

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Alejandro Sazo  
RBA Architects, PC  
1104 Park Ave SW  
Albuquerque, NM 87102

[alejandro@rba81.com](mailto:alejandro@rba81.com)

**Re: Mesa Del Sol Self Storage**  
**2322 Mesa del Sol SE**  
**Traffic Circulation Layout**  
Engineer's Stamp Dated 9-19-24 (R16DA1004)

Dear Mr. Sazo,

The TCL submittal received 9-23-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

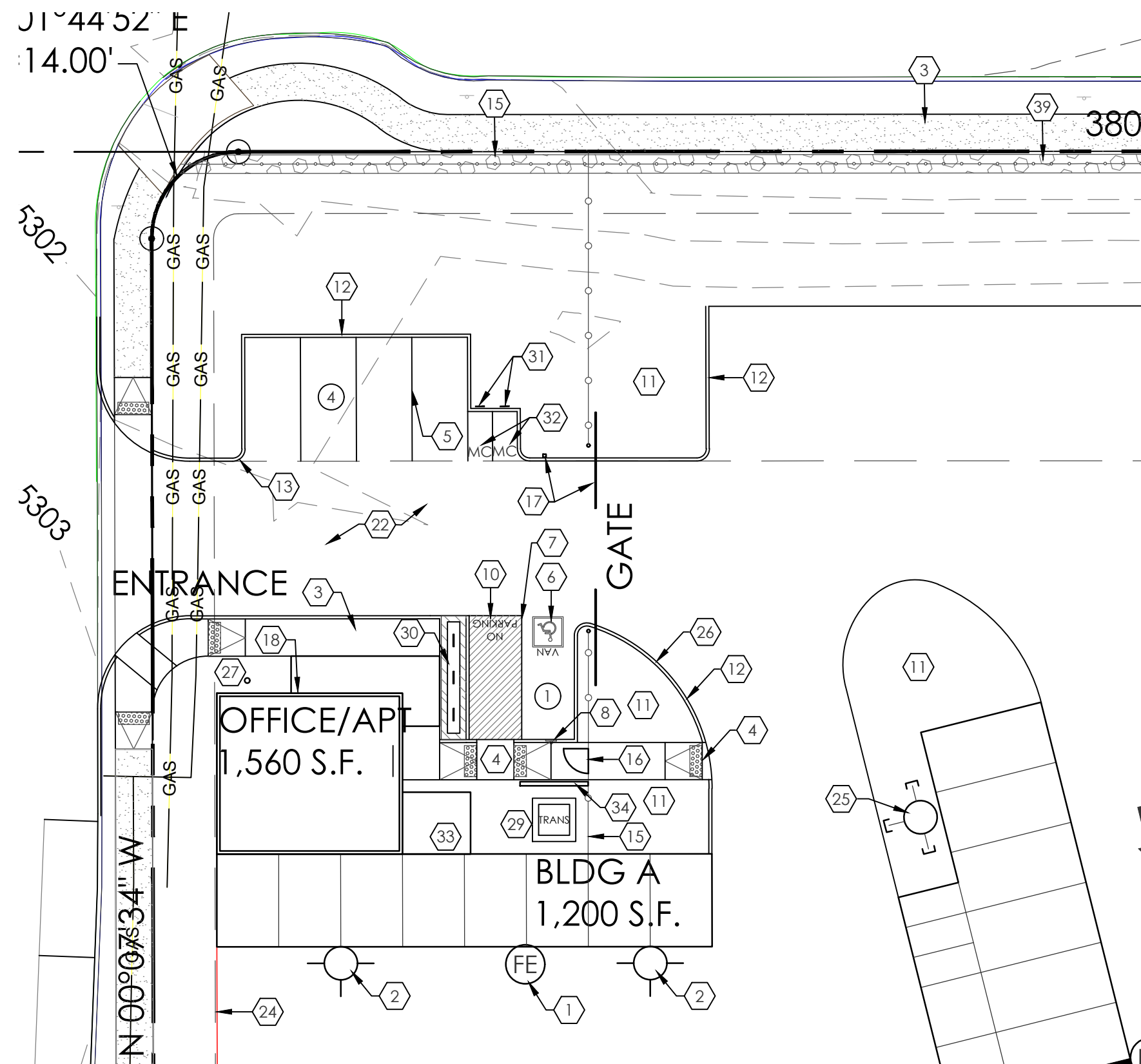
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





2 ENLARGED SITE PLAN  
1"=20'-0"

PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

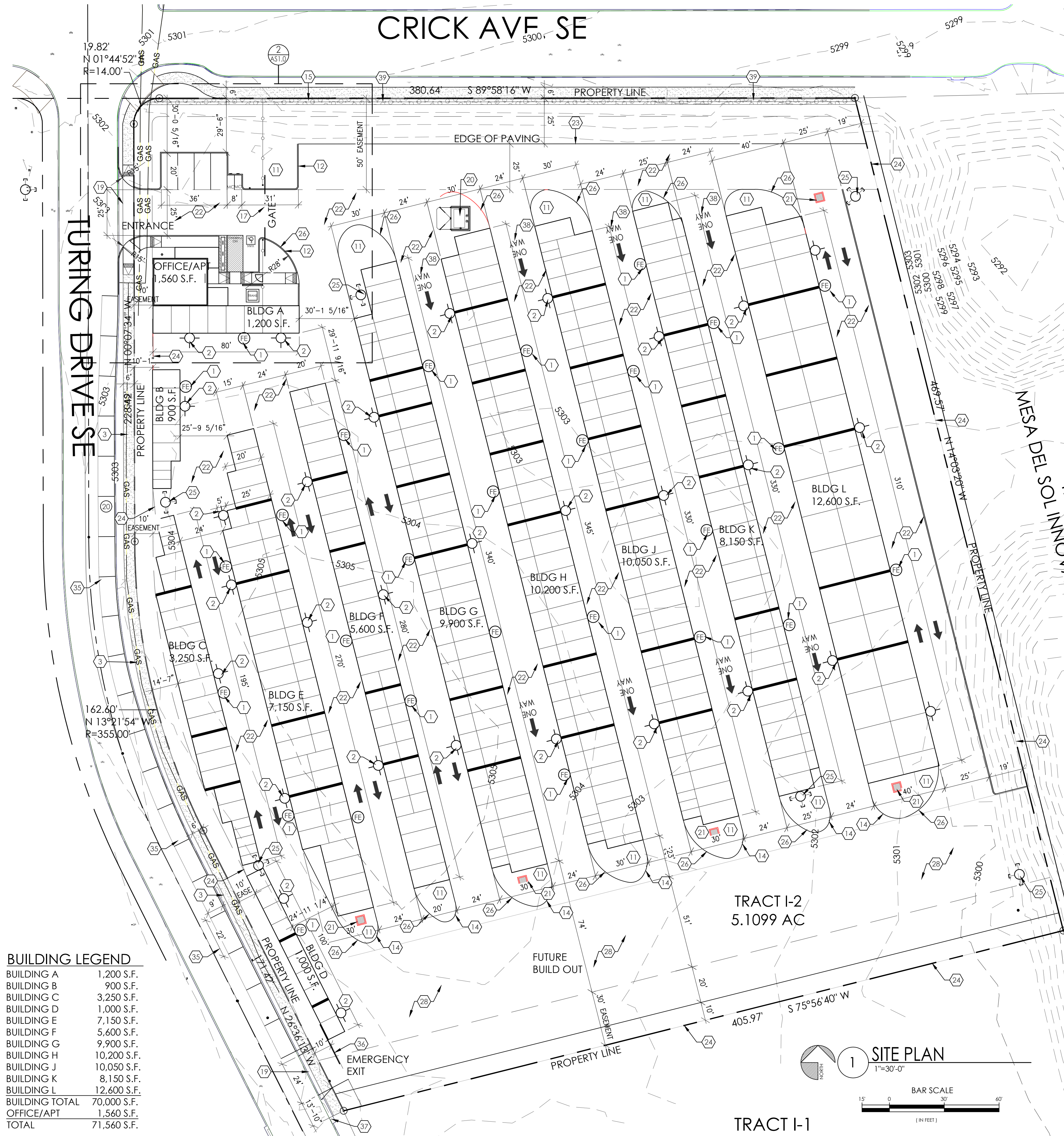
NOTE:  
ALL BROKEN OR  
CRACKED SIDEWALKS  
MUST BE REPLACED WITH  
SIDEWALK AND CURB &  
GUTTER.

