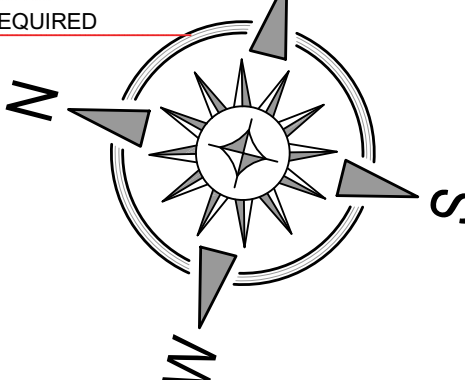
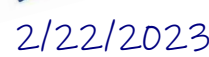






S14°03'17"E ~ 630.59'



1. Fire apparatus route shown per IFC 503.2.1 requirements -- 20' wide & 28' radii. Route is within 150' of all portions of the building. Route is less than 150' -- no turn around required.
2. The Fire Apparatus Access Road shall have a minimum of 13'-6" unobstructed height clearance.
3. Public water main sizes not shown on plans due to lack of information provided from ALTA survey and City of Albuquerque GIS.
4. Contractor / Geotechnical Engineer shall confirm pavement installation within the Fire Apparatus Access Road to support imposed load of fire apparatus weighing at least 75,000 lbs.
5. Pavement grades do not exceed 10% along Fire Apparatus Route.
6. Fire lane to be designated by curb painted red with "NO PARKING" and "FIRE LANE" text spaced per City of Albuquerque standards.
7. See Fire 2 Plan for information regarding building address location and Knox Box.
8. Premise ID: Building shall have approved address numbers or building identification placed in a position plainly legible and visible from the street or road fronting the property.

BUILDING AREA:	76,153 sq. ft.
BUILDING HEIGHT:	42'-3"
OCCUPANCY TYPE:	S-1 - Storage - Moderate-Hazard Storage
CONSTRUCTION TYPE:	II-B
OCCUPANT LOAD:	254 people
EXITS PROVIDED:	8
EXITS REQUIRED:	2
ZONING ORDINANCE:	City of Albuquerque Integrated Zoning Code
ZONE:	"PC" Planned Community
USE CATEGORY:	Warehousing
SPRINKLER SYSTEM:	Fully-Sprinklered
FIRE FLOW REQUIRED:	5,750 gpm

**FIRE LANE MARKINGS:**  
 - 6" RED BASE STRIPES WITH 4" WHITE LETTERS STATING  
 "NO PARKING - FIRE LANE" EVERY 15' BEHIND PARKING LINES AND ENTIRE  
 CURB WHERE APPLICABLE ALONG FIRE LANE PER CITY STANDARDS.  
 4. ADDITIONAL SIGNAGE OR OTHER NOTICES OR MARKING THAT  
 INCLUDE THE WORDS "NO PARKING - FIRE LANE" MAY BE REQUIRED TO  
 FURTHER IDENTIFY SUCH ROADS AND PROHIBIT OBSTRUCTION;  
 CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT.

FIRE 1 LEGEND	
	DIRECTIONAL PARKING LOT ARROW
	EXISTING FIRE HYDRANT
	FIRE ACCESS ROUTE
	RED FIRE LANE PAINT ON CURB FACE

SITE DEVELOPMENT PLANS FOR  
**MDS WAREHOUSE**  
5550 TURING DRIVE S.E.  
TRACT I-1, MESA DEL SOL, INNOVATION PARK II  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



**BURKHARDT**  
ENGINEERS ▾ SURVEYORS

28 North Cherry Street | Garamatstown, Ohio 45321 | Phone: 537-388-0060 | [info@burkhardtinc.com](mailto:info@burkhardtinc.com)

Design: RJM	Proj: 22.256
Draw: MCM	Dwg: 22-256.dwg
Check: RJM	Tab: C2.1-FP
Scale: 1" = 30'	
Date: 02.22.2023	

FIRE 1 PLAN

Sheet No.:

## C-2.1

TRACT 1-2  
MESA DEL SOL  
INNOVATION PARK II

N75°56'48"E ~ 405 96'

CHOA AVENUE SE



Know what's **below**.  
**Call** before you dig

 **VERTICAL & HORIZONTAL CONTROL:**  
Reference - ALTA / NSPS Land Survey of the subject property  
prepared by Terra Land Surveys, LLC., dated, February 23rd, 2022.