

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 2, 2024

David Hickman, R.A
Jeebs & Zuzu, LLC
5924 Anaheim Ave. NE
Albuquerque, NM 87108

Re: Encanto Apartments at Mesa Del Sol/ PHASE 6/ 2500 Bobby Foster Ave. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-04-21 (R16-D101)
Certification dated 07-29-24

Dear Mr. Hickman,

Based upon the information provided in your submittal received 07-30-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Encanto - Building D **Building Permit #** BP-2021-49123 **Hydrology File #** _____

DRB# SI-2021-0057; PR-2020-004138 **EPC#** _____

Legal Description: Mesa del Sol Innovation Park **City Address OR Parcel** 2500 Eastman Crossing Building E

Applicant/Agent: Jeebs & Zuzu, LLC **Contact:** Dave Hickman

Address: 5924 Anaheim Ave., NE Ste A; Albuquerque, NM 87113 **Phone:** 505-797-1318

Email: dave@jeebsandzuzu.com

Applicant/Owner: Encanto QOZB, LLC **Contact:** Clayton Damron

Address: 3021 Citrus Circle, Suite 130, Walnut Creek, CA 94598 **Phone:** 435-571-0404

Email: cdamron@cruachancapital.com

TYPE OF DEVELOPMENT: _____ PLAT (#of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE: _____

RE-SUBMITTAL: _____ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: [REDACTED] 7/29/24

July 29, 2024

Ernest Armijo, PE
Transportation Development
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Request for Certificate of Occupancy – DRB for TCL
Project No: PR-2020-004138; SI-2021-00574
BP-2021-49123

Dear Mr. Armijo,

Please find a completed request for final inspection of Encanto at Mesa Del Sol, Building D in request of Certificate of Occupancy for this building.

The construction of Building D is now complete and ready for inspection.

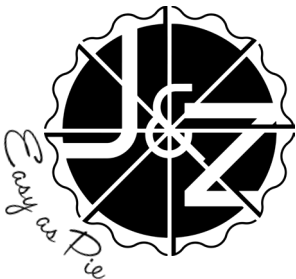
I have attached with this letter the certification, the Approved DRB Site Plan, and the Drainage and Transportation Information Sheet.

Within this phase of the site, no additional field adjustments have been made. As noted in last month's request letter for Buildings I and J, the EV charging stations are being relocated to the south side of the radius parking and will be powered by the transformer located on the north side of Building B. Due to availability issues, the EV charging stations will now be delivered with Building B.

As a reminder, the Owner has agreed to complete a slurry coating over the entire asphalt parking lot and restriping of all spaces with the completion of the last phase of the project. Some asphalt repair is needed in this section of the site. It will be completed with the refresh project.

Please contact me if you have any questions or concerns.
We certainly appreciate your help!

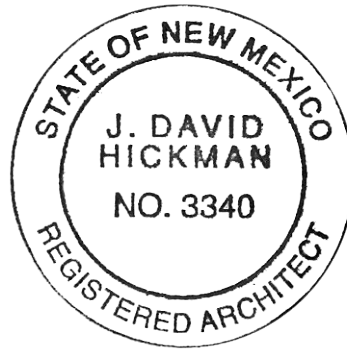

J. David Hickman,
Architect



5924 Anaheim Ave., NE Suite A Albuquerque, NM 87113 505-797-1318

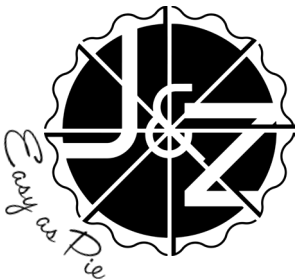
I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, ENCANTO AT MESA DEL SOL, 2500 EASTMAN CROSSING – BUILDING D, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE AMENDED DRB, AA OR TCL APPROVED PLAN DATED 11/4/21. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 24, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

