

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2025

Rick Beltramo/Jacky Lin
NV5 Engineering
6501 Americas Parkway NE, Suite 400
Albuquerque, NM 87110

**RE: Mesa Del Sol Self Storage
5500 Turing Dr. SE
Grading and Drainage Plan
Engineer's Stamp Date: 5/7/2025
Hydrology File: R16DA1004**

Dear Mr. Beltramo & Mr. Lin:

Based upon the information provided in your submittal received 5/7/2025, the Grading Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

May 7, 2025

Richard Martinez, P.E.
 Senior Engineer, Hydrology
 Planning Department, Development Review Services
 505-924-3362
richardmartinez@cabq.gov

**Re: Mesa Del Sol Self Storage
 5500 Turing Dr. SE
 Grading and Drainage Plan
 Engineer's Stamp Date: 01/15/2025
 Hydrology File: R16DA1004**

Dear Richard,

Here are the responses to the comments provided on March 21, 2025 in regards to an **Updated Grading & Drainage prior to continuing onsite grading and foundation work.**

Please let me know if you have further questions.

1. Removal of grading and fill material covering the outlet to an existing 36-inch pipe which is designated as roadway drainage from Touring Rd.
Response: Concur. See revised Grading Plan for call out.

2. Cease grading until all required onsite detention basins are completed, and cease placing fill materials along the southeastern property line encroaching into the existing retention pond without the required slope stabilization or required retaining wall.
Response: Owner to respond.

3. Most importantly, provide documentation allowing the use of and filling in the existing retention pond was promised months ago and has yet to be received by the CABQ, and include references to said documentation on the Updated Grading & Drainage Plan.
Response: There is no intend to use the existing retention pond material to use for filling of onsite construction, OS3 pond will be graded per revise Grading Plan C-1.0.

4. Provide the required onsite detention basin along the north side of the project.
Concur. Will notify contractor to complete onsite detention basins.

5. ESC measures are to be completed along the south and east property alignments.
Concur. Will notify contractor to complete required Erosion & Sediment Control measures.

6. Any and all proposals should be presented and demonstrated appropriately on an Updated Grading & Drainage Plan.
Concur. See revised Grading Plan and Details.
7. Prepare and provide Drainage Covenants for the retention ponds adjacent and to the east of the project and associated private storm drains discharging stormwater into said retention ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit on the 4th floor of Plaza de Sol. A \$25 fee will be required.
Concur. Currently in process from property owner/developer.
8. Due to the proposed retaining wall in Section 1 of C-3.1, provide an additional cross-section showing the existing storm drain manhole and pipe extension through the proposed retaining wall and into the retention basin at the southeast corner of the project.
Concur. Additional section has been added, see revised sheet C-3.1 & C-3.2. Retaining wall removed from revised design.
9. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5, part B. Grading and wall construction near the property line may not endanger or encroach upon adjacent property or constrain its use.
Concur. P
10. Show all portions of proposed retaining walls on the property of the project.
Concur. Please see revised grading plan for proposed garden wall locations, retaining wall eliminated per revised Grading Plan C-1.0.
11. The existing ponds should be completely developed for the 100-year 10-day storm and associated capacity, together with slope erosion protection and access barricades where needed.
Concur. See revised Grading Plan C-1.0 for existing pond improvement with pond capacity, erosion protection has been added to west side of pond per COA Section 1013 Slope Stabilization and Seeding on 3:1 slope.
12. Per follow up phone conversation on 4/29/2025, COA hydrology had requested to add access road to existing pond.
Concur. See revised Grading Plan C-1.0 for access road design into Tract OS-3 pond bottom.

Please contact me if you have any questions or comments.

Sincerely,

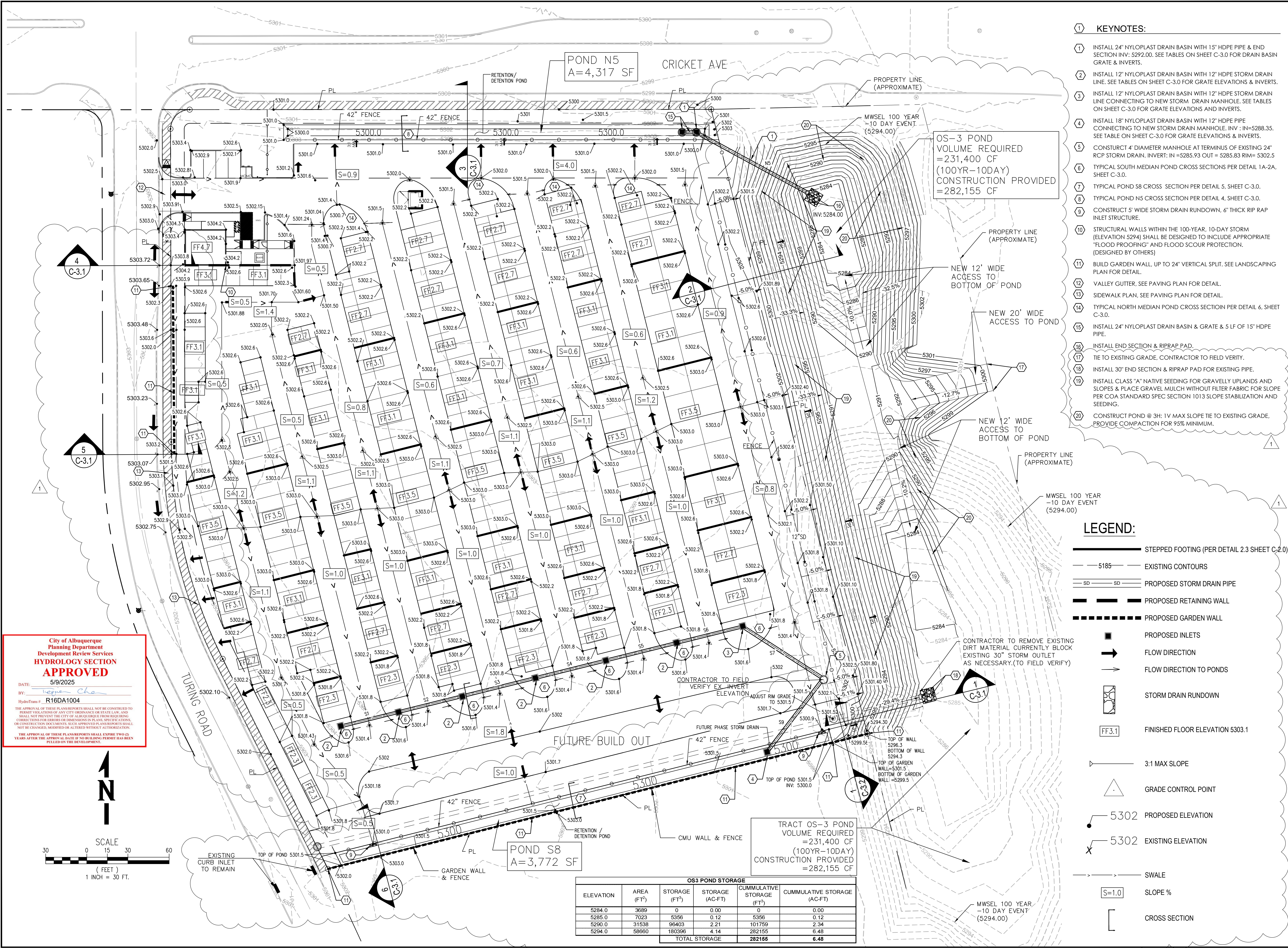


Minxuan(Jacky) Lin, PE
Director Land Development – NV5
6501 Americas Pkwy NE, Ste 400
Albuquerque, NM 87110

cc: Todd Coleman
Owner, Bottomline Construction
505-269-7481
todd@blcm.pro

Rick Beltramo
Senior Manager, Development Services – NV5
505-948-7194
rick.beltramo@nv5.com