KEYED NOTES

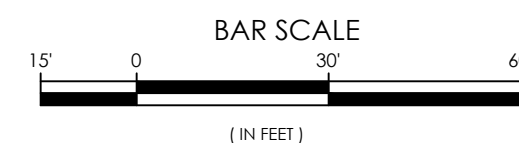
- WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
- WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
- 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
- ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
- 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SYMBOL, PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A4/AS-2.0.
- 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
- 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
- 2'-0" RADIUS.
- 15'-0" RADIUS.
- NEW 3' HIGH GABION FENCE WITH 3' HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
- NEW 36" w x 6" h MAN GATE WITH KEYS LOCKSET.
- NEW (2) 15' SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
- KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY. KNOX BOX BY OWNER, INSTALLED BY OWNER. VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
- SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
- ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
- EDGE OF ASPHALT PAVING.
- 6' HIGH WELDED WIRE MESH FENCE.
- NEW FIRE HYDRANT.
- 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
- FLAGPOLE WITH LIGHT.
- BASE COURSE.
- ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
- BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.  
A. 30" TALL x 18" WIDE.  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.  
COMB/TOASTER RACKS ARE NOTE ALLOWED  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION, SEE THE IDO FOR ADDITIONAL INFORMATION.  
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.  
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- COVERED PATIO W/ BENCH.
- CMU WALL 4" TALL.
- 20' x 22' ON STREET PARKING.
- EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
- EXISTING DROPPED INLET.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- NEW 2' HIGH GABION FENCE WITH 4' HIGH WELDED WIRE MESH FENCE ABOVE.

BUILDING LEGEND

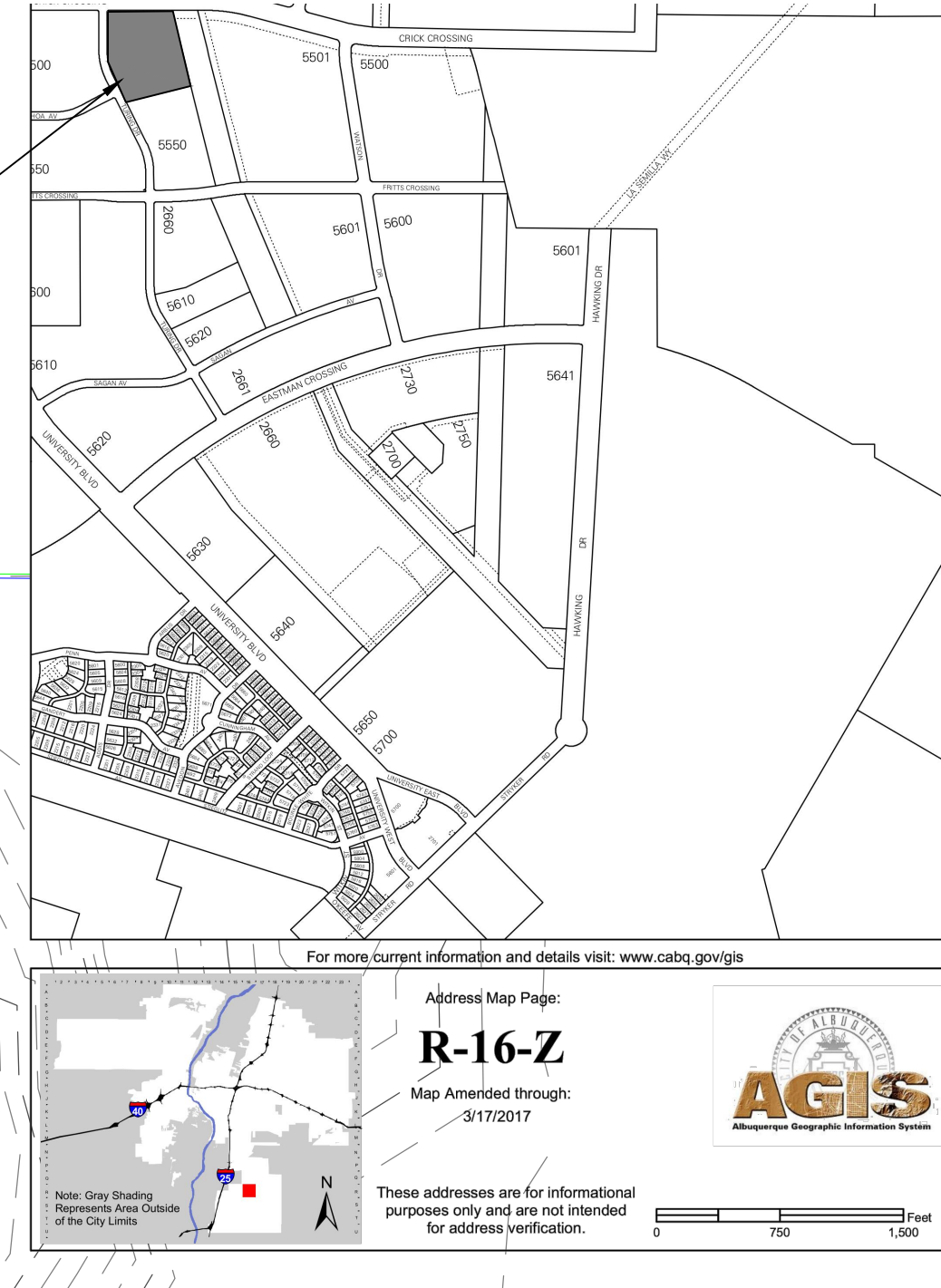
BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