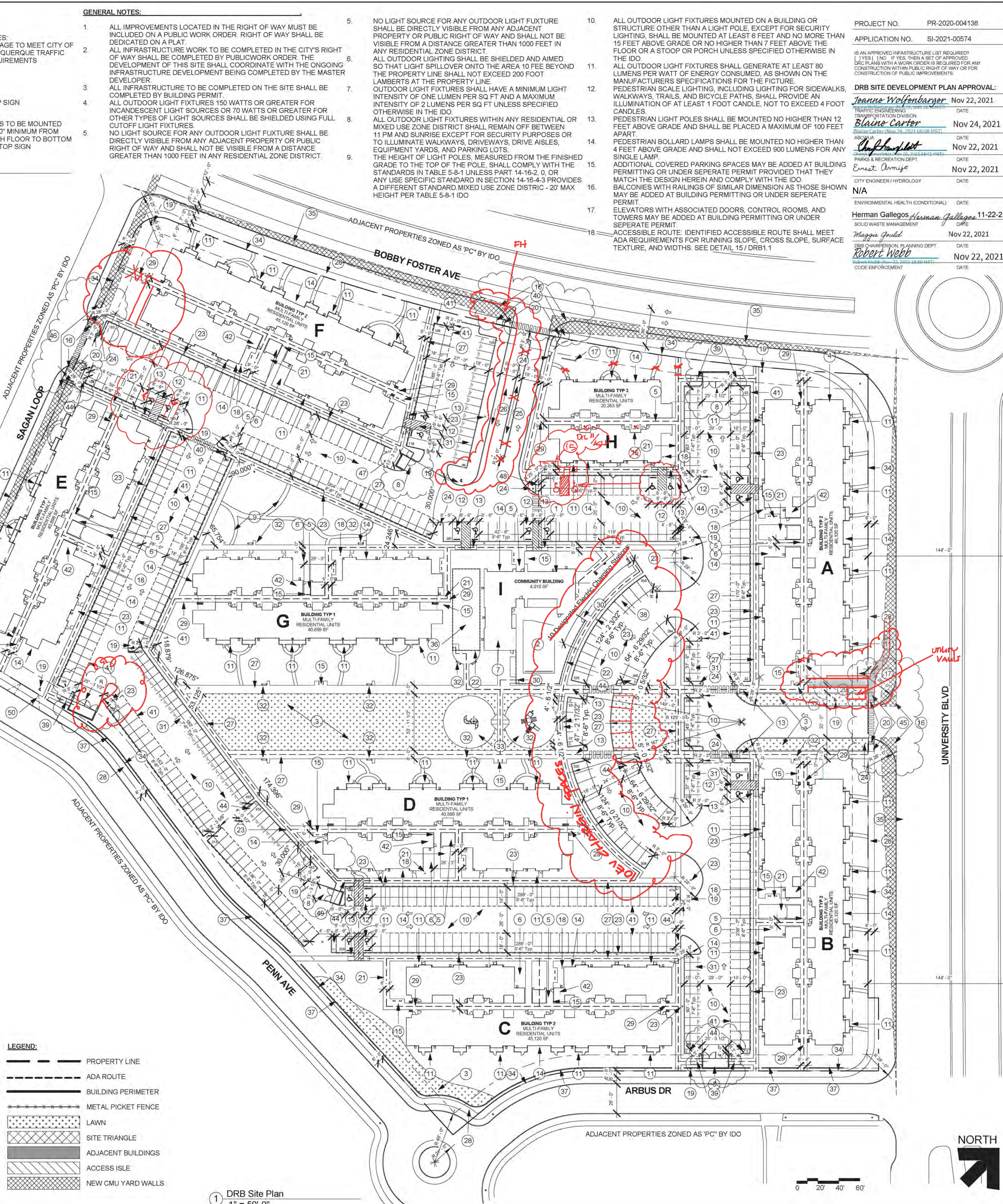