[DATE: 5/7/2025 4:42 PM] [AUTHOR: rocky.lin] [PLOTTER: DWG TO PDF.pc3] [STYLE: WHP-Standard.ctb] [STYLE: WHP-Standard.ctb] [PLOTTER: DWG TO PDF.pc3] [STYLE: WHP-Standard.ctb]
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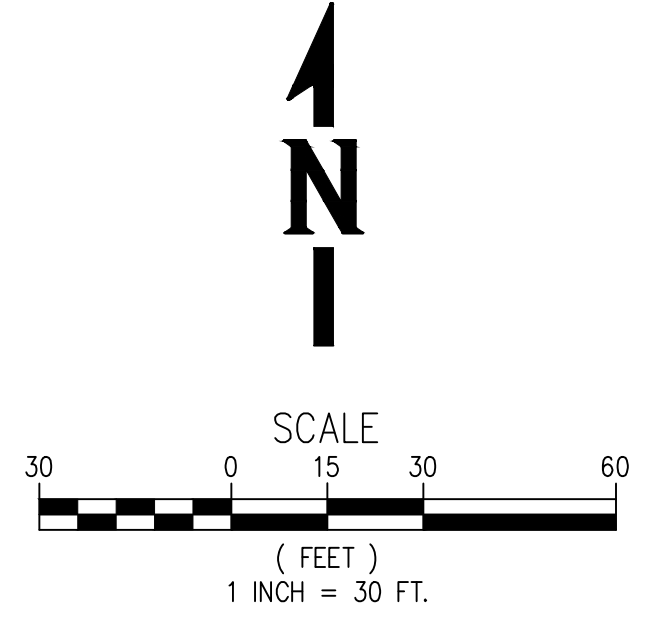
- KEYNOTES:**
- INSTALL 24" NYLOPLAST DRAIN BASIN WITH 15" HDPE PIPE & END SECTION INV: 5292.00. SEE TABLES ON SHEET C-3.0 FOR DRAIN BASIN GRATE & INVERTS.
 - INSTALL 12" NYLOPLAST DRAIN BASIN WITH 12" HDPE STORM DRAIN LINE. SEE TABLES ON SHEET C-3.0 FOR GRATE ELEVATIONS & INVERTS.
 - INSTALL 12" NYLOPLAST DRAIN BASIN WITH 12" HDPE STORM DRAIN LINE CONNECTING TO NEW STORM DRAIN MANHOLE. SEE TABLES ON SHEET C-3.0 FOR GRATE ELEVATIONS AND INVERTS.
 - INSTALL 18" NYLOPLAST DRAIN BASIN WITH 12" HDPE PIPE CONNECTING TO NEW STORM DRAIN MANHOLE. INV: IN=5288.35. SEE TABLE ON SHEET C-3.0 FOR GRATE ELEVATIONS & INVERTS.
 - CONSTRUCT 4' DIAMETER MANHOLE AT TERMINUS OF EXISTING 24" RCP STORM DRAIN. INVERT: IN=5285.93 OUT = 5285.83 RIM= 5302.5
 - TYPICAL SOUTH MEDIAN POND CROSS SECTIONS PER DETAIL 1A-2A, SHEET C-3.0.
 - TYPICAL POND S8 CROSS SECTION PER DETAIL 5, SHEET C-3.0.
 - TYPICAL POND N5 CROSS SECTION PER DETAIL 4, SHEET C-3.0.
 - CONSTRUCT 5' WIDE STORM DRAIN RUNDOWN, 6" THICK RIP RAP INLET STRUCTURE.
 - STRUCTURAL WALLS WITHIN THE 100-YEAR, 10-DAY STORM (ELEVATION 5294) SHALL BE DESIGNED TO INCLUDE APPROPRIATE "FLOOD PROOFING" AND FLOOD SCOUR PROTECTION. (DESIGNED BY OTHERS)
 - BUILD GARDEN WALL UP TO 24" VERTICAL SPLIT. SEE LANDSCAPING PLAN FOR DETAIL.
 - VALLEY GUTTER. SEE PAVING PLAN FOR DETAIL.
 - SIDEWALK PLAN. SEE PAVING PLAN FOR DETAIL.
 - TYPICAL NORTH MEDIAN POND CROSS SECTION PER DETAIL 6, SHEET C-3.0.
 - INSTALL 24" NYLOPLAST DRAIN BASIN & GRATE & 5 LF OF 15" HDPE PIPE.
 - INSTALL END SECTION & RIPRAP PAD.
 - TIE TO EXISTING GRADE. CONTRACTOR TO FIELD VERIFY.
 - INSTALL 30" END SECTION & RIPRAP PAD FOR EXISTING PIPE.
 - INSTALL CLASS "A" NATIVE SEEDING FOR GRAVELLY UPLANDS AND SLOPES & PLACE GRAVEL MULCH WITHOUT FILTER FABRIC FOR SLOPE PER COA STANDARD SPEC SECTION 1013 SLOPE STABILIZATION AND SEEDING.
 - CONSTRUCT POND @ 3H: 1V MAX SLOPE TIE TO EXISTING GRADE. PROVIDE COMPACTION FOR 95% MINIMUM.

- LEGEND:**
- STEPPED FOOTING (PER DETAIL 2.3 SHEET C-2.0)
 - 5185 — EXISTING CONTOURS
 - SD — SD — PROPOSED STORM DRAIN PIPE
 - — PROPOSED RETAINING WALL
 - — PROPOSED GARDEN WALL
 - PROPOSED INLETS
 - FLOW DIRECTION
 - FLOW DIRECTION TO PONDS
 - STORM DRAIN RUNDOWN
 - FF3.1 FINISHED FLOOR ELEVATION 5303.1
 - ▲ 3:1 MAX SLOPE
 - △ GRADE CONTROL POINT
 - 5302 PROPOSED ELEVATION
 - 5302 EXISTING ELEVATION
 - SWALE
 - S=1.0 SLOPE %
 - [] CROSS SECTION

OS3 POND STORAGE

ELEVATION	AREA (FT ²)	STORAGE (FT ³)	STORAGE (AC-FT)	CUMMULATIVE STORAGE (FT ³)	CUMMULATIVE STORAGE (AC-FT)
5284.0	3689	0	0.00	0	0.00
5285.0	7023	5356	0.12	5356	0.12
5290.0	31538	96403	2.21	101759	2.34
5294.0	58660	180396	4.14	282155	6.48
TOTAL STORAGE				282155	6.48

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 5/9/2025
 BY: *Tegana Chan*
 HydroTrans # R16DA1004
THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



MINKUAN LIN
 NEW MEXICO
 20088
 PROFESSIONAL ENGINEER

REVISIONS	NO.	DATE	REMARKS
	1	5/7/25	HYDROLOGY COMMENTS DATED 3/21/25

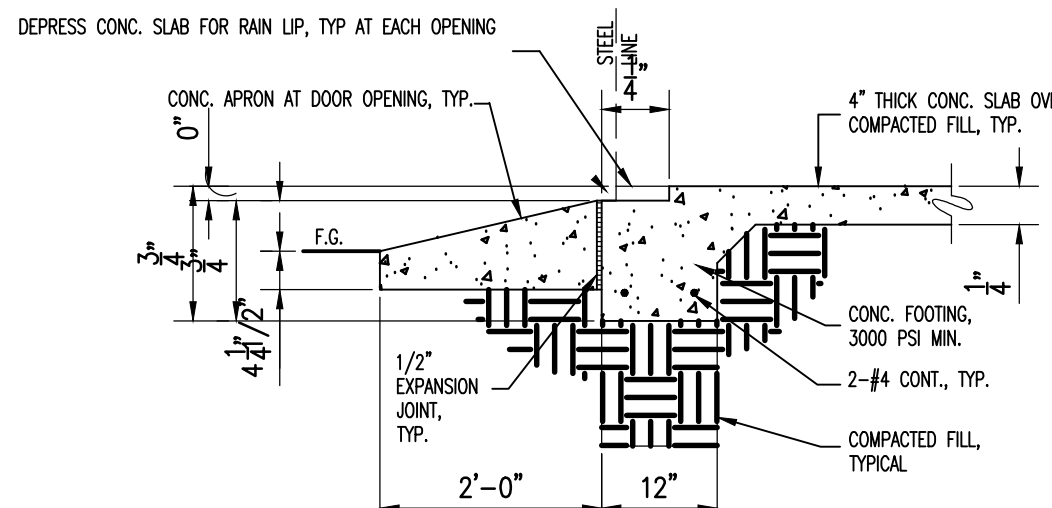
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DRAWN	CHECKED	LAST EDIT	PLOT DATE
NV5	5/7/25	5/7/2025	5/7/2025

