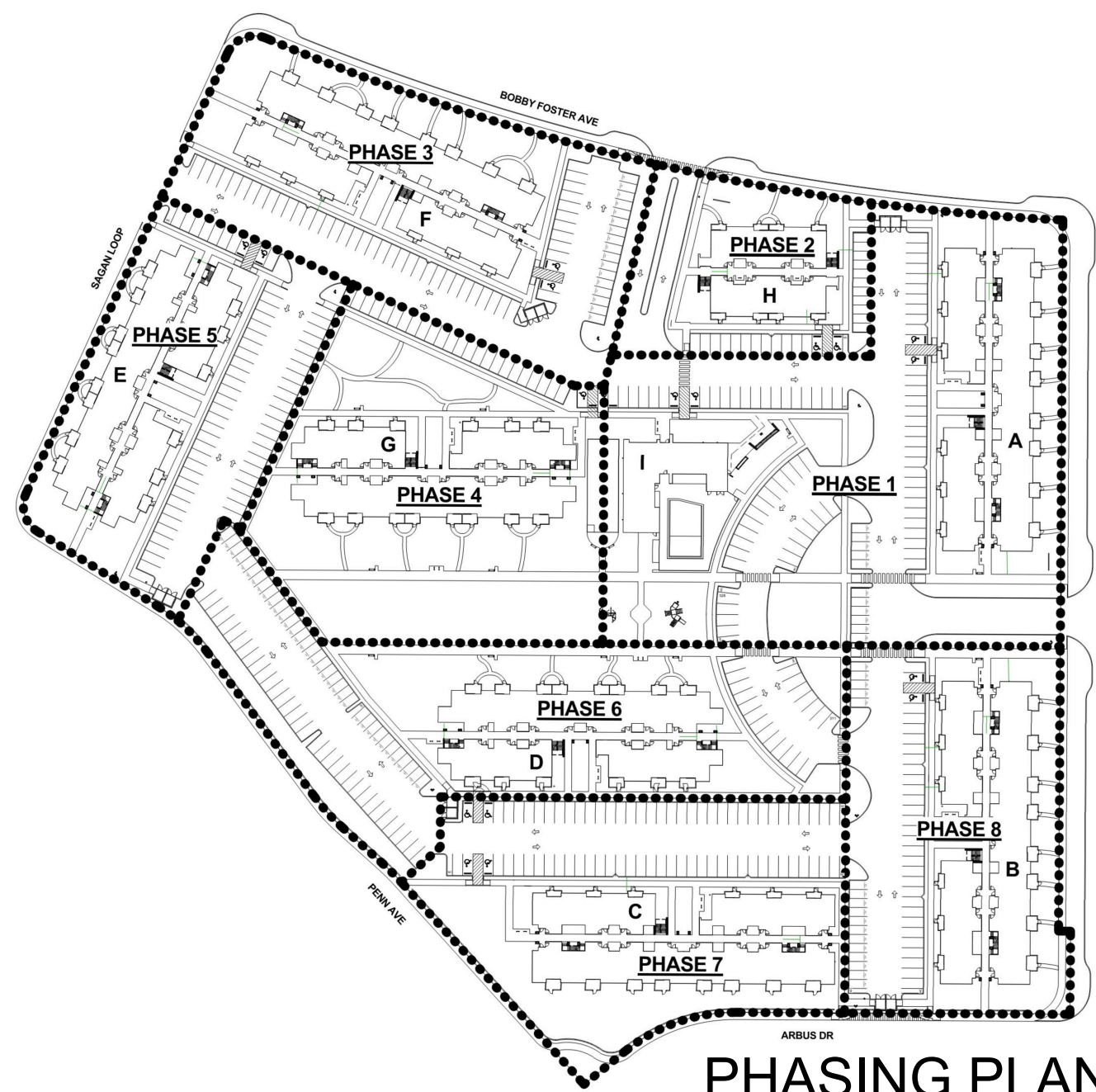
KEYED NOTES

- REMOVE EXISTING VALLEY GUTTER AND CURB RETURNS. INSTALL NEW STANDARD CURB AND GUTTER PER CITY STD DWG NO 2415A.
- INSTALL NEW 6' PUBLIC CONCRETE SIDEWALKS ON PENN AVE AND ARBUS (FROM SAGAN LOOP TO UNIVERSITY BLVD) PER CITY STD DWG NO 2430.

