

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 28, 2024

Scott McGee, PE
SMM PE LLC
PO BOX 1273
Elephant Butte, NM 87935

**RE: Encanto Apartments – Bldg. E
2500 Eastman Crossing SE
Temporary Certificate of Occupancy
Engineer's Certification Date: 6/17/24
Engineer's Stamp Date: 3/7/22
Hydrology File: R16D101**

Dear Mr. McGee:

Based on the Engineer's Partial Grading and Drainage Certification received 06/25/2024 and site visit on 6/27/2024, this letter serves as a "green tag" from Hydrology Section for a 30-day Temporary Certificate of Occupancy for the Encanto Apartments, Building E to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

Install the steel plates on all of the sidewalk culverts where they are missing in the area and provide proof of installation to Hydrology when complete.

Please resubmit for a request for permanent release of Certificate of Occupancy once the above items are complete.

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

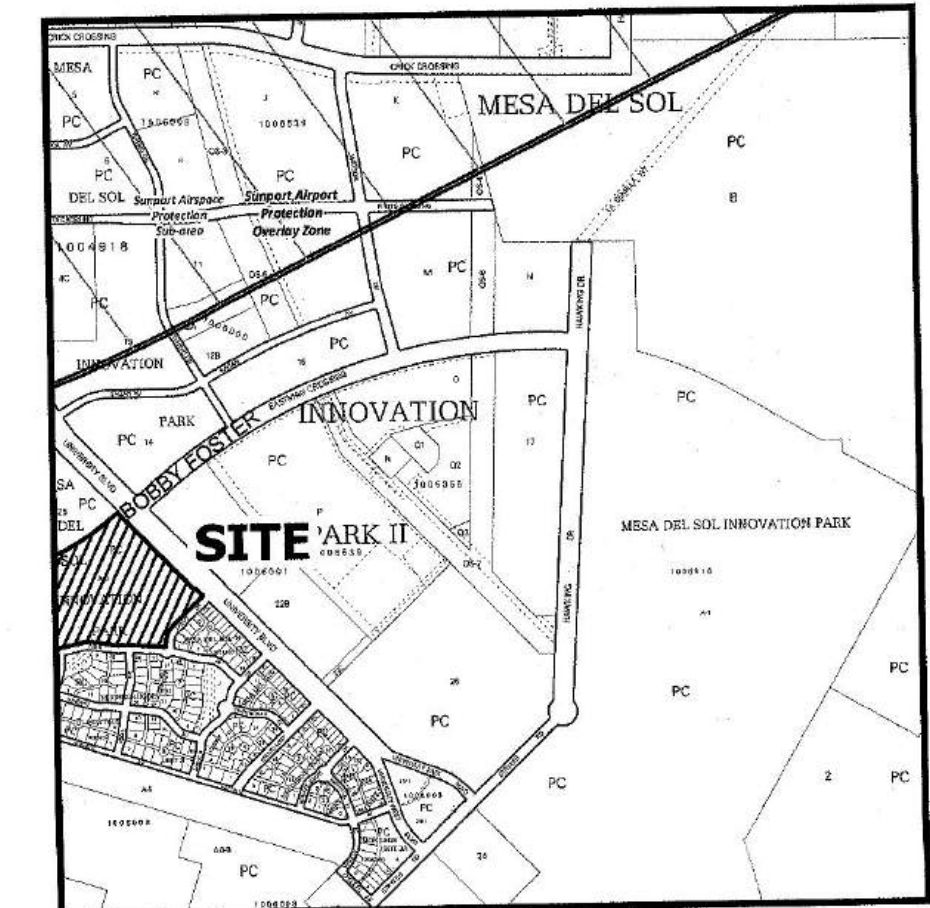
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