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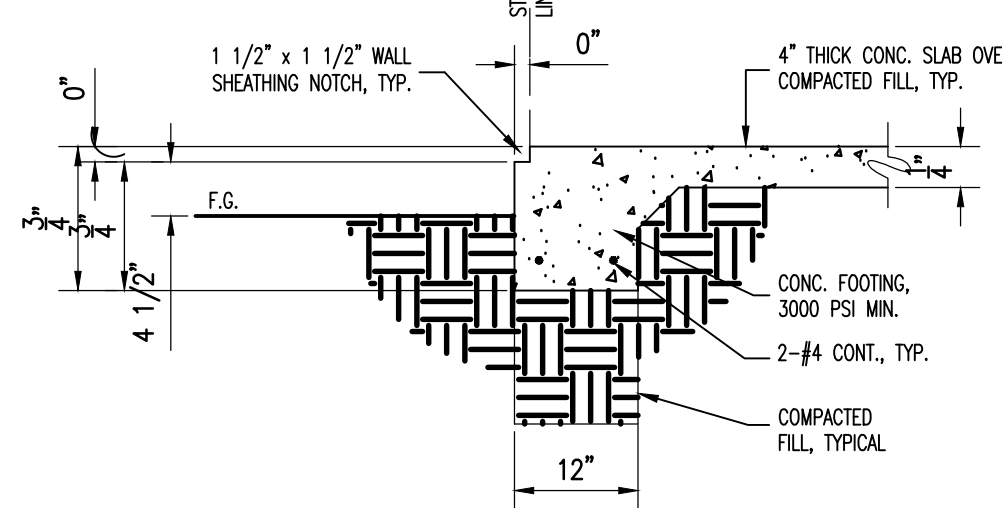
GRADING AND DRAINAGE PLAN
SCALE 1:30

MESA DEL SOL SELF STORAGE
SHEET NUMBER

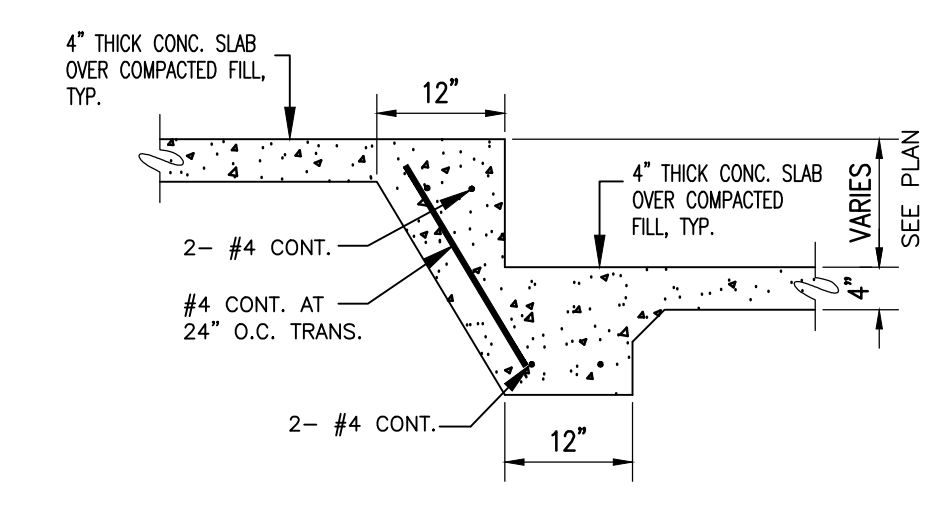
C-1.0



2.1 FOOTING DETAIL
SCALE: N.T.S.



2.2 FOOTING DETAIL
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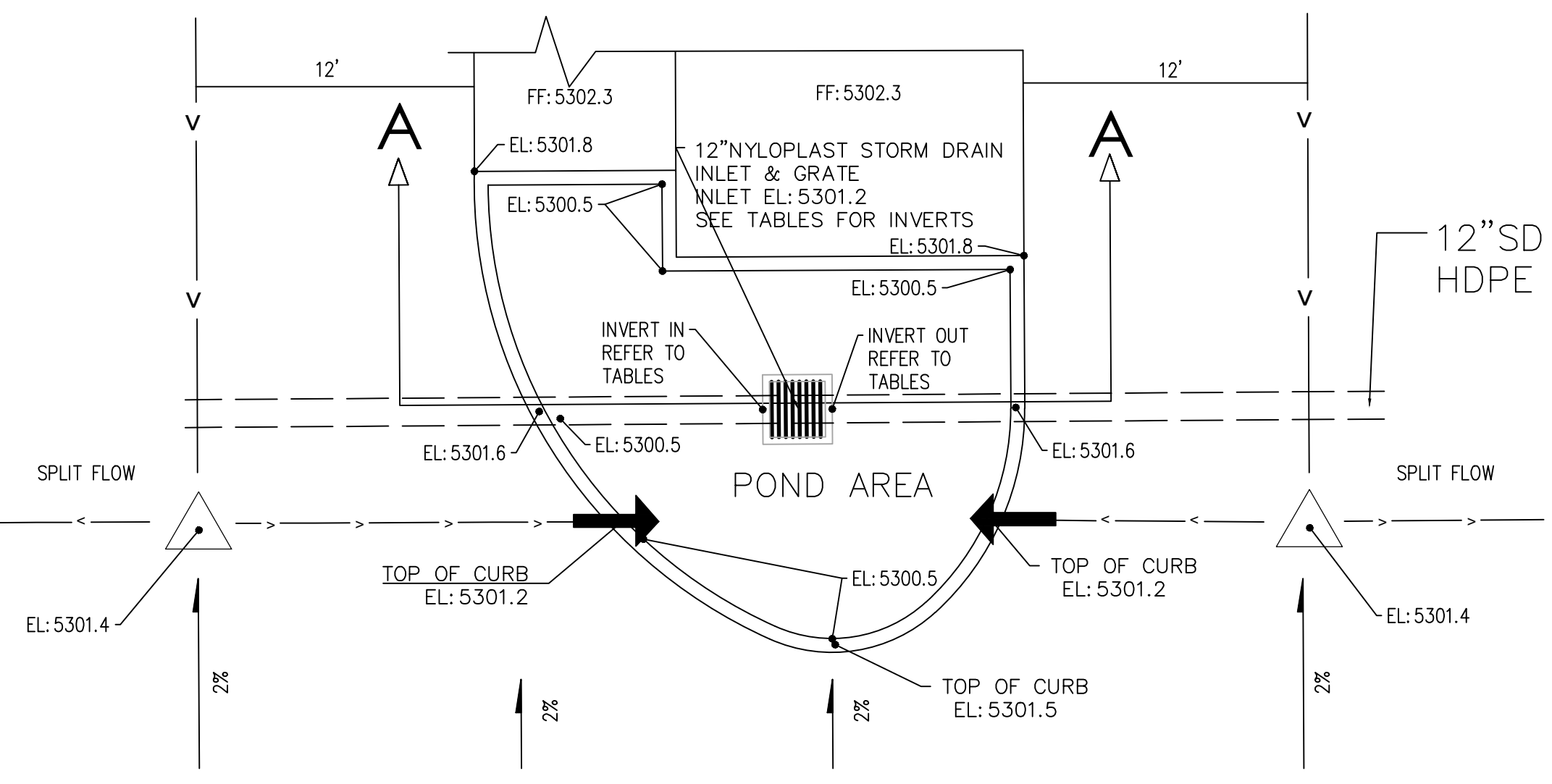


2.3 STEPPED FOOTING DETAIL
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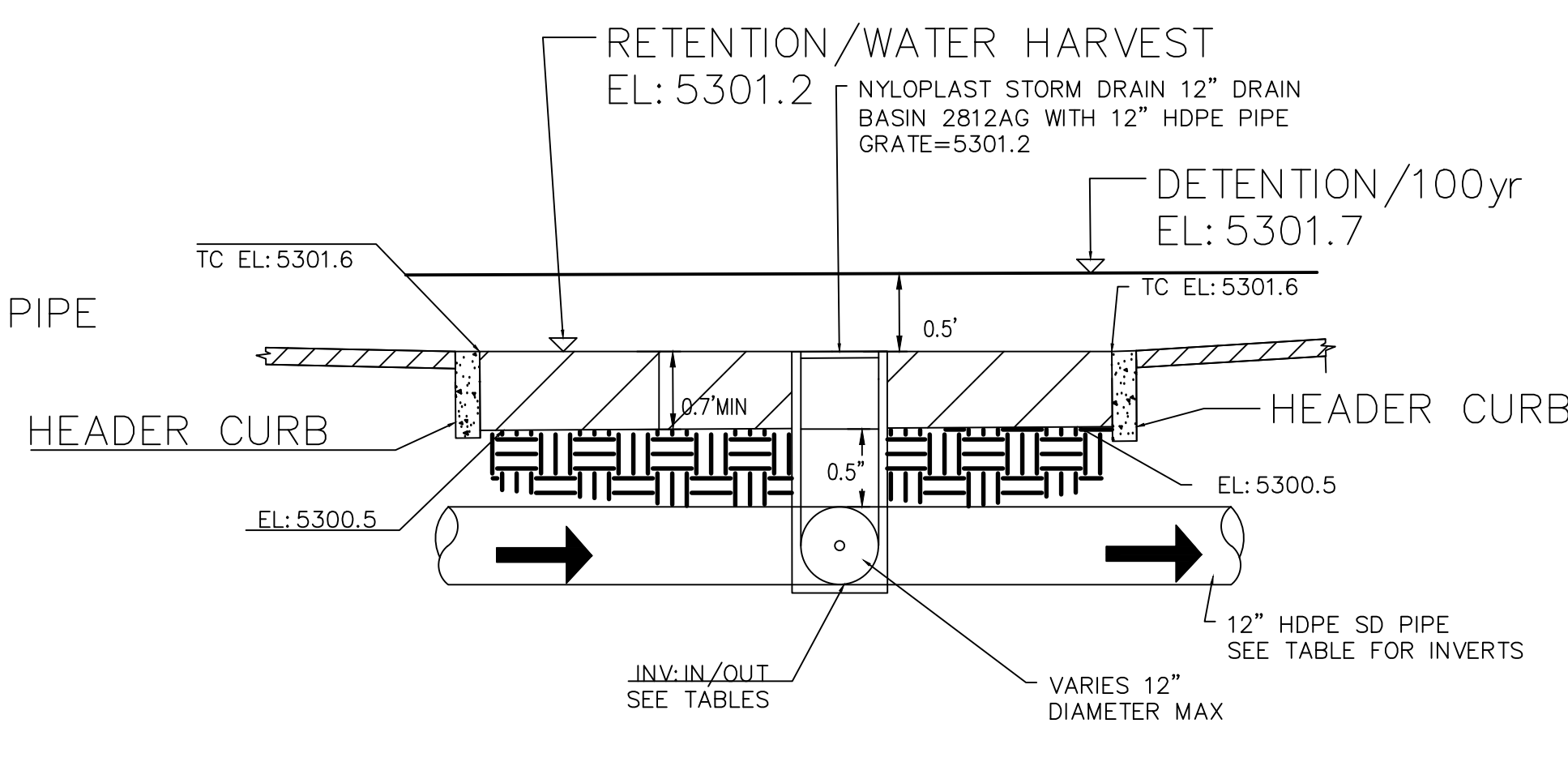
FOR REFERENCE ONLY REFER TO ARCHITECT PLANS