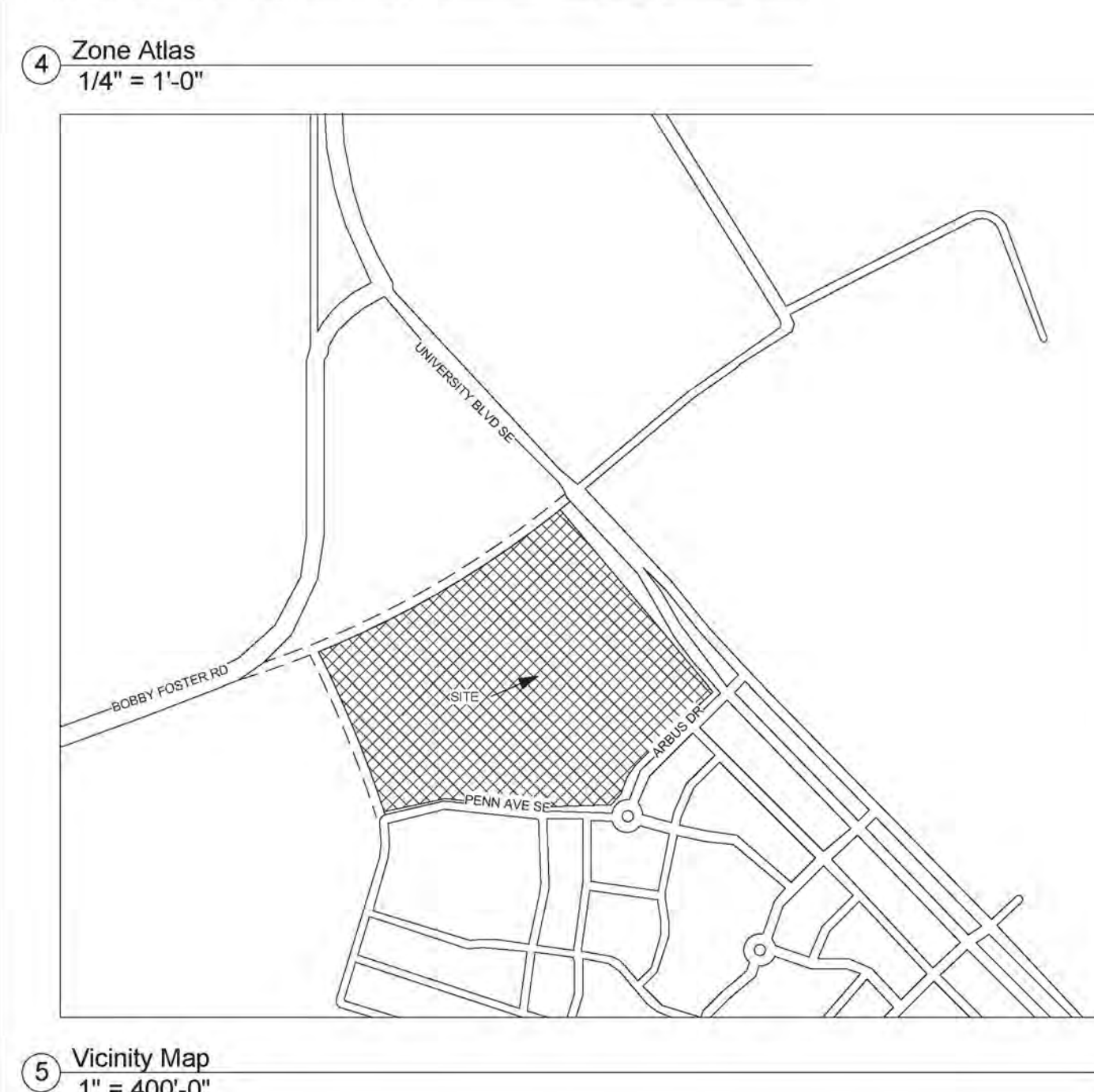
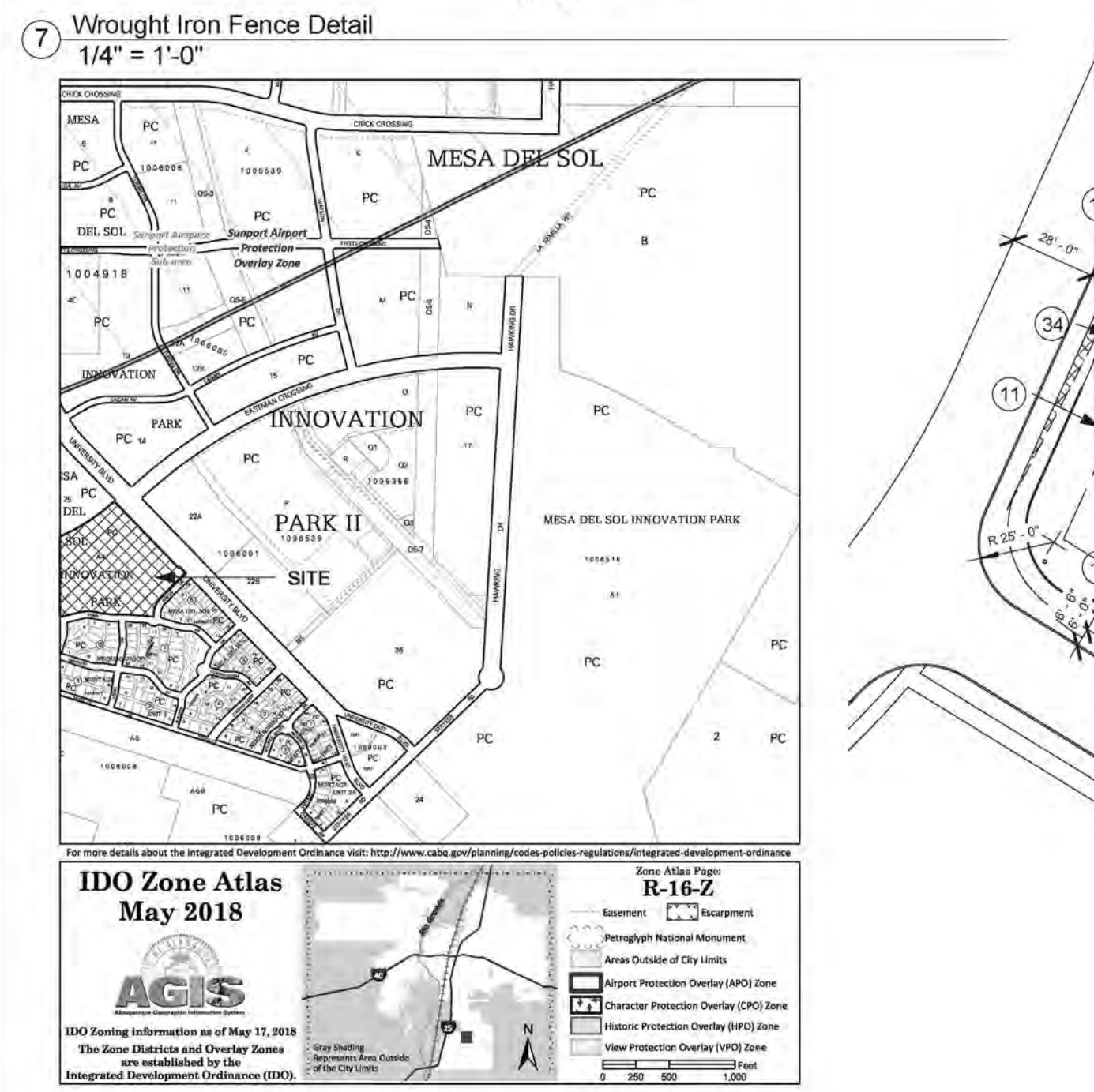