1 SITE PLAN  
1"=30'-0"



SITE LOCATION

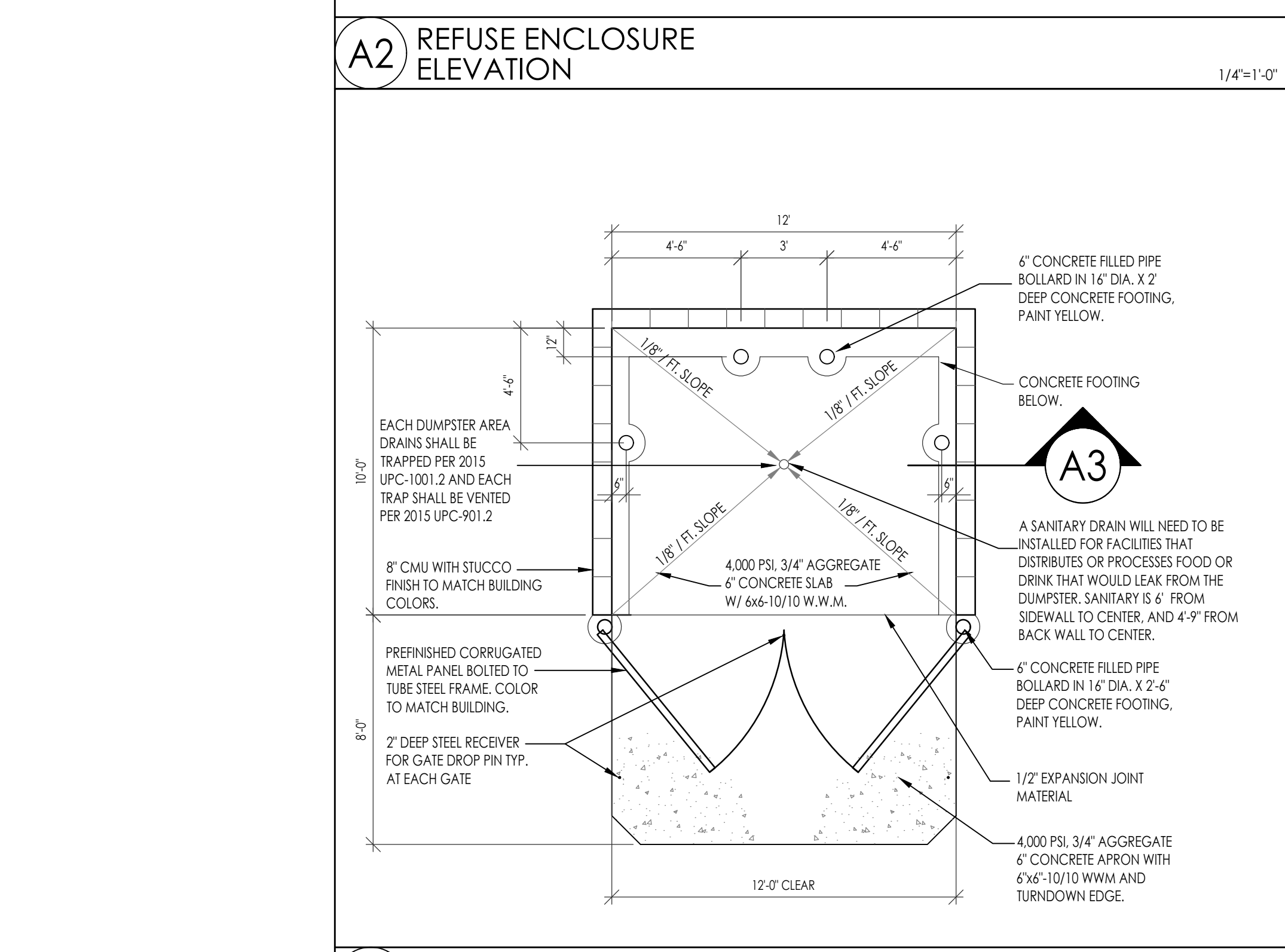
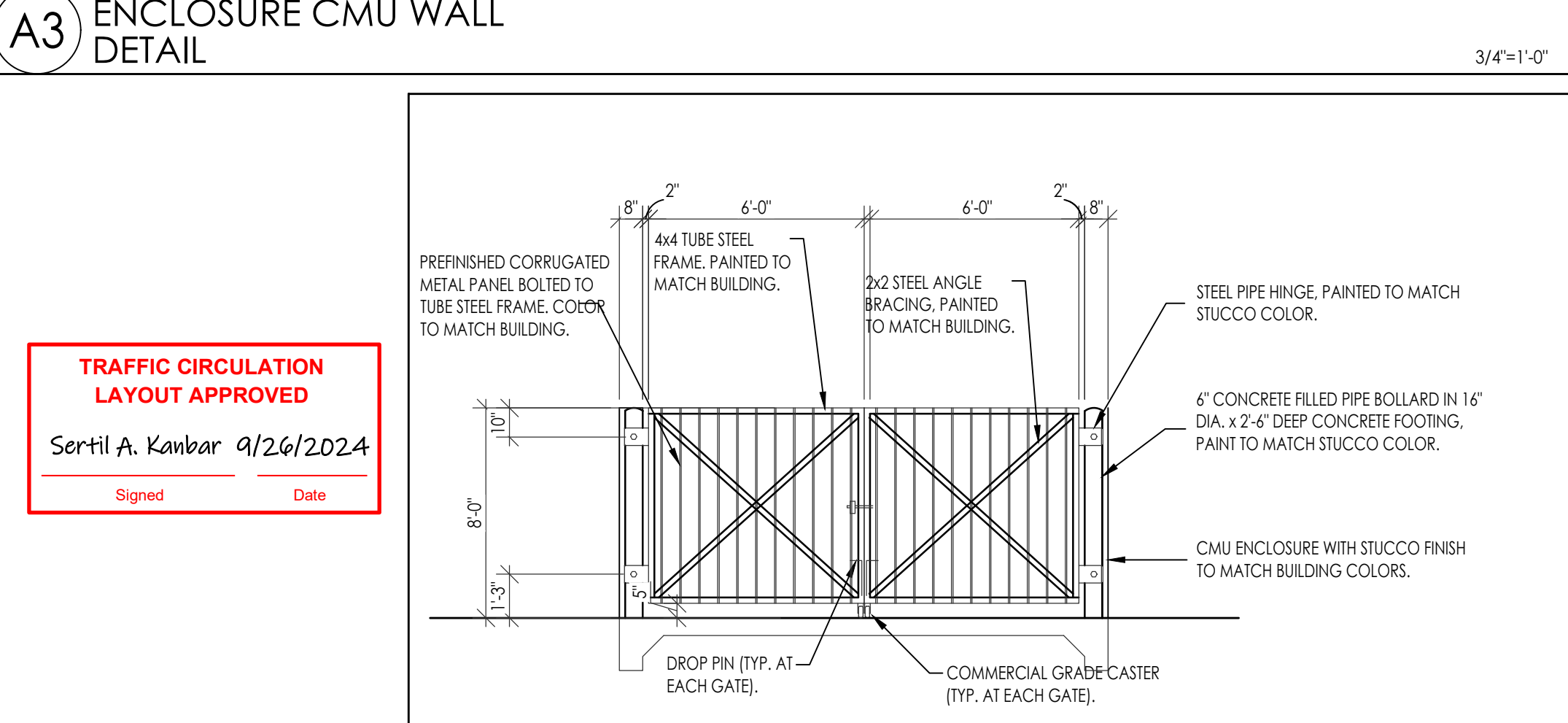
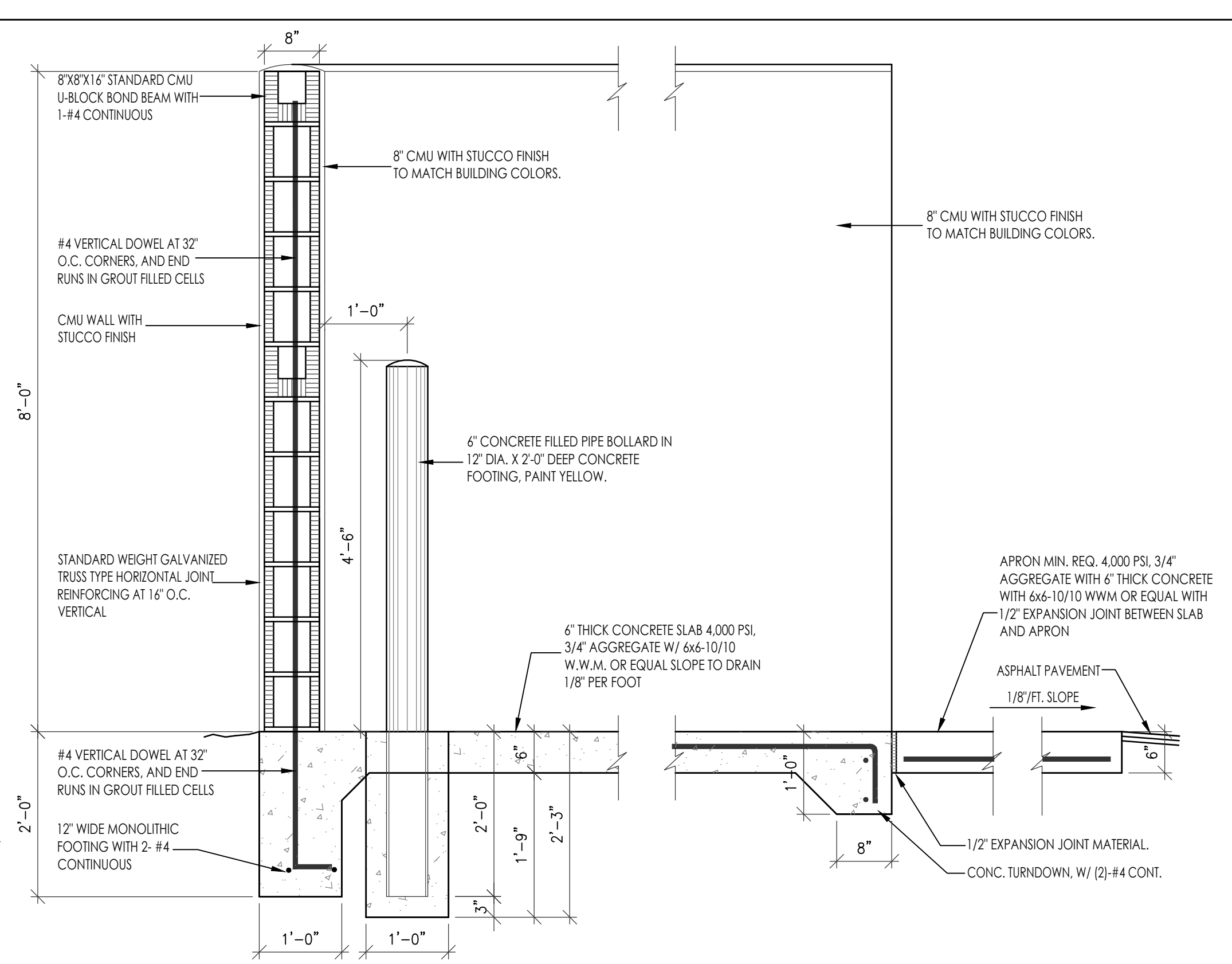
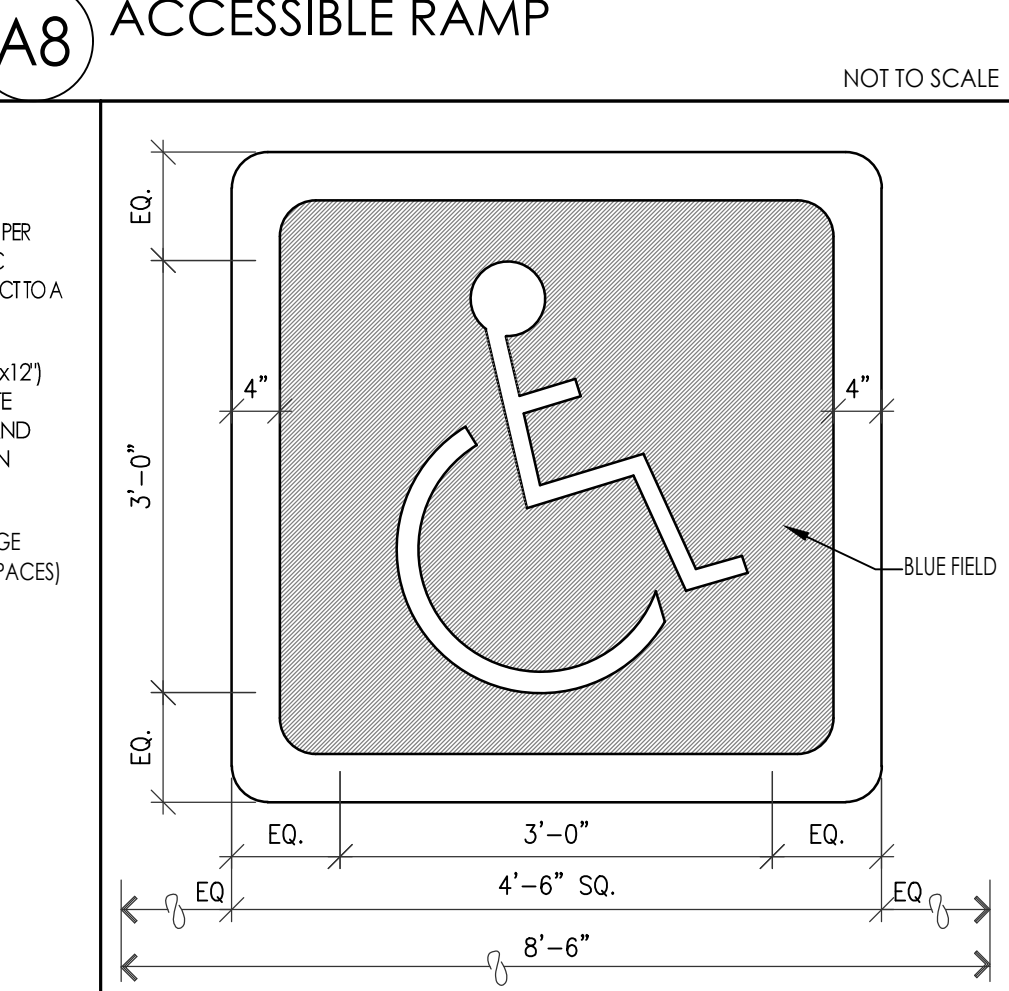