PIPE	DESIGN	COMBINED	INVERTS	
	Q (cfs)	Q (cfs)	UPSTREAM	DOWNSTREAM
PIPES1	0.5	0.5	5298.7	5298.5
PIPES2	1.0	1.5	5298.5	5298.2
PIPES3	1.0	2.5	5298.2	5297.7
PIPES4	1.1	3.6	5297.7	5296.6
PIPES5	1.0	4.6	5296.6	5294.7
PIPES6	1.1	5.7	5294.7	5293.1
PIPES7	0.6	6.3	5293.1	5286.35
PIPES8	4.5	4.5	5298.0	5288.35
PIPEN5	11.2	11.2	5298.0	5284.00

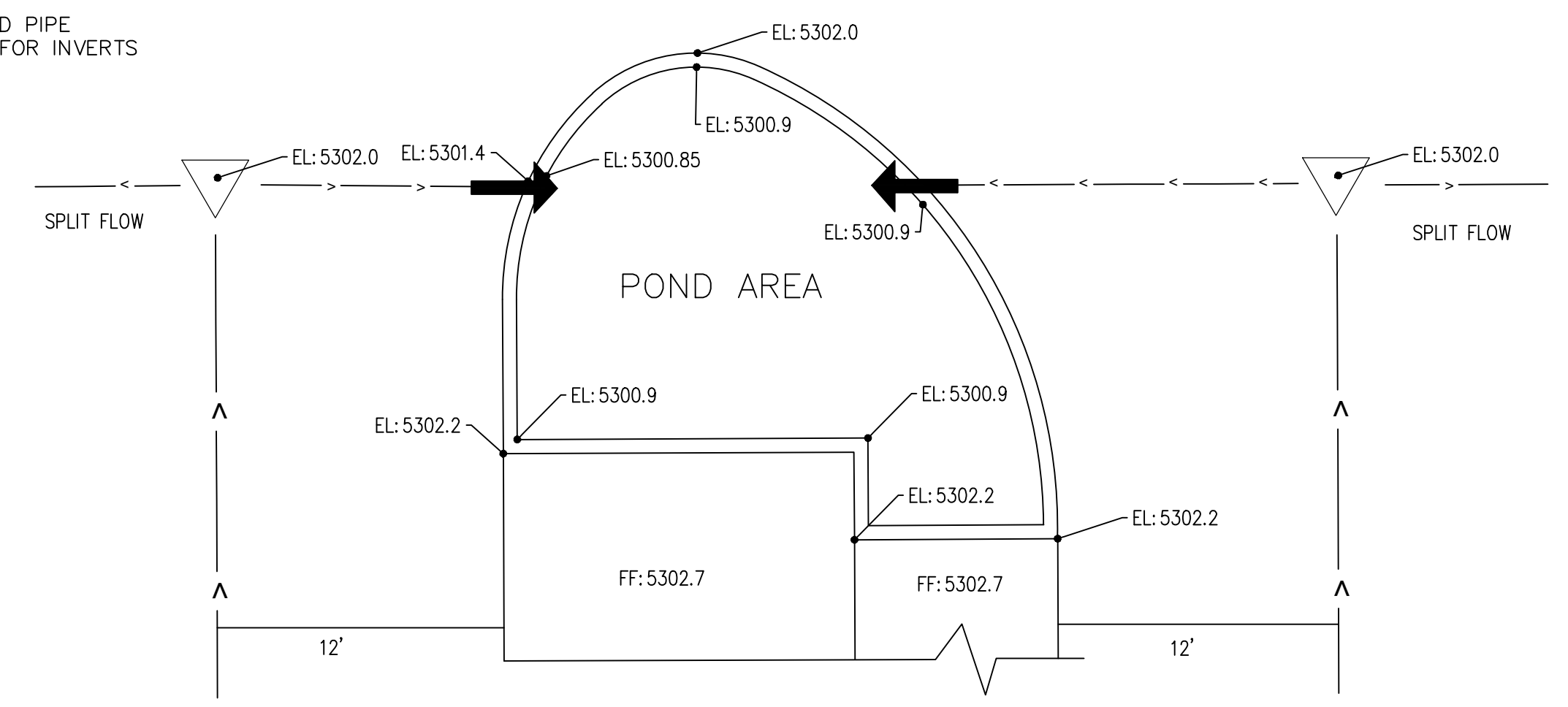
HDPE STORM DRAIN PIPE INVERT TABLE