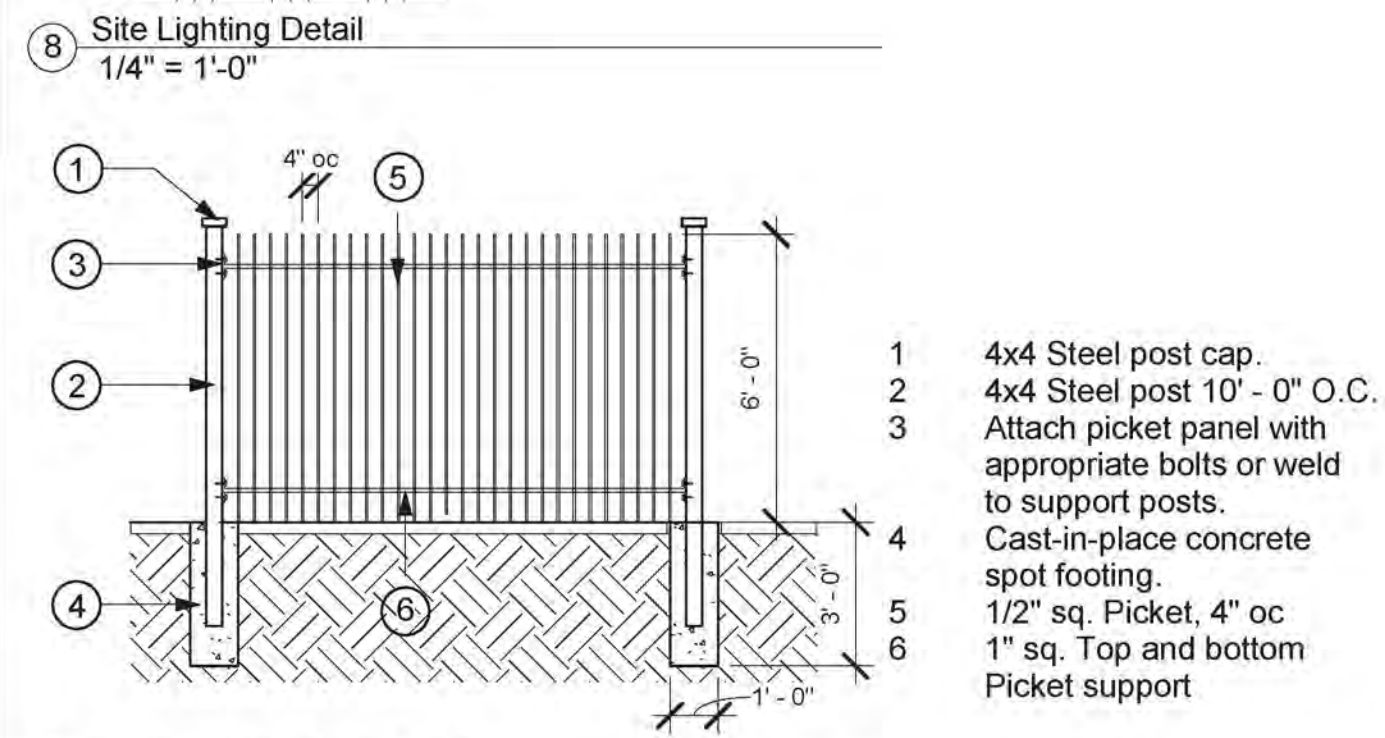