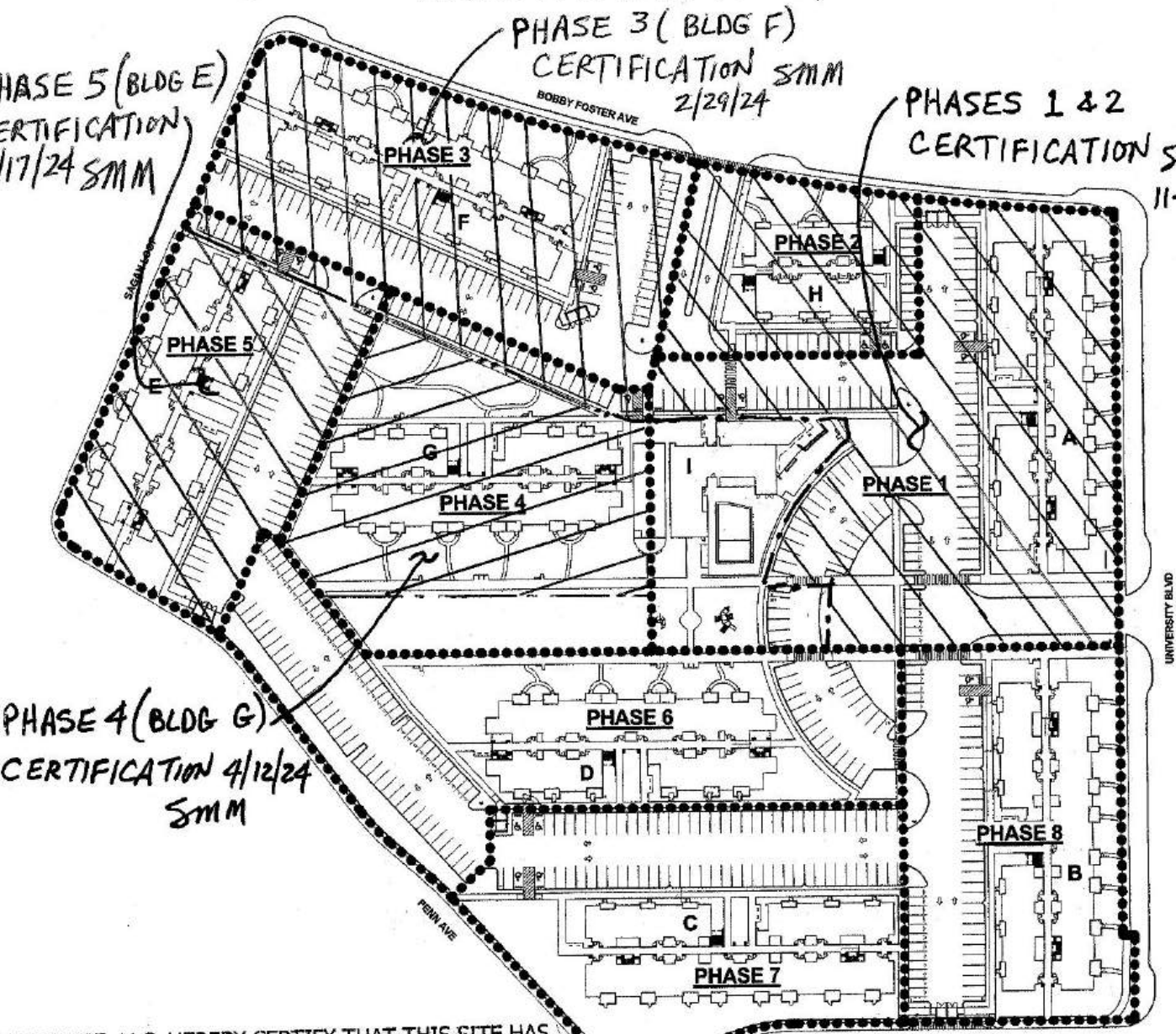
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GRADING AND DRAINAGE PLAN
SHEET 1 - NE
ENCANTO APARTMENTS
MESA DEL SOL
MARCH, 2022



VICINITY MAP
ZONE ATLAS R-16-Z
PHASE 3 (BLDG F)
CERTIFICATION SMM
2/29/24
PHASES 1 & 2
CERTIFICATION SMM
11-29-23



PHASING PLAN
N.T.S.

PHASING NOTE:
ALL MASS GRADING (INCLUDING ALL STORMWATER POND AREAS) AND ALL STORM DRAIN INLETS AND STORM DRAIN LINES SHALL BE BUILT AS PART OF PHASE I.

- KEYED NOTES:**
1. INSTALL 18" SIDEWALK CULVERT PER CITY STANDARD DRAWING 2236.
 2. INSTALL 6" TRENCH DRAIN (ZURN Z886) OR APPROVED EQUAL.
 3. INSTALL 3' CURB OPENING

Legend

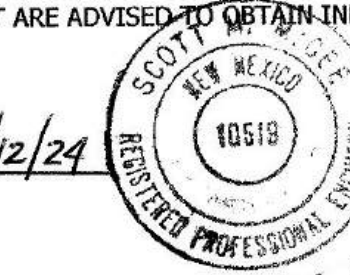
| | |
|--------|--------------------------|
| X 4.15 | AS-BUILT ELEVATION |
| — 05 — | EXISTING CONTOUR - MAJOR |
| — 04 — | EXISTING CONTOUR - MINOR |
| — 04 — | NEW CONTOUR - MAJOR |
| — 04 — | NEW CONTOUR - MINOR |
| — 05 — | DRAINAGE BASIN BOUNDARY |
| — 05 — | STORM DRAIN |
| — 05 — | STORM DRAIN INLET |
| — 05 — | SPOT ELEVATION |
| — 05 — | FLOW DIRECTION |
| — 05 — | ROOF DRAIN |
| — 05 — | FINISH FLOOR ELEVATION |
| — 05 — | COVERED PARKING AREA |
| — 05 — | TOP OF CURB |
| — 05 — | FLOW LINE |
| — 05 — | TOP OF ASPHALT |
| — 05 — | TOP OF RETAINING WALL |
| — 05 — | BOTTOM OF RETAINING WALL |