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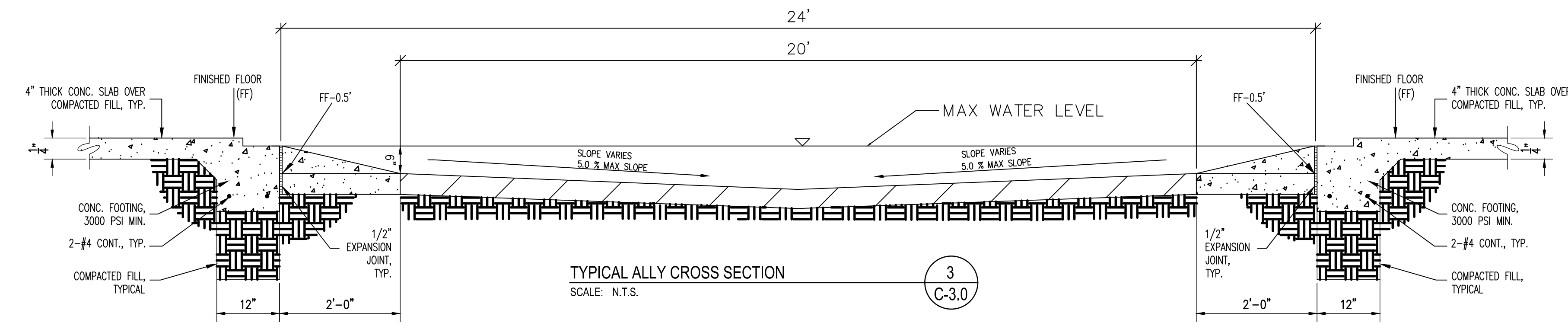
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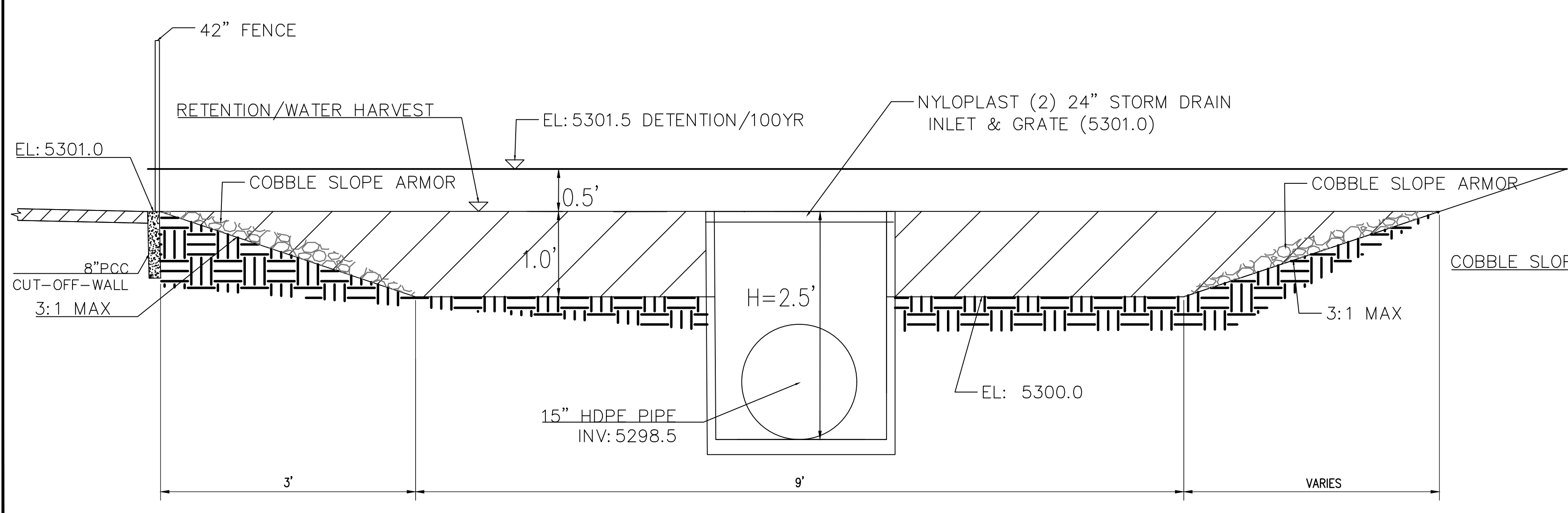
2A TYPICAL SOUTH MEDIAN POND SECTION DETAIL
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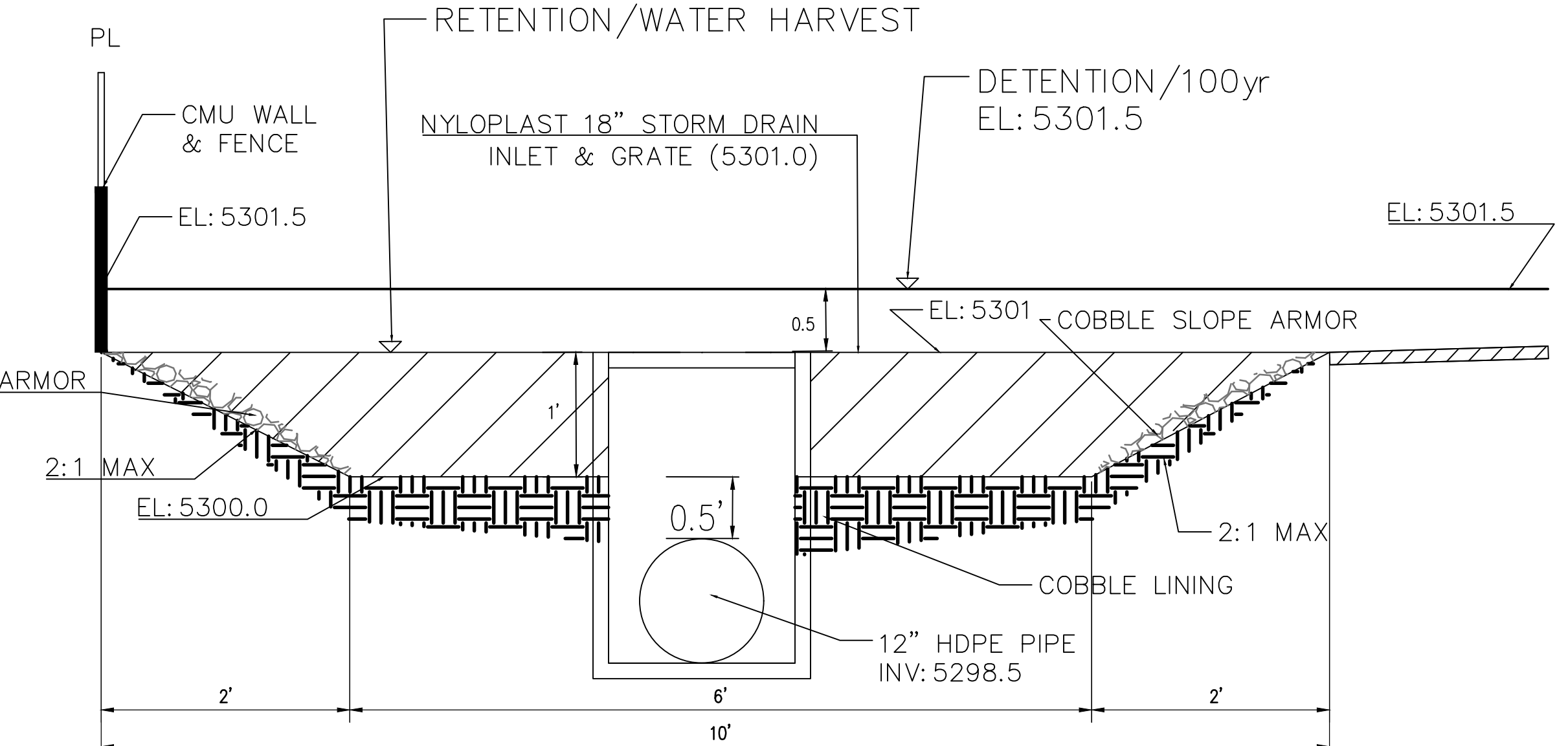
7 TYPICAL NORTH MEDIAN POND
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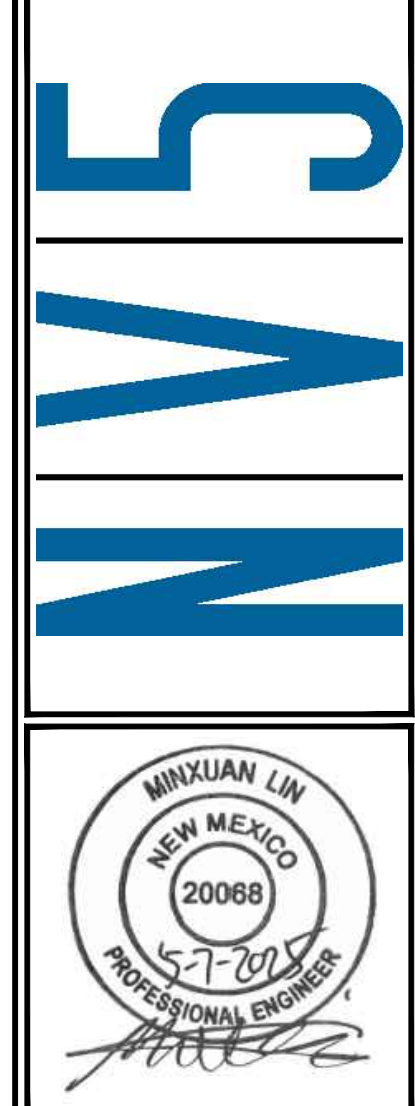
3 TYPICAL ALLY CROSS SECTION
SCALE: N.T.S.