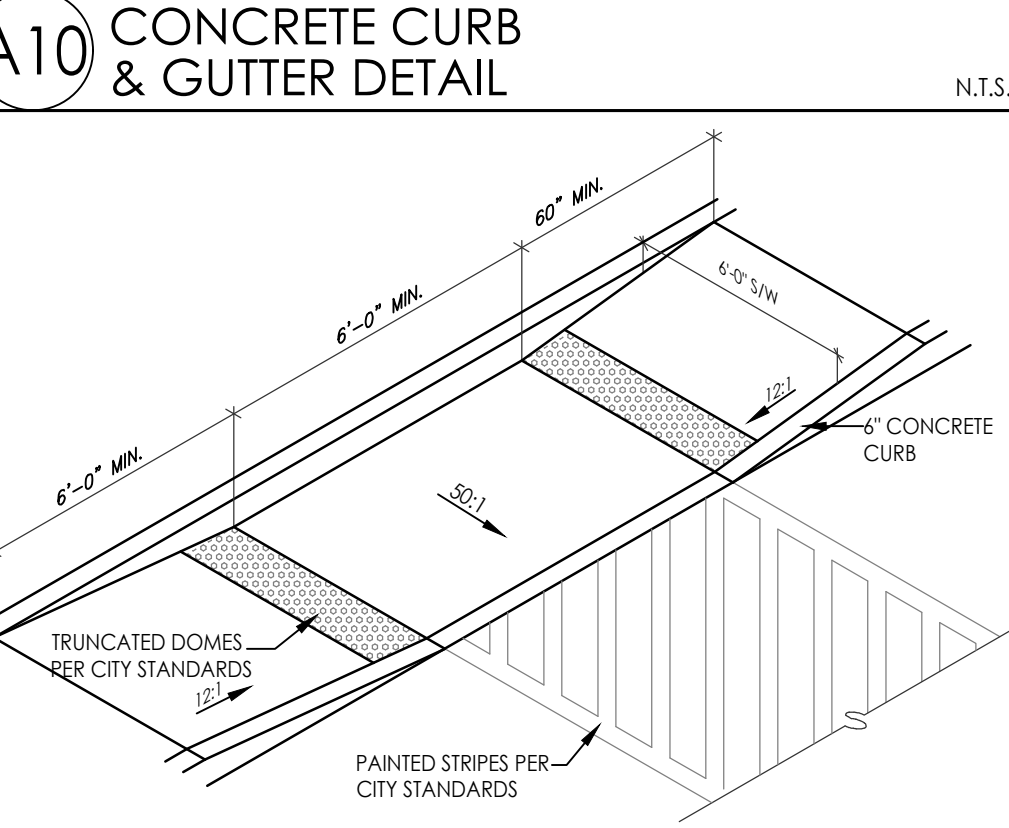
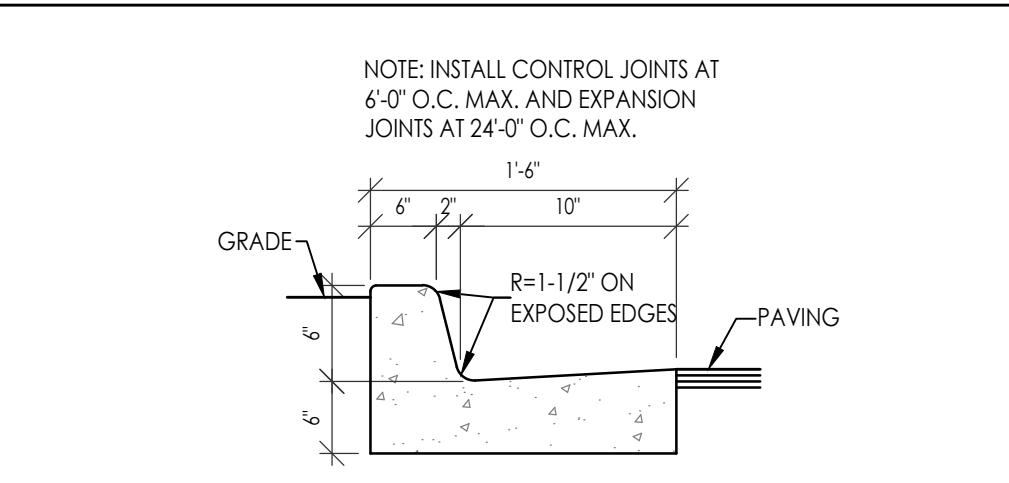
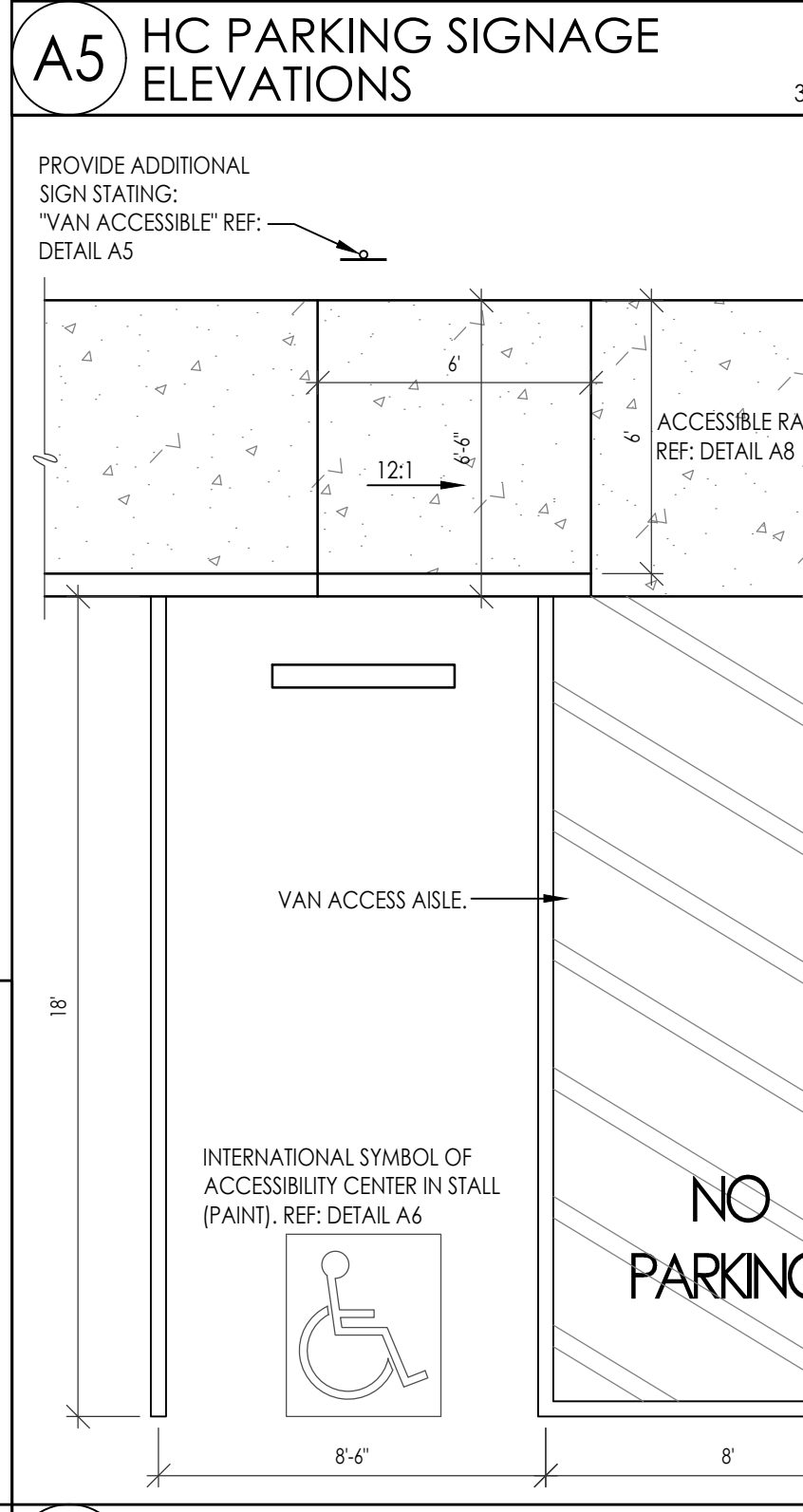
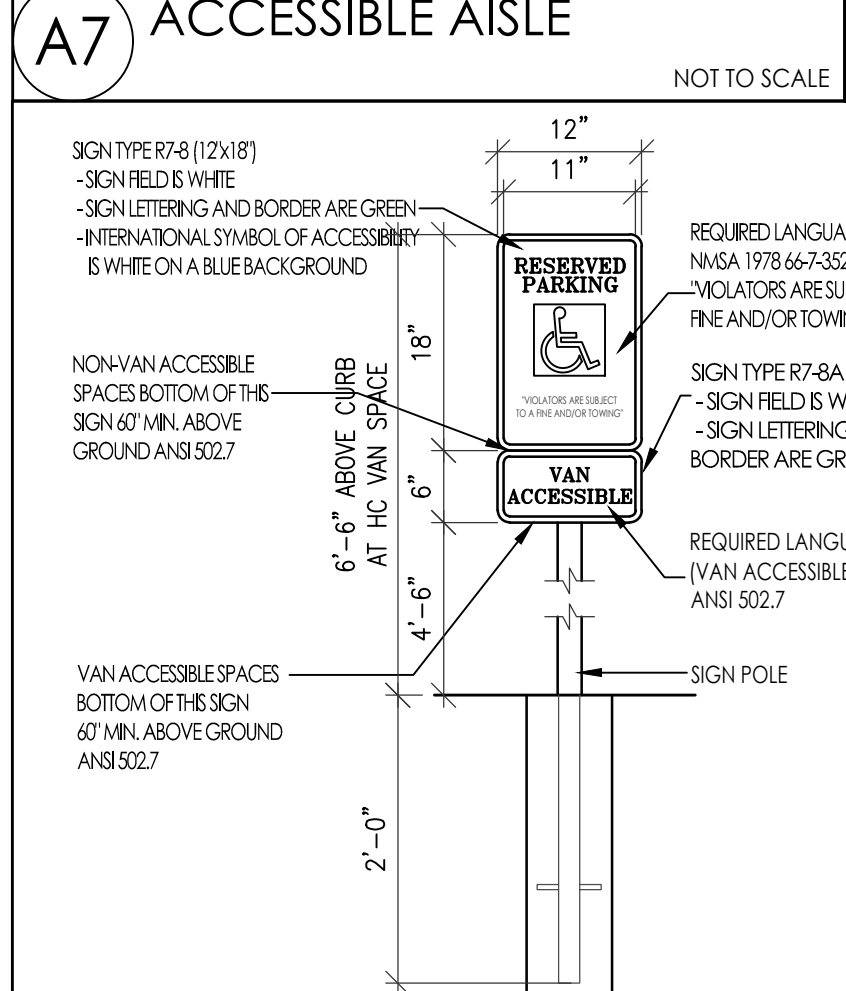
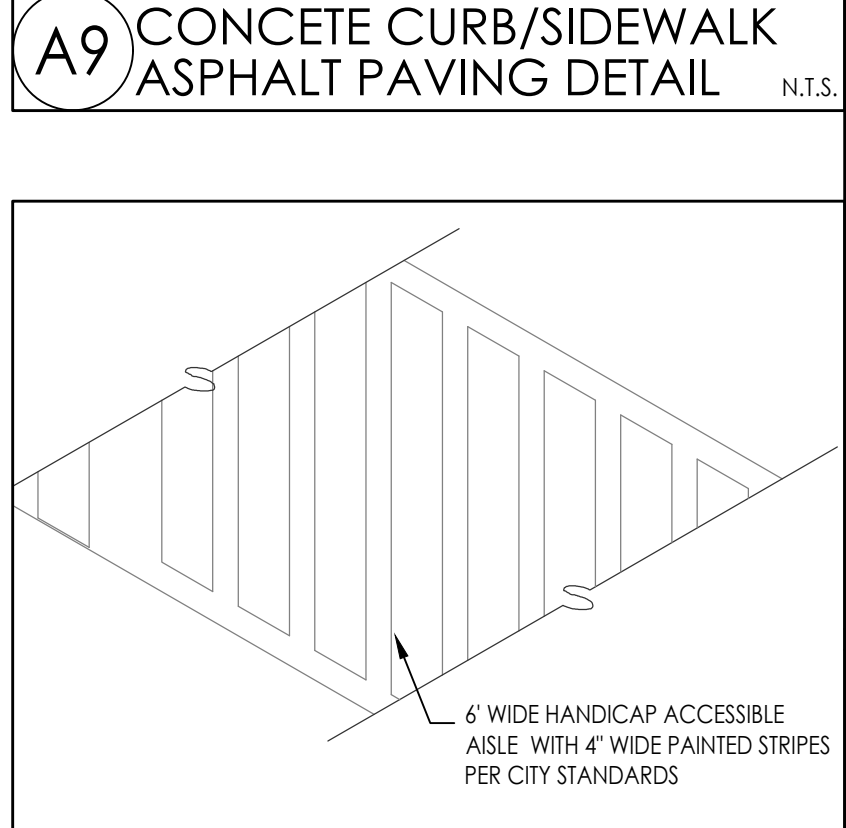