GRADING AND DRAINAGE PLAN
SHEET 3 - SW
ENCANTO APARTMENTS
MESA DEL SOL
DECEMBER, 2021



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PHASING PLAN
N.T.S.

PHASING NOTE:

ALL MASS GRADING (INCLUDING ALL STORMWATER POND AREAS) AND ALL STORM DRAIN INLETS AND STORM DRAIN LINES SHALL BE BUILT AS PART OF PHASE I.

NOTE:

PUBLIC IMPROVEMENTS SHOWN IN SAGAN LOOP TO BE CONSTRUCTED BY CPN 393581 AND ARE NOT PART OF THIS WORK.

NOTE:

PUBLIC IMPROVEMENTS SHOWN IN BOBBY FOSTER AVENUE TO BE CONSTRUCTED BY CPN 393581 AND ARE NOT PART OF THIS WORK.

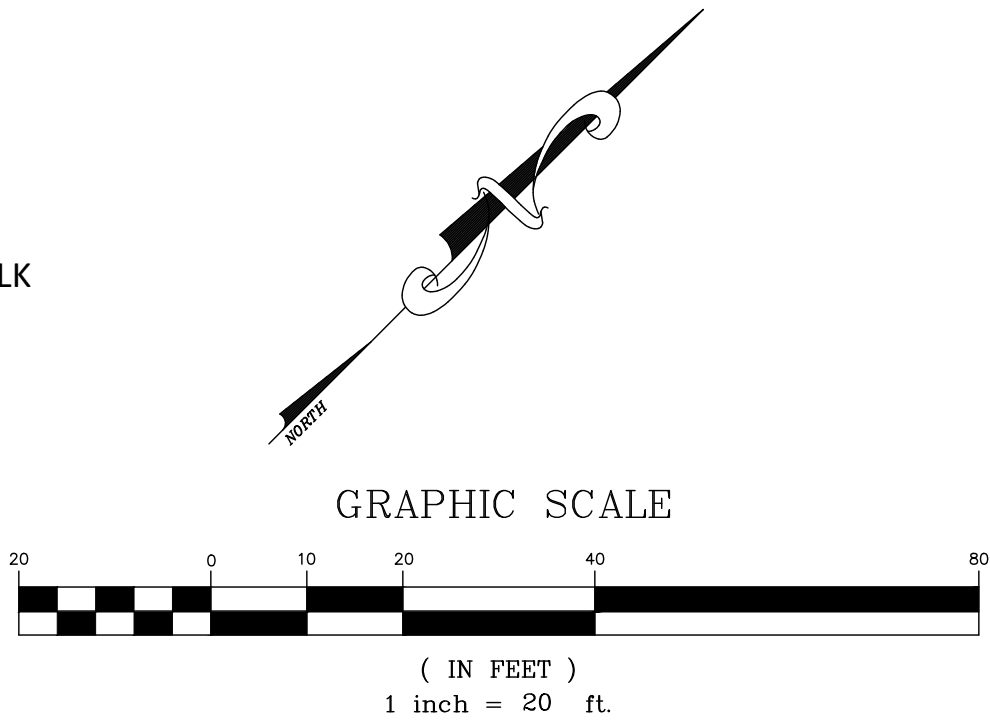
GRADING AND DRAINAGE PLAN
SHEET 4 - NW

ENCANTO APARTMENTS
MESA DEL SOL

DECEMBER, 2021

Legend

- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW CONTOUR - MAJOR
- NEW CONTOUR - MINOR
- STORM DRAIN
- STORM DRAIN INLET
- SPOT ELEVATION
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