4 POND N5 CROSS SECTION
SCALE: N.T.S.



5 POND S8 CROSS SECTION DETAIL
SCALE: N.T.S.



NO.	DATE	REVISIONS	REMARKS
1	5/7/25	HYDROLOGY COMMENTS DATED 3/21/25	

DRAWN	CHECKED	APPROVED	LAST EDIT	PLOT DATE	SUBMITTAL
			5/7/2025	5/7/2025	

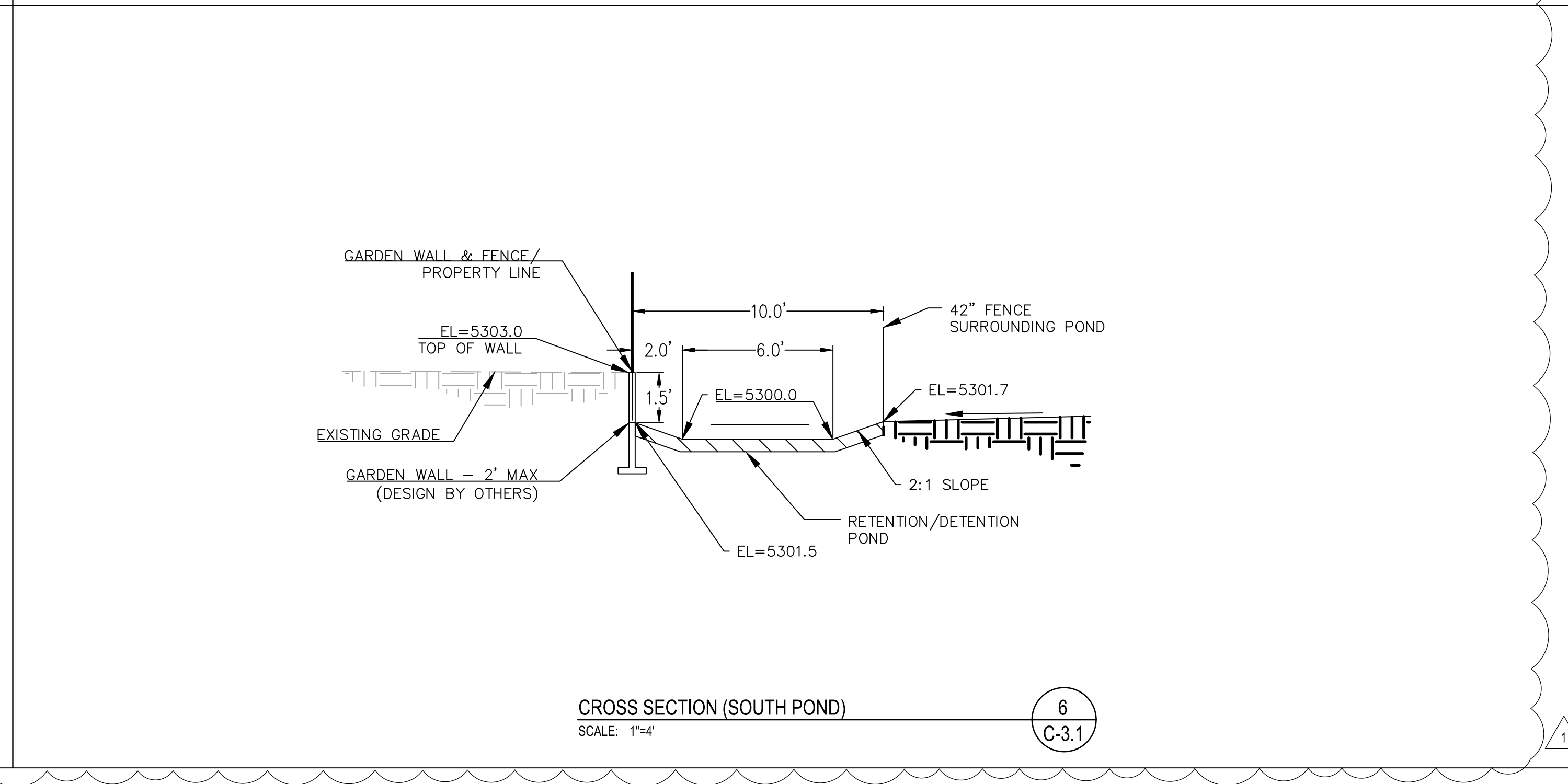
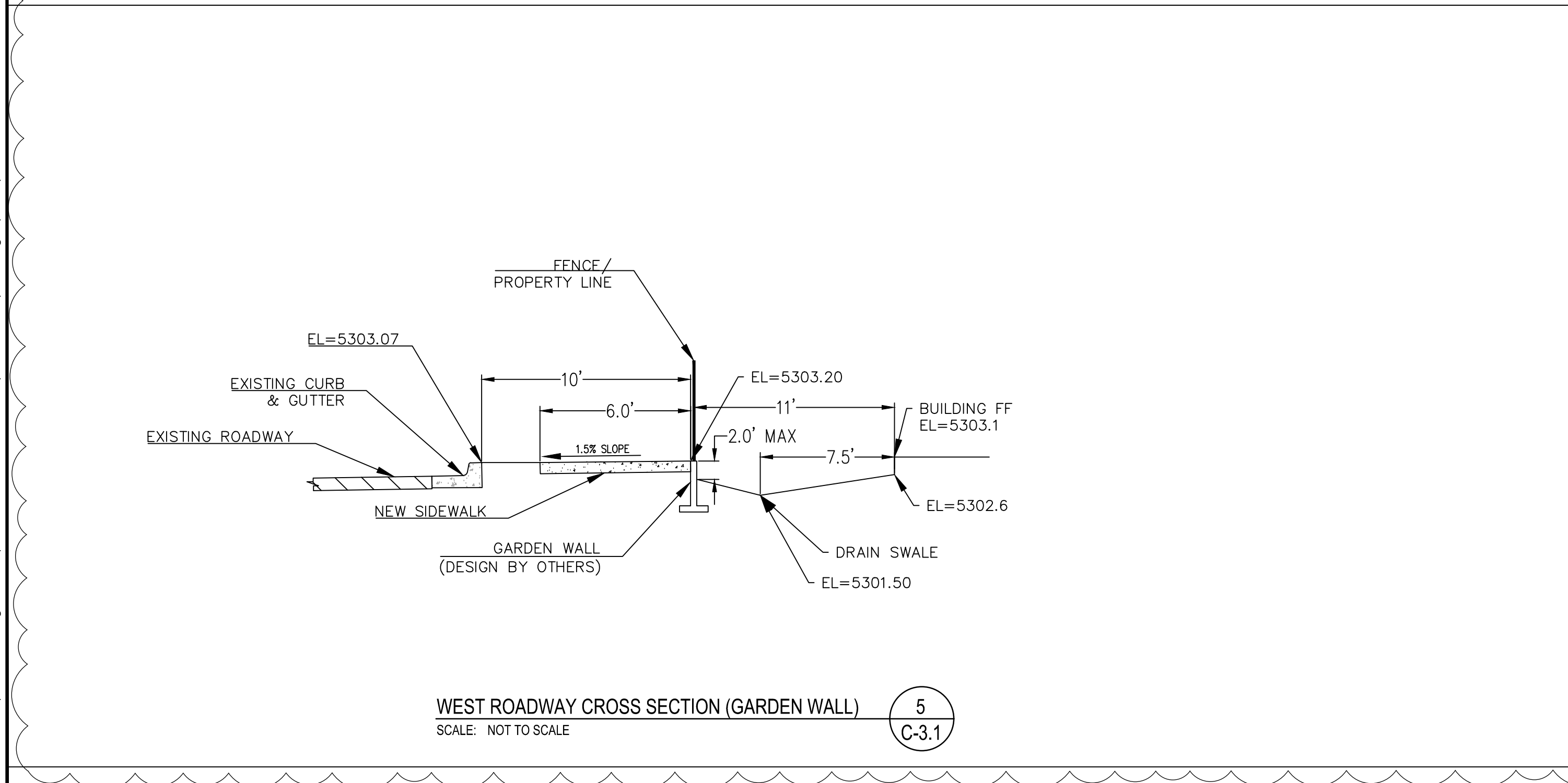
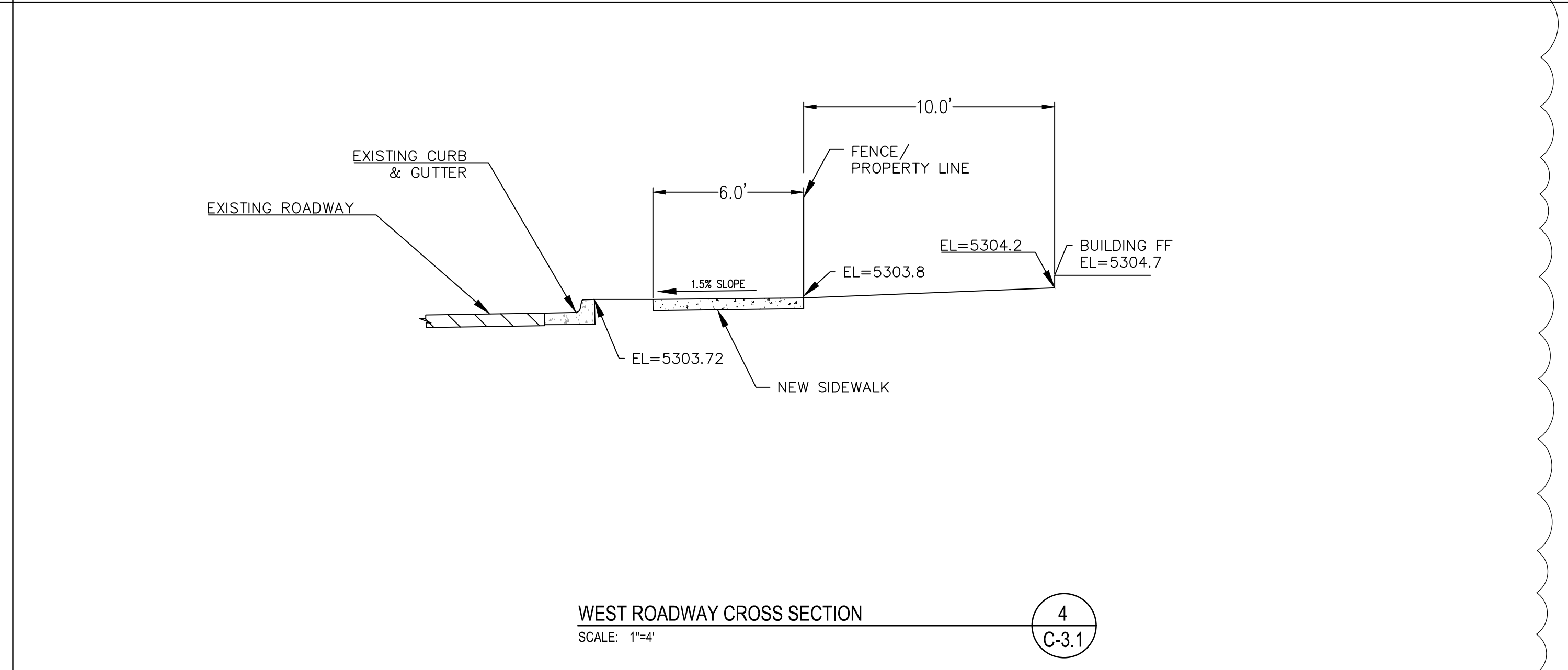
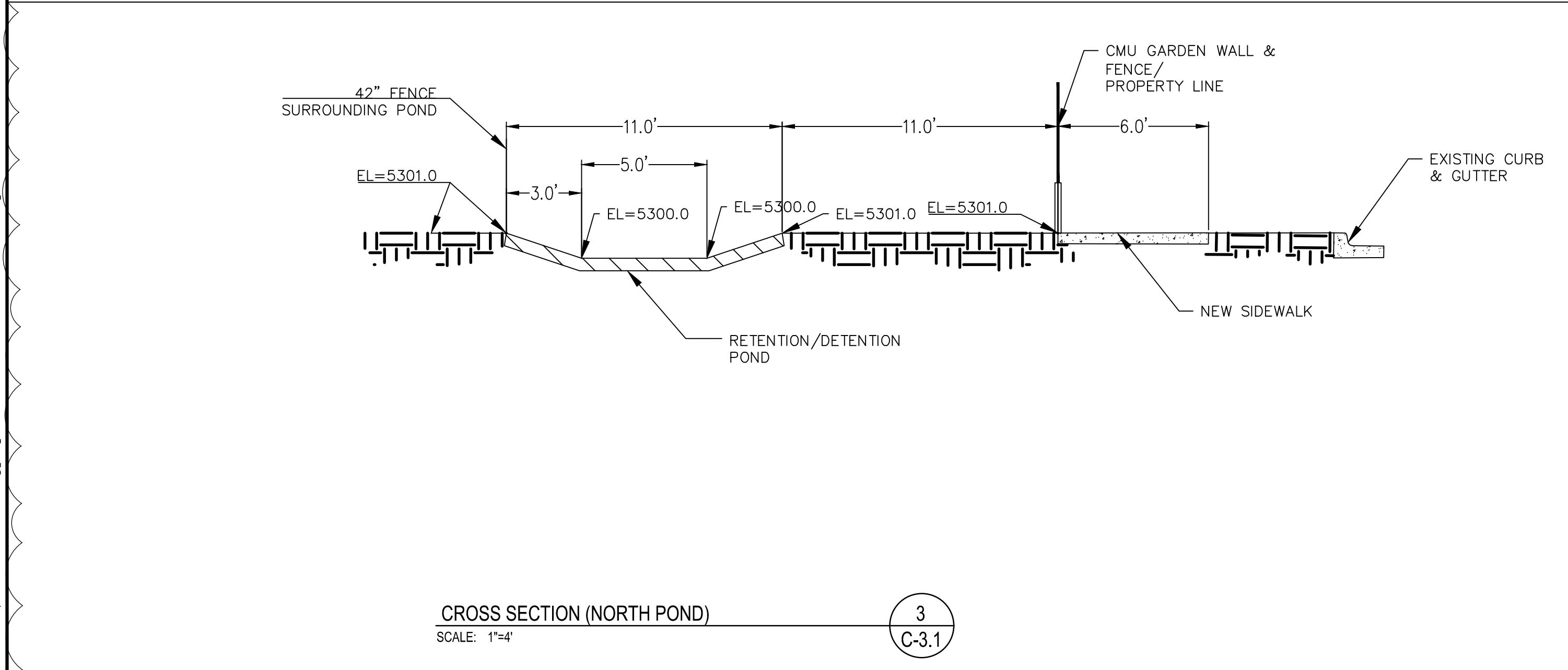