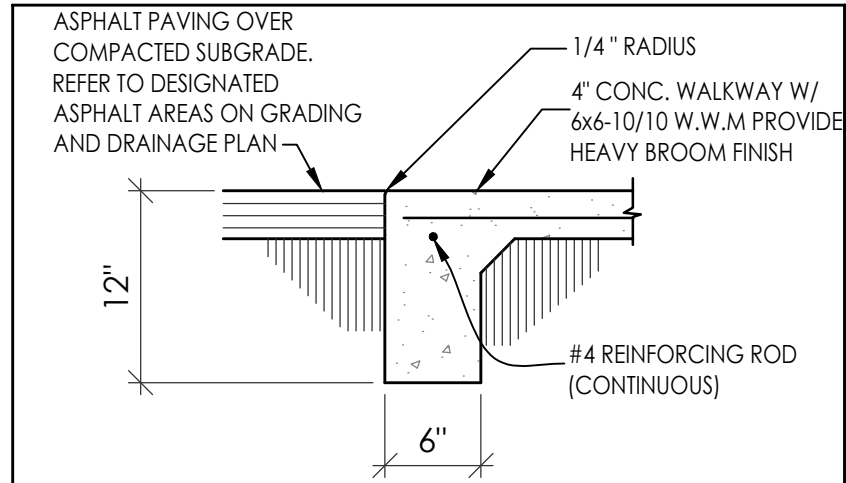
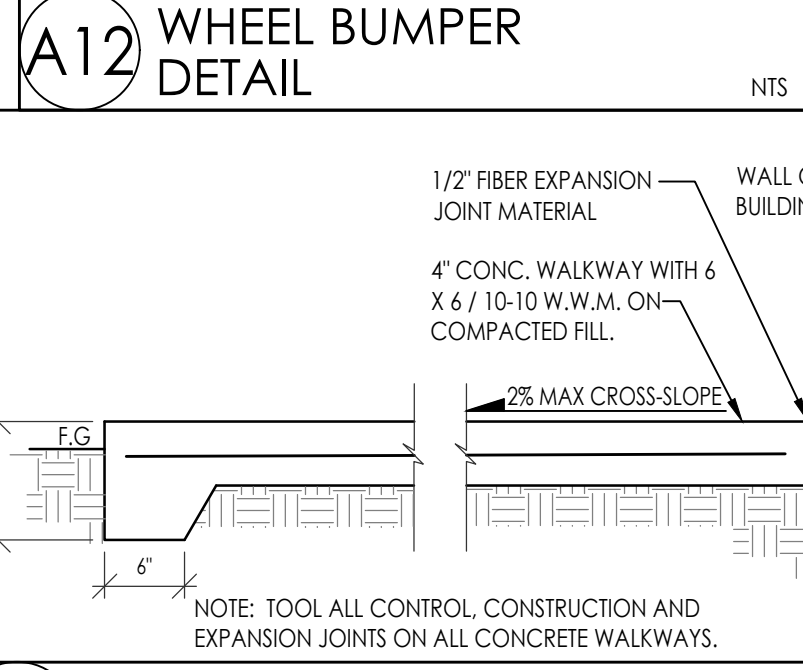
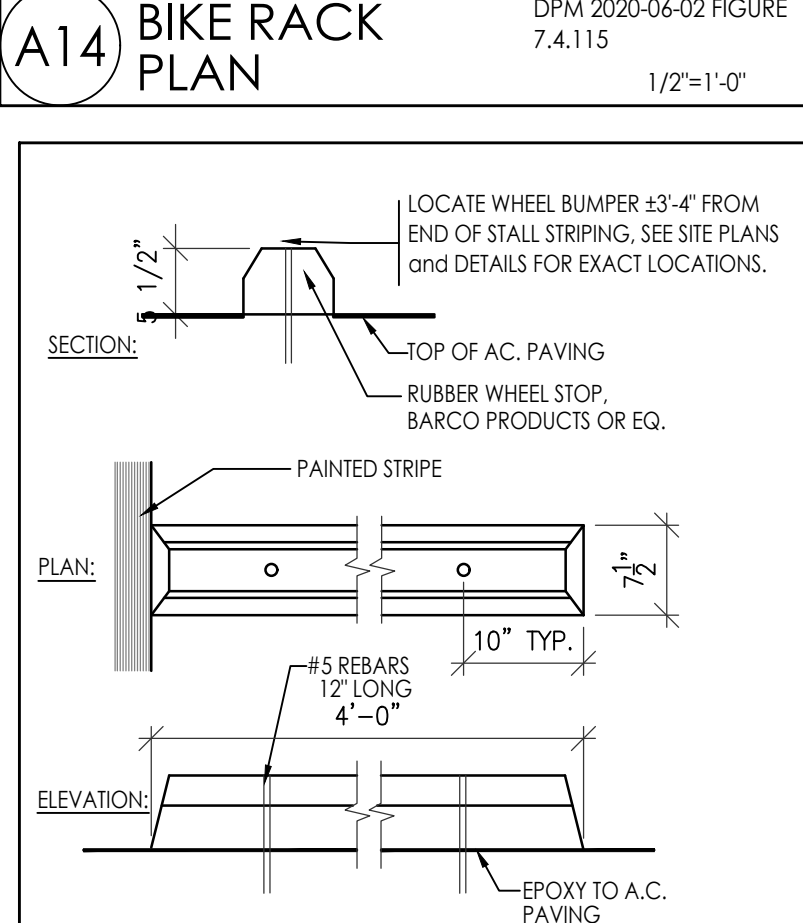
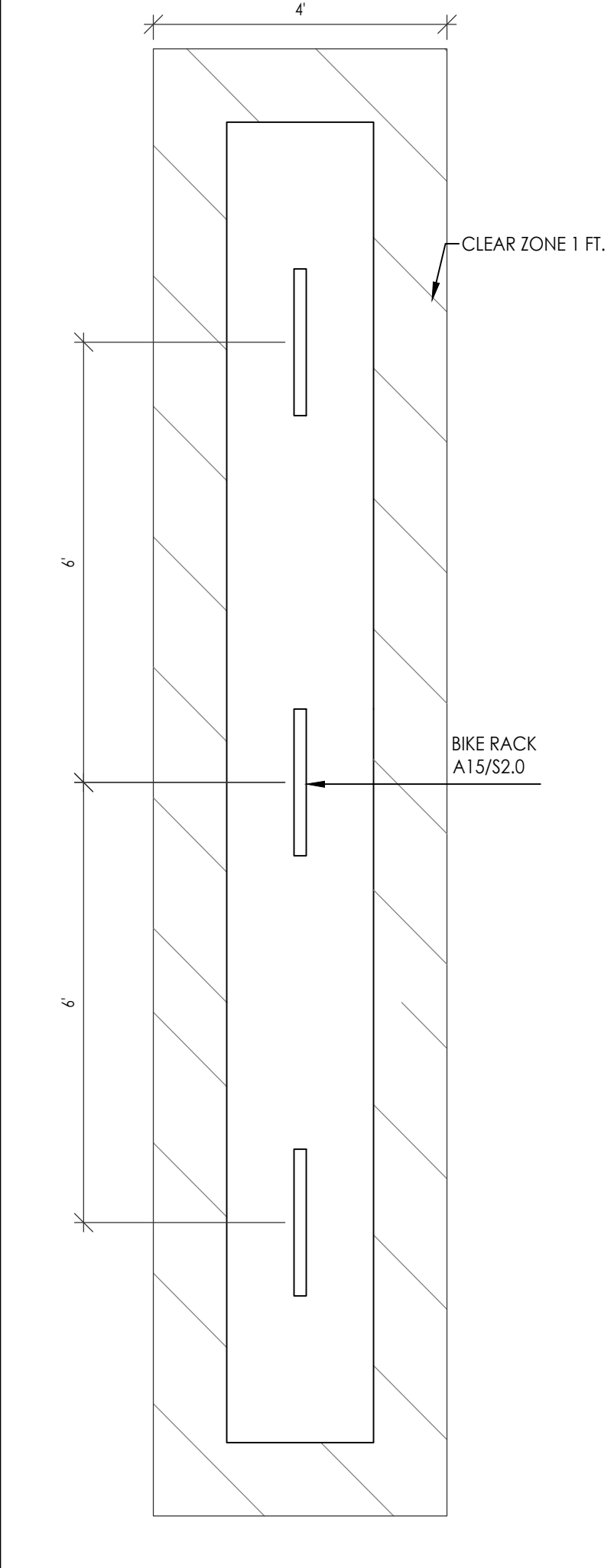