DRAINAGE CERTIFICATION (PHASE 4)
I, SCOTT M. MCGEE, NMPE 10519, OF THE FIRM SCOTT M. MCGEE P.E., LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN MASS GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/07/22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN WAS PROVIDED BY JASON NATERA, NMPLS # 27749, OF SOUDER MILLER & ASSOCIATES. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 4/3/24 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA SHOWN HEREON IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDING G.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

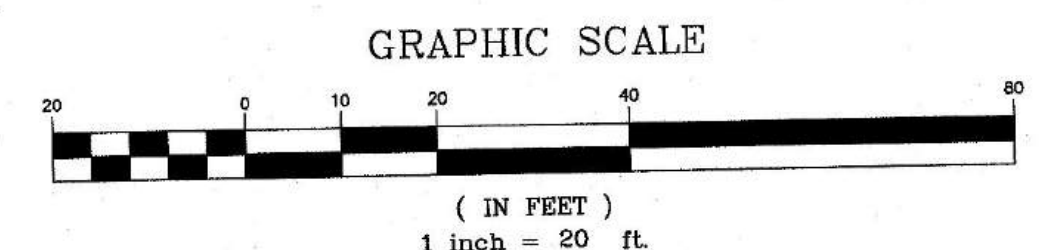
Scott M. McGee 4/12/24
SCOTT M. MCGEE, NMPE 10519



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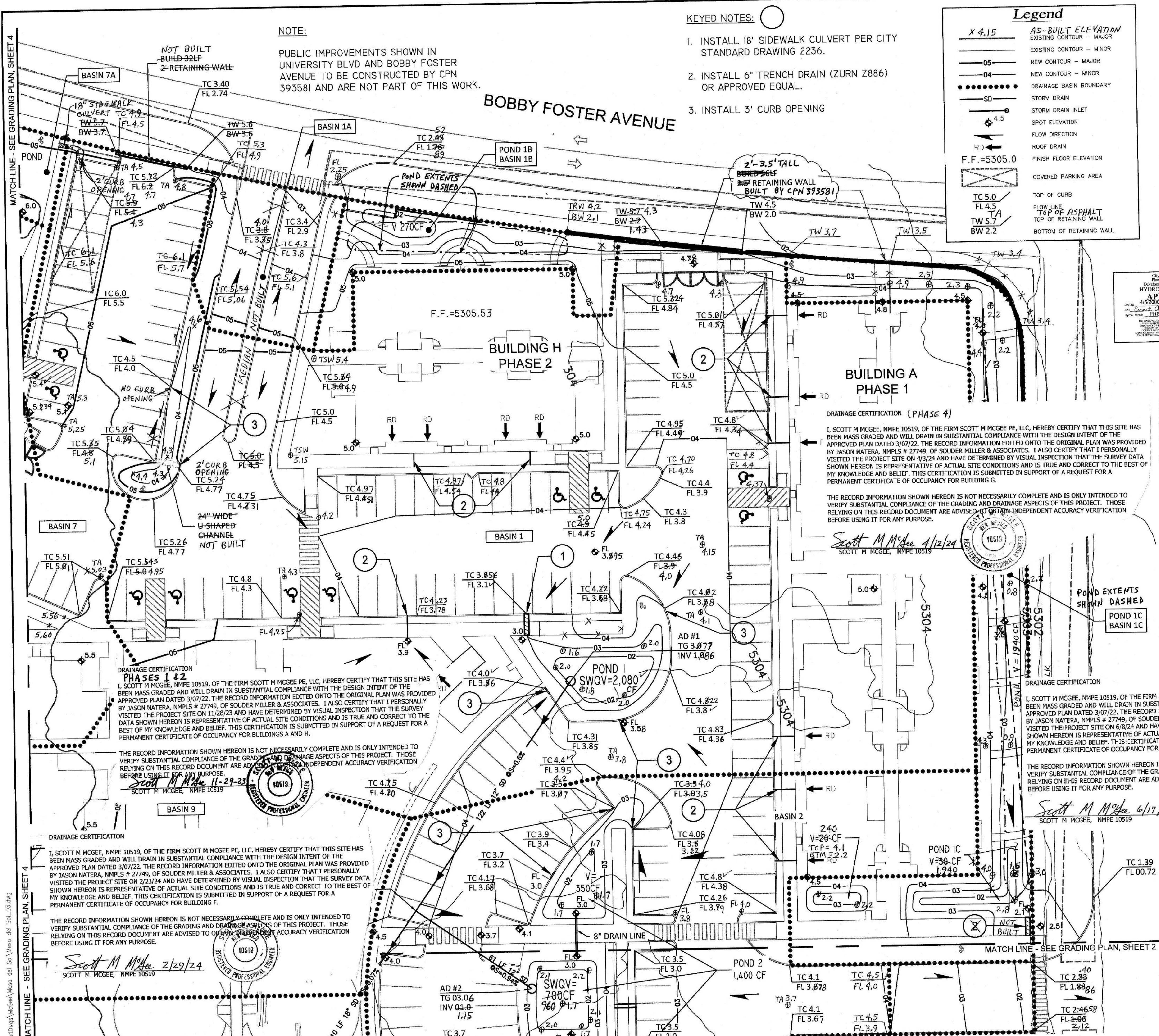
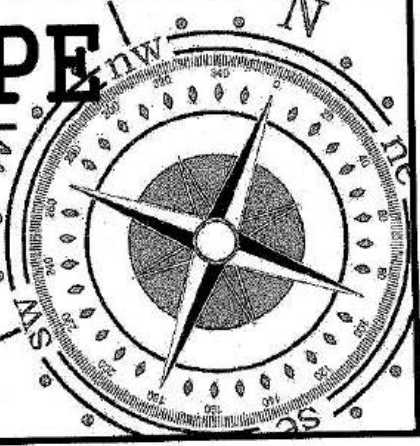
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Scott M. McGee 6/17/24
SCOTT M. MCGEE, NMPE 10519