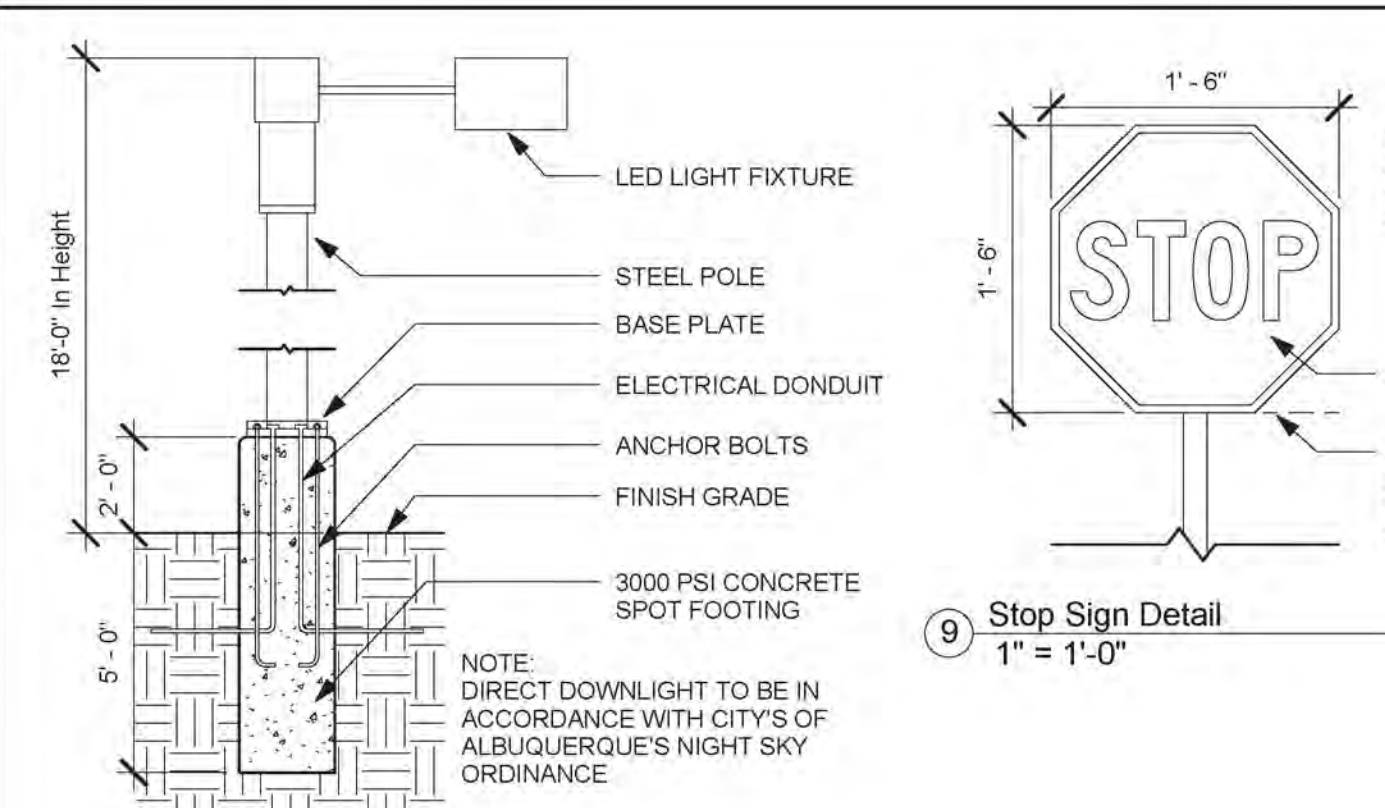