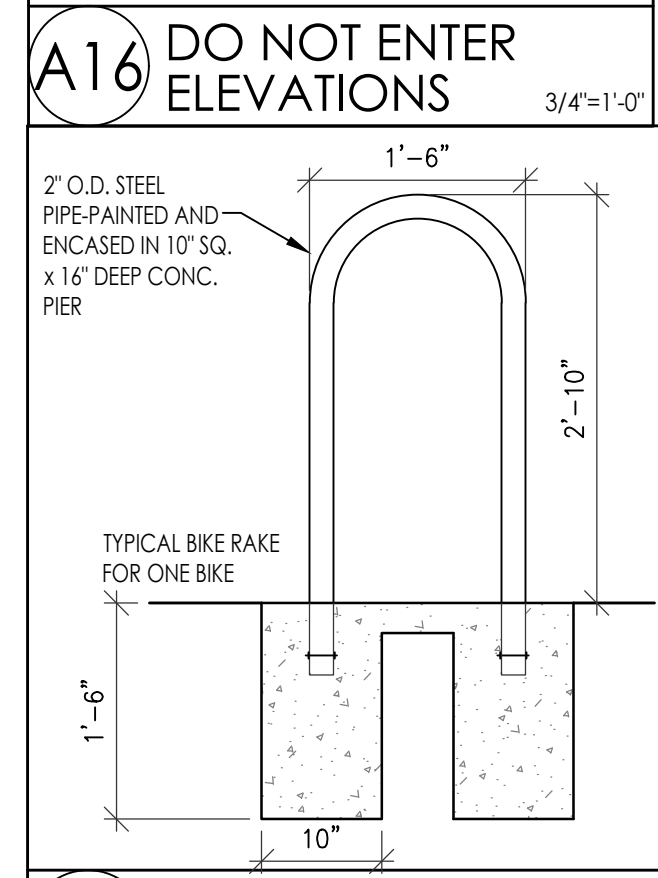
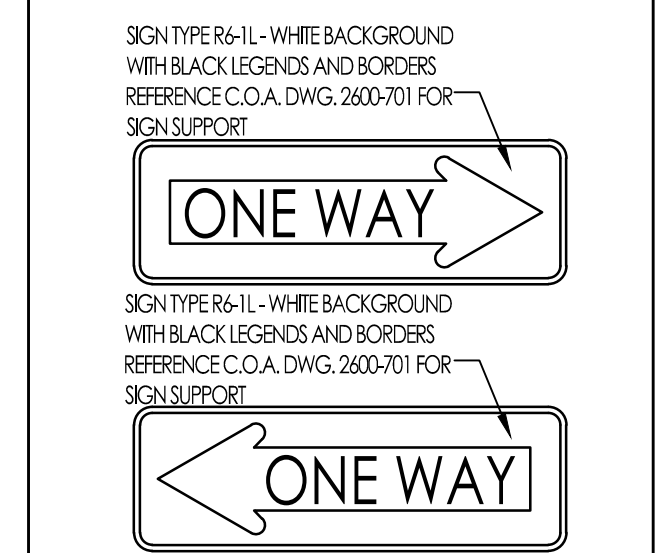
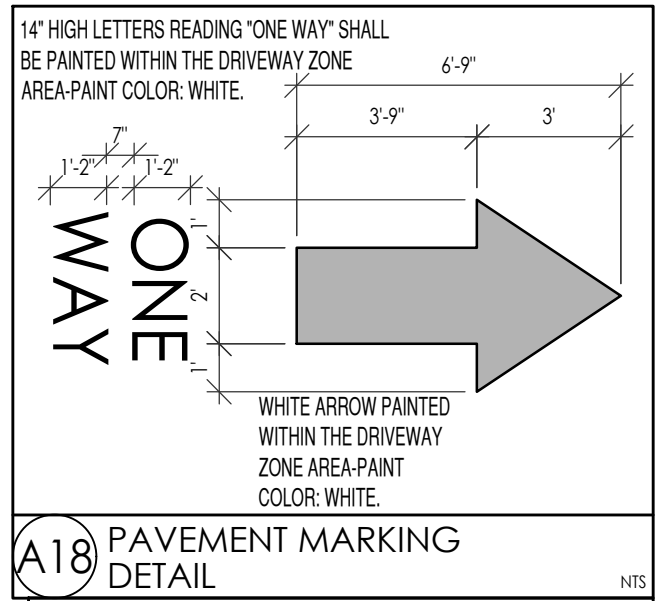
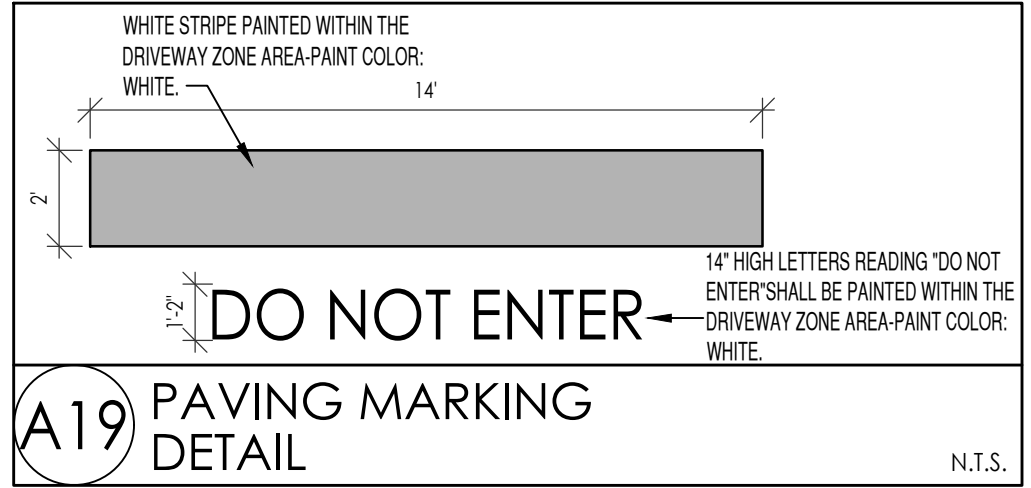
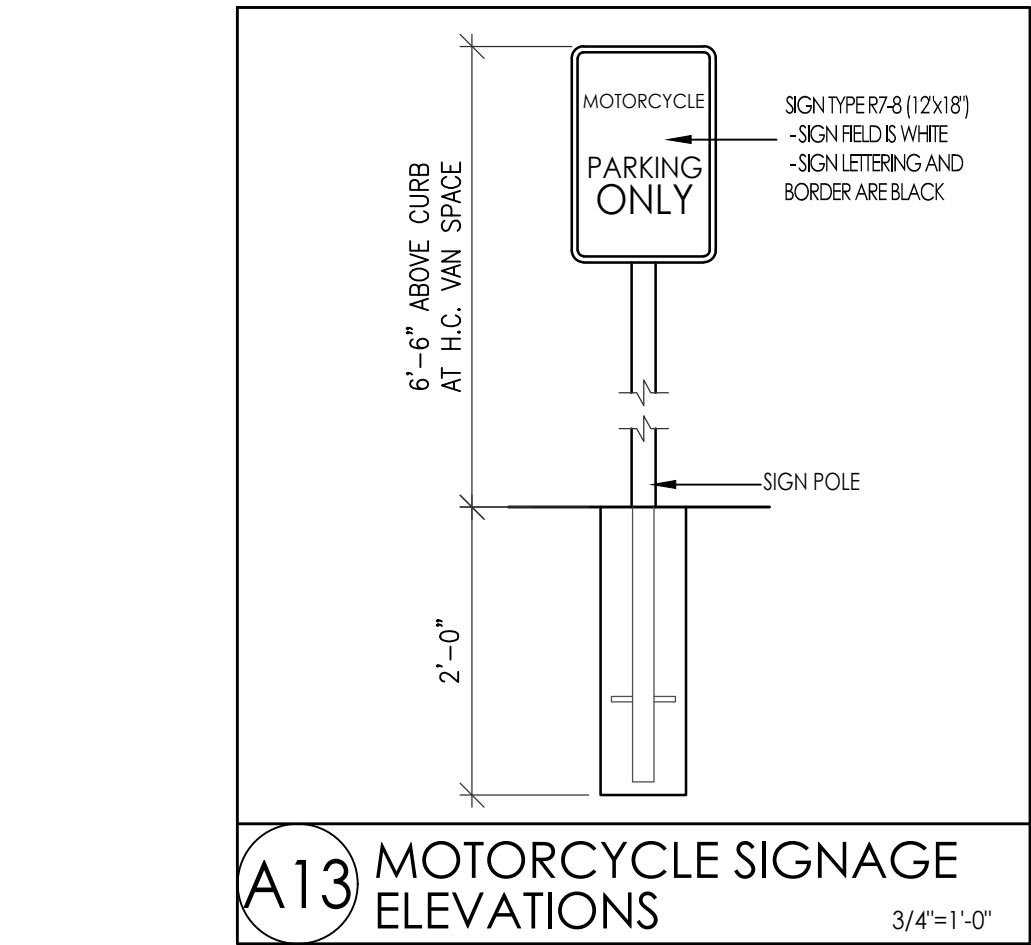


TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Sortil A. Kawbar 9/26/2024  
Signed Date

MESA DEL SOL SELF STORAGE  
SITE PLAN  
5500 TURING DR SE  
ALBUQUERQUE, NM 87106  
PROJECT #2322

REVISION DATE	
DATE	09-19-2024
SHEET NUMBER	AS-1.0





MESA DEL SOL SELF STORAGE  
SITE DETAILS  
5500 TURING DR SE  
ALBUQUERQUE, NM 87106  
PROJECT #2322

REVISION	DATE

DATE: 09-12-2024

SHEET NUMBER: AS-2.0