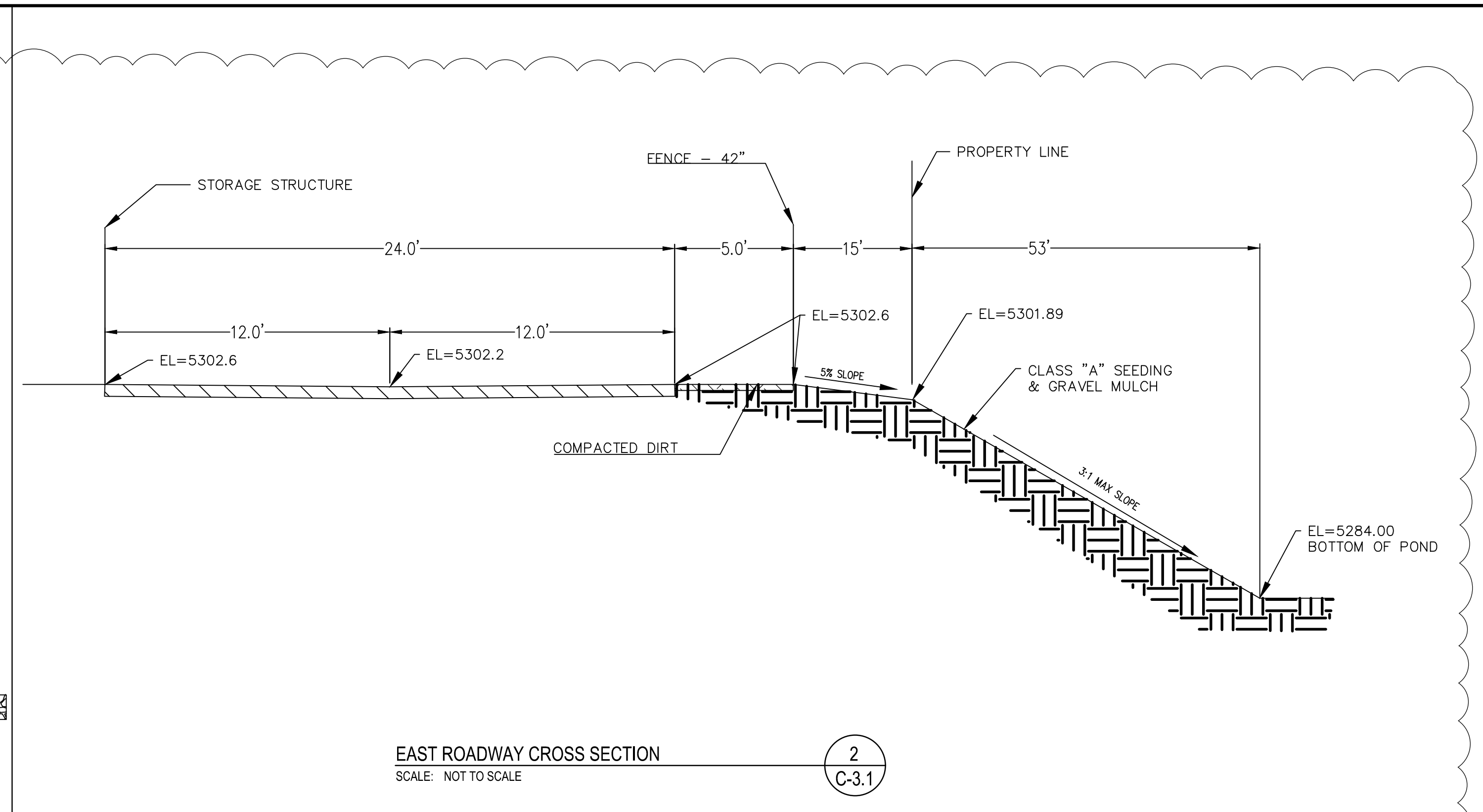
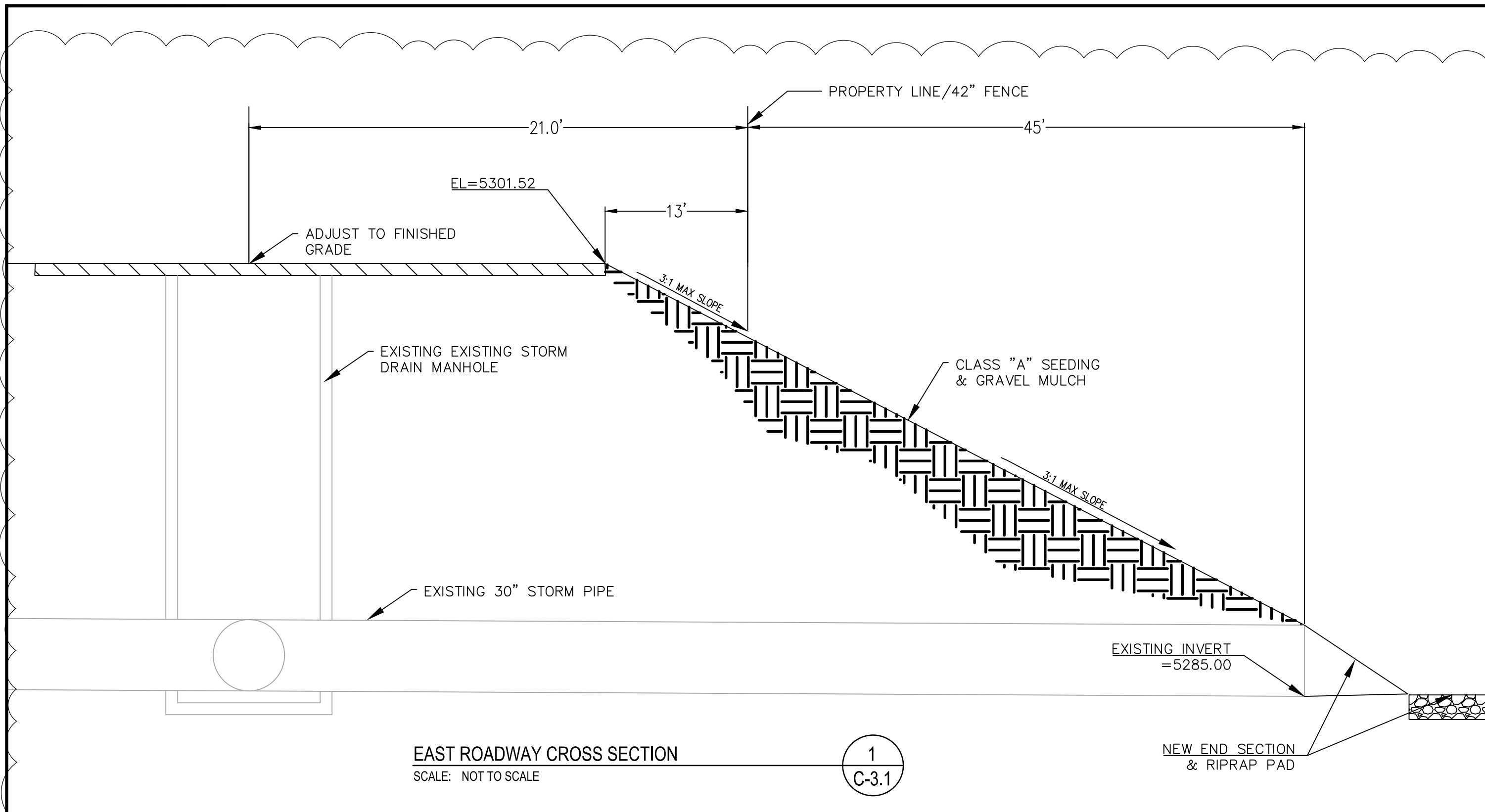
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REVISIONS	NO.	BY	DATE	REMARKS
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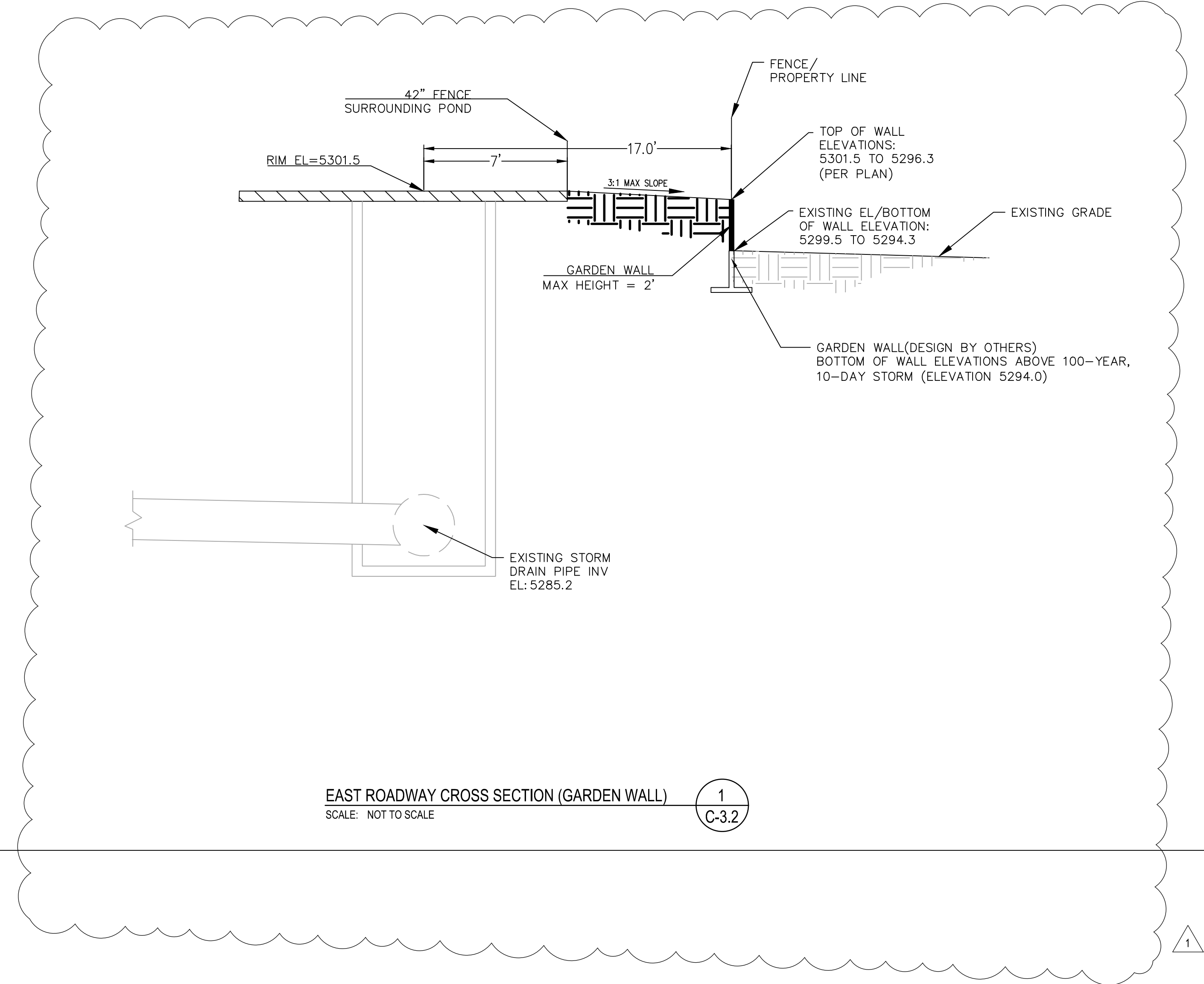
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			5/7/2025	5/7/2025	

CIVIL DETAILS.

PROJECT NUMBER: _____ DRAWING FILE NAME: CIVIL DETAILS SCALE: _____

SHEET NUMBER: **C-3.1**

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MDS



REVISIONS NO.	BY	DATE	REMARKS
1	NV5	5/6/25	HYDROLOGY COMMENTS DATED 3/21/25

SHEET INFO	
DRAWN	5/7/2025
CHECKED	
APPROVED	
LAST EDIT	5/7/2025
PLOT DATE	5/7/2025
SUBMITTAL	

CIVIL DETAILS.	
PROJECT NUMBER	DRAWING FILE NAME
	CIVIL DETAILS
SCALE	

SHEET NUMBER
C-3.2