J. David Hickman
Architect



7/29/24

Date:





SITE PLAN LEGEND:	
1. COMMUNITY BUILDING	
2. SWIMMING POOL	
3. LAWN	
4. "GATEWAY" WALL, MOUNTED SIGN - SEE ELEVATION	
5. PRIMARY BUILDING ENTRY	
6. OUTDOOR GATHERING AREA	
7. MAINTENANCE RM	
8. GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 6-8 / DRB1.1	
9. FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS	
10. DRAINAGE POND	
11. ASPHALT DRIVEWAY	
12. UNIT PATIOS - 3'-0" SPLIT FACE CMU - COLOR: DARK GRAY - SEE ELEVATIONS	
13. ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAILS 5 & 9 / DRB1.1 FOR ADA PARKING SPACE DIMENSIONS	
14. ADA CURB RAMP - SEE DETAIL 10/DRB1.1 FOR CURB RAMP SLOPES AND DIMENSIONS	
15. BUILDING IDENTIFIER SIGN TO BE ILLUMINATED - SEE DETAIL 16 / DRB 1.1	
16. (4) BICYCLE RACK ARCHES (8 SPACE) PER 7.4.115 OF CITY OF ALBUQUERQUE DPM - SEE DETAILS 11 - 12 / DRB1.2	
17. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, SHURBERRY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE	
18. MONUMENT SIGN - SEE DETAILS 1-3 / DRB1.1	
19. POST INDICATOR VALVE	
20. FIRE HYDRANT	
21. DETECTABLE WARNING STRIP, PLEASE SEE DETAIL 1 ON AS1.3 FOR DETECTABLE WARNING STRIP DETAILS AND DETAILS 4-6 ON AS1.1 FOR APPLICATION OF THOSE DETAILS ON PROJECT. ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING CORRIDOR	
22. 6'-0" SECURITY VIEW FENCING (<50% OPAQUE), ROD IRON, METAL PICKET @ POOL DECK AND DOG PARK- COLOR: BLACK - SEE DETAIL 10/DRB1.1	
23. 16' POLE MOUNTED SITE LED DOWNLIGHT W/ CUTOFF - LIGHTING TO BE COMPLIANT W/ ABQ NIGHT SKY ORDINANCE. NEW STOP SIGN - SEE DETAILS	
24. NEW MEDIAN - SEE CIVIL SHEETS	
25. PRIMARY ENTRANCE	
26. ALL PEDESTRIAN WALKWAY WIDTHS (WALKWAYS ALONG PARKING LOTS TO THE BUILDINGS AND BUILDING ENTRY WALKS) SHALL UNIVERSALLY BE 8'-0" WIDE MINIMUM UNLESS OTHERWISE DIMENSIONED TO BE LARGER. NEW CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%	
27. BUILDING SIDEWALK ALONG ARBUS AND PENN ALONG PROPERTY LINE AS PART OF BUILDING PERMIT SET PER COA STANDARD 2430. SEE DETAIL 3 ON AS1.3. OTHER SIDEWALKS BY MESA DEL SOL CORPORATION IN ALTERNATE WORK ORDER	
28. SECONDARY BUILDING ENTRANCE	
29. POOL GATE	
30. COMPACT PARKING - SEE DETAIL 5/DRB1.1 FOR ALL PARKING DIMENSIONS	
31. ALL WEATHER PERMANENT MOUNTED BENCH W/ 30"x48" LEVEL CONCRETE PAD AT ONE SIDE	
32. ADA PLAYGROUND AND TOT LOT PER MFA STANDARDS	
33. PROPERTY LINE	
34. CONTINUATION OF BIKE LANE	
35. DOG PARK	
36. 5' HIGH STUCCO COATED CMU WALL (TAN) - SEE 15/AS1.1 A MINIMUM OF 10' OF THESE PARKING SPACES TO BE LABELED AS "ELECTRIC VEHICLE PARKING" CHARGING STATIONS ARE TO HAVE A MIN. OF 240 V RATING. SEE DETAIL 5 FOR PARKING STALL DIMENSIONS	
37. ADA CURB RAMP AT REFUSE ENCLOSURES - SEE DETAIL 3/DRB1.2 FOR SLOPES AND DIMENSIONS	
38. ADA CURB RAMP AT CROSS WALK - SEE DETAIL 5/DRB1.2 FOR SLOPES AND DIMENSIONS	
39. ADA CURB RAMP AT REFUSE ENCLOSURES - SEE DETAIL 3/DRB1.2 FOR SLOPES AND DIMENSIONS	
40. ADA CURB RAMP AT CROSS WALK - SEE DETAIL 5/DRB1.2 FOR SLOPES AND DIMENSIONS	
41. ADA CURB RAMP AT REFUSE ENCLOSURES - SEE DETAIL 3/DRB1.2 FOR SLOPES AND DIMENSIONS	
42. ADA CURB RAMP AT CROSS WALK - SEE DETAIL 5/DRB1.2 FOR SLOPES AND DIMENSIONS	
43. ADA CURB RAMP AT REFUSE ENCLOSURES - SEE DETAIL 3/DRB1.2 FOR SLOPES AND DIMENSIONS	
44. ADA CURB RAMP AT CROSS WALK - SEE DETAIL 5/DRB1.2 FOR SLOPES AND DIMENSIONS	
45. REMOVE EXISTING DRIVE PAD	
PARKING CALCULATIONS:	
PER CITY OF ALBUQUERQUE IDO 14-16-5-5, 1.5 PARKING IS REQUIRED FOR EVERY UNIT	318 UNITS x 1.5
PARKING SPACES REQUIRED	477 SPACES
PER LEVEL B MASTER PLAN	
3 BR = 36 X 2 = 72	
2 BR = 144 X 1.5 = 216	
1 BR = 138 X 1 = 138	
ON STREET PARKING	0 SPACES
COMPACT PARKING SPACES PROVIDED	91 SPACES
ADA PARKING REQUIRED 1 / ADA UNIT	
ADA PARKING SPACES REQUIRED	
NMBC TABLE 1106.1 = 12 SPACES W/ 2 VAN ACCESSIBLE	
ADA STANDARD PARKING SPACES PROVIDED	9 SPACES
VAN ACCESSIBLE PARKING SPACES PROVIDED	9 SSPACES
STANDARD PARKING SPACES PROVIDED	359 SPACES
ELECTRIC PARKING SPACES PROVIDED	10 SPACES
TOTAL # OF AUTOMOBILE PARKING SPACES PROVIDED	478 SPACES
478 > 477 > 426	
MOTORCYCLE PARKING SPACES REQUIRED	6 SPACES
MOTORCYCLE PARKING PROVIDED	13 SPACES
BICYCLE PARKING SPACES REQUIRED	
10 % OF OFF STREET PARKING	48 SPACES
BICYCLE PARKING SPACES PROVIDED	72 SPACES
USEABLE OPEN SPACE CALCULATIONS:	
USEABLE OPEN SPACE REQUIREMENTS:	
1 BR - 225 SF = 138 UNITS = 31,050 SF	
2 BR - 285 SF = 144 UNITS = 41,040 SF	
3 BR - 350 SF = 36 - 12,600 SF	
USEABLE OPEN SPACE PROVIDED:	84,690 SF REQUIRED
CONCRETE SIDEWALKS	59,546 SF
PATIOS / POOL / POOL DECK	9,094 SF
LANDSCAPE AREA	175,936 SF
USEABLE OPEN SPACE PROVIDED:	207,786 SF PROVIDED
SITE DATA:	
LOT #/ACRE:	518,455 SF 11.9 ACRES
ZONING:	PC
INTENDED USE:	DWELLING / MULTI FAMILY (318 UNITS)
MAXIMUM HEIGHT:	35 FEET

