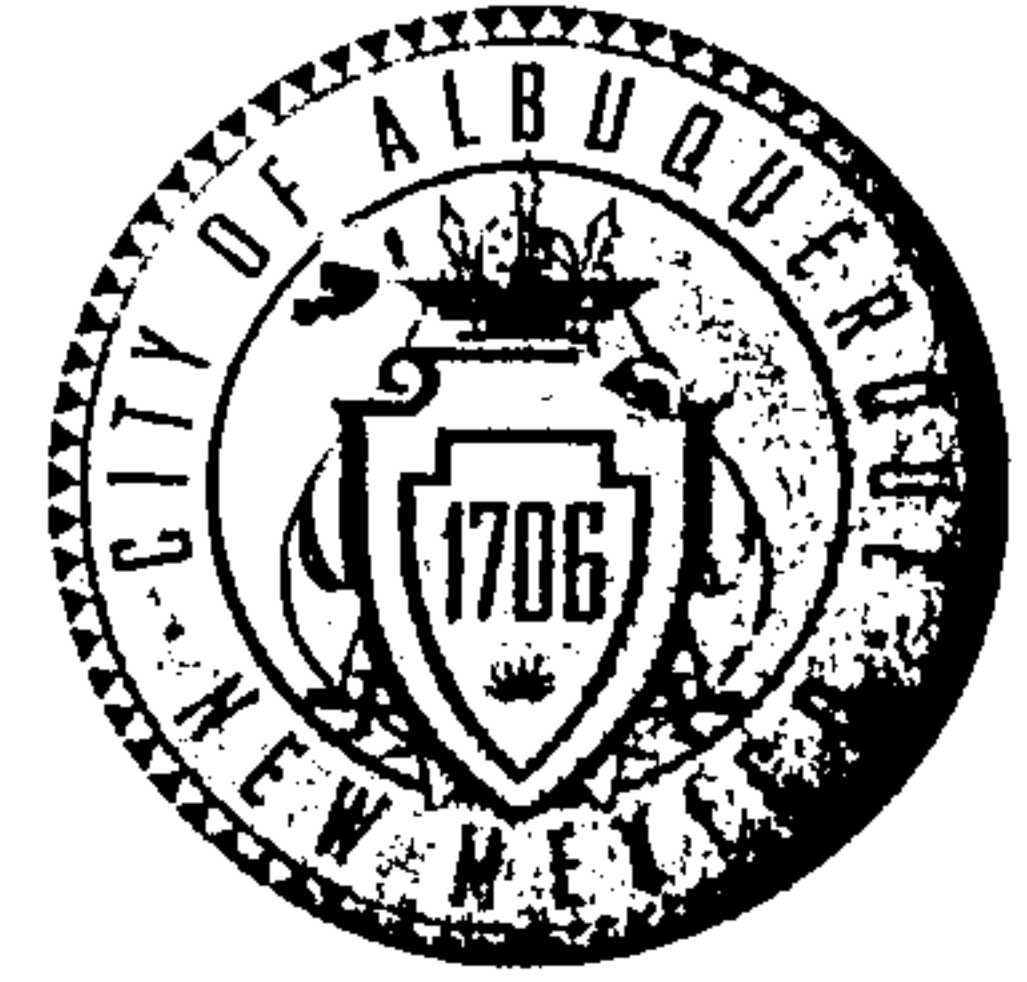


CITY OF ALBUQUERQUE



September 16, 2009

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Mesa del Sol Drainage Area Two COA Project No. 7754.78 Drainage
Management Exhibit, Sheet 13R of 13 and Pond P Grading
Engineer's Stamp date 9-11-09 (R16/DA2)**

Dear Mr. Balaskovits,

Based upon the information provided in your submittals received 9-11-09 and 9-15-09, the above referenced plans are approved for Work Order, with the comment that the swale to direct runoff to Pond P be built between the stock pile and the ROW rather than through the stock pile as shown on the exhibit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Tract 11 at Mesa del Sol GSA Infrastructure (COA Prjt #775478) ZONE MAP/DRG. FILE # R16/DA2
DRB#: _____ EPC#: _____ WORK ORDER#: 77 5478

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Mike Balaskovits
PHONE: (505)-823-1000
ZIP CODE: 87109

OWNER: Forest City Covington, N.M., LLC
ADDRESS: 801 University Blvd. SE, Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: Manny Barrera
PHONE: 505-400-3021
ZIP CODE: 87106