Scott M McGee P.E.

9700 Sand Verbena Trail NE
Albuquerque, NM 87122
505.263.2905
scottmmcgee@gmail.com



DRAINAGE CERTIFICATION

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Scott M McGee 2/29/24
SCOTT M MCGEE, NMPE 10519

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2. INSTALL 6" TRENCH DRAIN (ZURN Z886) OR APPROVED EQUAL.
3. INSTALL 3' CURB OPENING

NOTE:

PUBLIC IMPROVEMENTS SHOWN IN SAGAN LOOP AND BOBBY FOSTER ROAD TO BE CONSTRUCTED BY CPN 393581 AND ARE NOT PART OF THIS WORK.

DRAINAGE CERTIFICATION

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Scott M McGee 4/12/24
SCOTT M MCGEE, NMPE 10519

GRADING AND DRAINAGE PLAN SHEET 4 - NW ENCANTO APARTMENTS MESA DEL SOL

MARCH, 2022

DRAINAGE CERTIFICATION

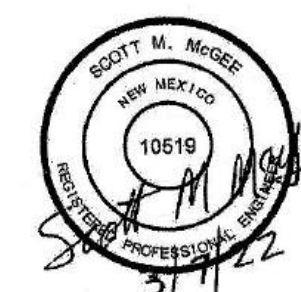
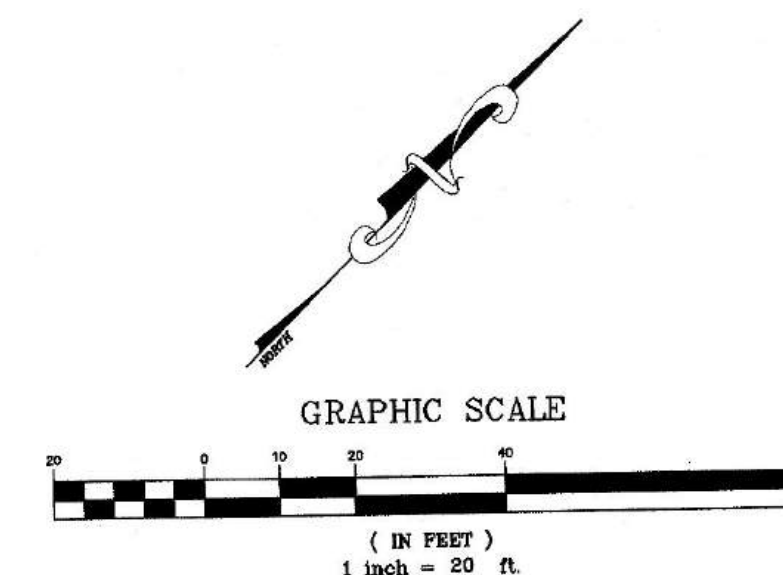
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Scott M McGee 6/17/24
SCOTT M MCGEE, NMPE 10519

| Legend | |
|--------|--------------------------|
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| | EXISTING CONTOUR - MINOR |
| | NEW CONTOUR - MAJOR |
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| | DRAINAGE BASIN BOUNDARY |
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| | ROOF DRAIN |
| | FINISH FLOOR ELEVATION |
| | COVERED PARKING AREA |
| | TOP OF CURB |
| | FLOW LINE |

X 7.6 AS-BUILT ELEVATION
TOP BTM AS-BUILT POND
Top



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