job no: 20-026

drawn: EAM

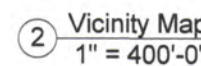
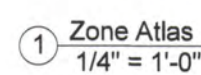
checked: J&Z

date: Nov. 4, 2021

GATEWAY APARTMENTS
MESA DEL SOL

UNIVERSITY BLVD SE
ALBUQUERQUE NM 87066

sheet no: ASI.O



PHASE	# OF UNITS	# OF SPACES REQUIRED	SPACES PROVIDED
1(a)	42	+ 63	89
(h)	24	99	114
2 (f)	42	135	179
3 (g)	42	198	205
4 (e)	42	261	269
5 (i&j)	0	0	269
6 (d)	42	324	358
7 (c)	42	387	431
8 (b)	42	450	479

BUILDING	AREAS
A	40,686 SF
B	40,686 SF
C	40,686 SF
D	36,435 SF
E	36,435 SF
F	40,686 SF
G	36,435 SF
H	17,880 SF
I	3,989 SF
J	3,474 SF

PHASE	AREAS
1 (a&h)	27,671 SF
2 (f)	17,984 SF
3 (g)	21,468 SF
4 (e)	11,010 SF
5 (i&j)	14,826 SF
6 (d)	17,727 SF
7 (c)	21,295 SF
8 (b)	17,137 SF
TOTAL	149,118 SF



PR-2020-004138

No design change since 8/15/23 Minor Amendment.

Updated phasing consistent with original 9/22/21 (signed 11/22/21) DRB approval.

PARKING CALCULATIONS:

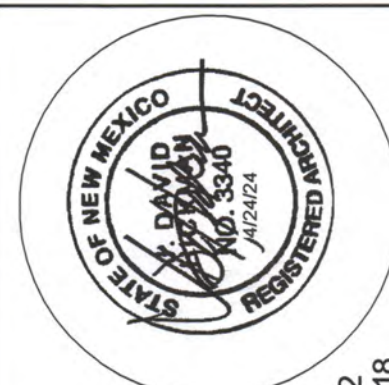
PER CITY OF ALBUQUERQUE IDO 14-18-5-5. 15 PARKING IS REQUIRED FOR EVERY UNIT	318 UNITS x 1.5
PARKING SPACES REQUIRED	477 SPACES
TOTAL # OF AUTOMOBILE PARKING SPACES PROVIDED	<u>461 SPACES</u>
OFF STREET STANDARD PARKING	384 SPACES
ON STREET PARKING	9 SPACES
COMPACT PARKING SPACES PROVIDED EV PARKING	69 SPACES 10 SPACES
ADA PARKING REQUIRED / ADA UNIT	17 SPACES
ADA PARKING SPACES REQUIRED NMBG TABLE 1106.1 = 12 SPACES W/ 2 VAN ACCESSIBLE	12 SPACES
ADA PARKING SPACES PROVIDED	18 SPACES
VAN ACCESSIBLE PARKING SPACES PROVIDED	9 SPACES
COVERED PARKING SPACES PROVIDED	0 SPACES
MOTORCYCLE PARKING SPACES REQUIRED MOTORCYCLE PARKING PROVIDED	6 SPACES 12 SPACES
BICYCLE PARKING SPACES REQUIRED 10% OF OFF STREET PARKING	48 SPACES
BICYCLE PARKING SPACES PROVIDED	72 SPACES
TOTAL # OF AUTOMOBILE PARKING SPACES PROVIDED	<u>479 SPACES</u>

USEABLE OPEN SPACE CALCULATIONS

USEABLE OPEN SPACE REQUIREMENTS:	
1 BR - 225 SF - 38 UNITS - 31,050 SF	
2 BR - 285 SF - 144 UNITS - 41,040 SF	
3 BR - 350 SF - 36 - 12,600 SF	<u>84,690 SF REQUIRED</u>
USEABLE OPEN SPACE PROVIDED:	
CONCRETE SIDEWALKS	79,560 SF
PATIOS / POOL / POOL DECK	19,508 SF
LANDSCAPE AREA	149,118 SF
	<u>248,186 SF PROVIDED</u>

SITE DATA:

LOT SF/ACRE: 510,919.60 SF 11.729 ACRES
ZONING: PC
INTENDED USE: DWELLING / MULTI FAMILY (318 UNITS)
MAXIMUM HEIGHT: 35 FEET



"EASY AS PIE"

JEEBS & ZUZU, LLC.

ARCHITECTS & CONTRACTORS

11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87112
P: 505-797-1318



job no: 20-026

drawn Author

checked: _____ Checker: _____

date: 4/24/24

WWW.JEEB&ANDZUZU.COM

PHASING PLAN - UPDATED

ENCANTO APARTMENTS
MESA DEL SOLUNIVERSITY BLVD SE
ALBUQUERQUE NM 87106

PH-1



15 Site Wall Section Detail
1/2" = 1'-0"

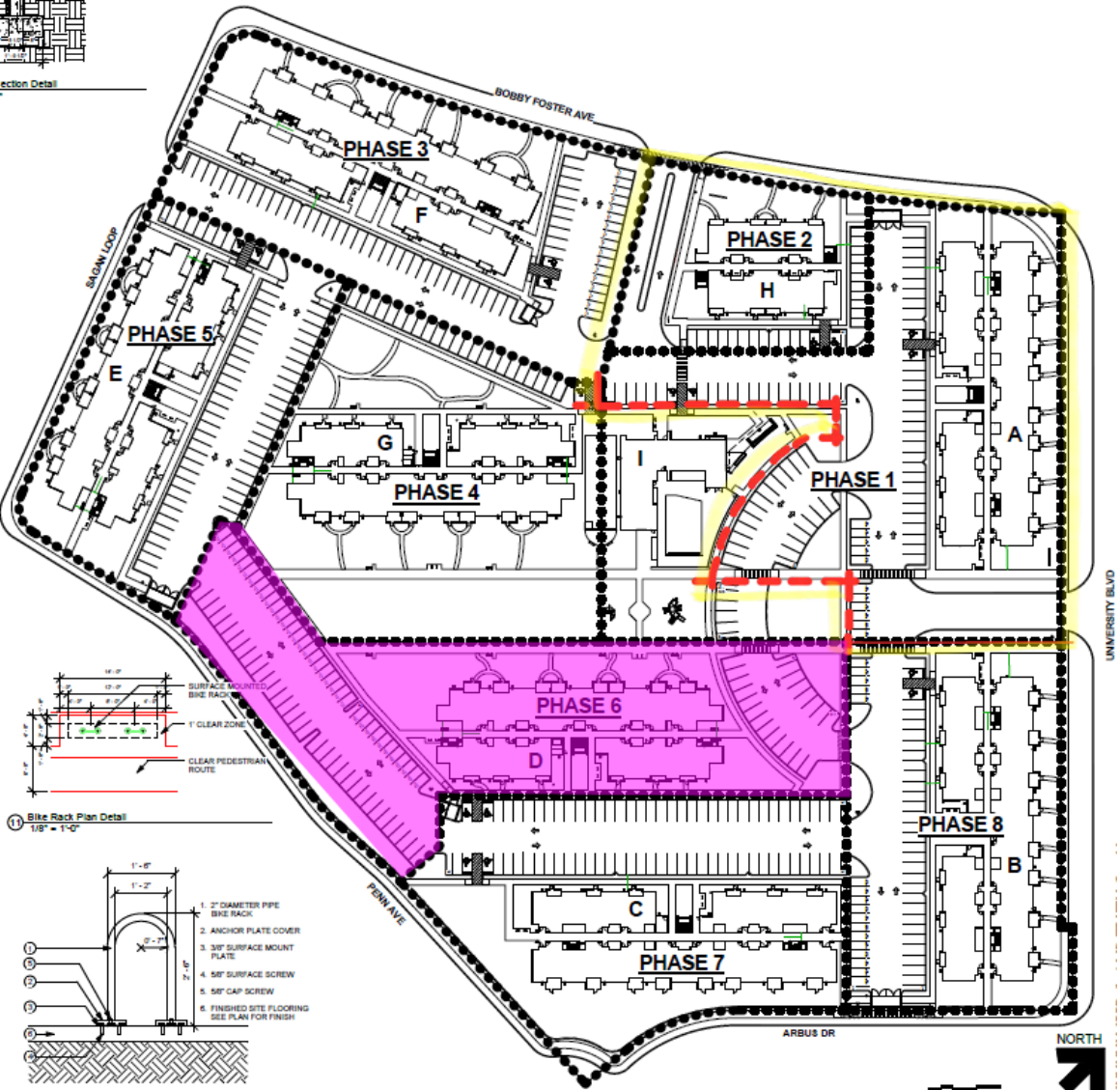
E AREA - SEE
E PLAN

JSS WALK STRIPPING

RETTE SIDEWALK
OPEN NOT TO

RETTE SIDEWALK
OPEN NOT TO
E AREA - SEE
E PLAN

S INTO ENCLOSED
EA



16 Bike Rack Detail

Phase Plan