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

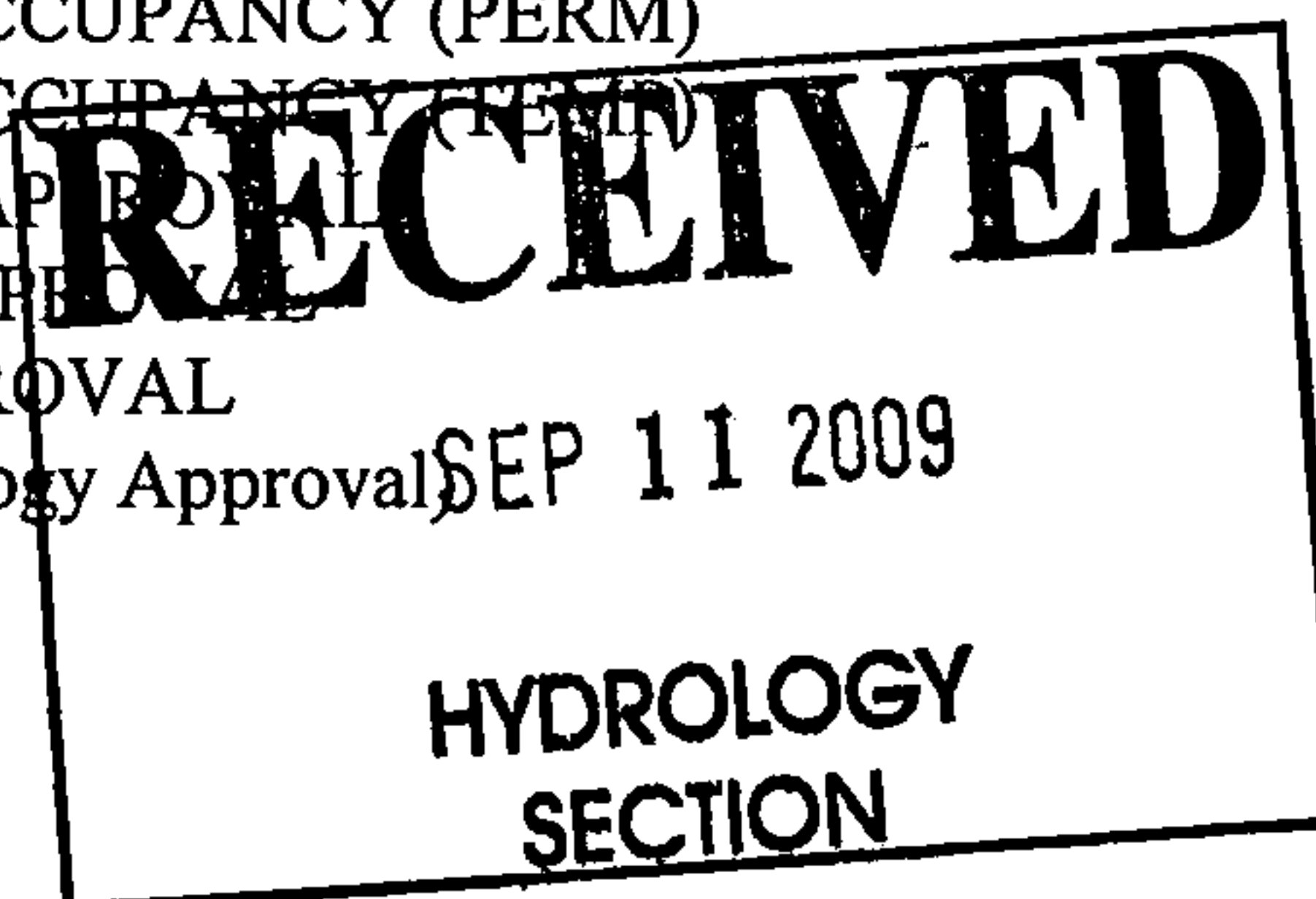
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☒ OTHER (Public Infrastructure Drainage Management Plan)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☒ OTHER (DRC Hydrology Approval)



SUBMITTED BY: Mike Balaksovits DATE: 9-11-09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

APPROXIMATE LOCATION
OF EXISTING STOCK PILE.

CONTRACTOR SHALL
GRADE A SWALE
THROUGH EXISTING
STOCKPILE TO ENSURE
DRAINAGE ENTERS
EXISTING POND P.

EXISTING
POND P
(TO REMAIN)



0 25 50 100
1"=100'

RECEIVED
SEP 15 2009
HYDROLOGY
SECTION

Bohannon & Huston

Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

TRACT 11 AT MESA DEL SOL,
GSA INFRASTRUCTURE

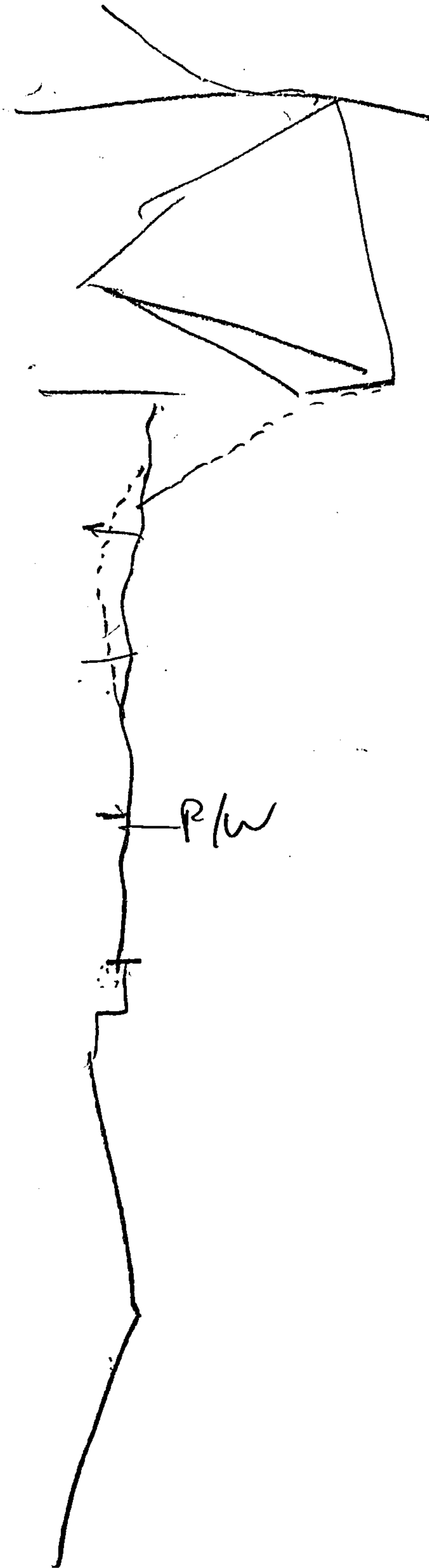
POND GRADING DETAILS
REFERENCE SHEET 13R

DRAWN BY: MJB
CHECKED BY: JLM

DATE: 09/14/09
GSA PROJECT NO. 775478

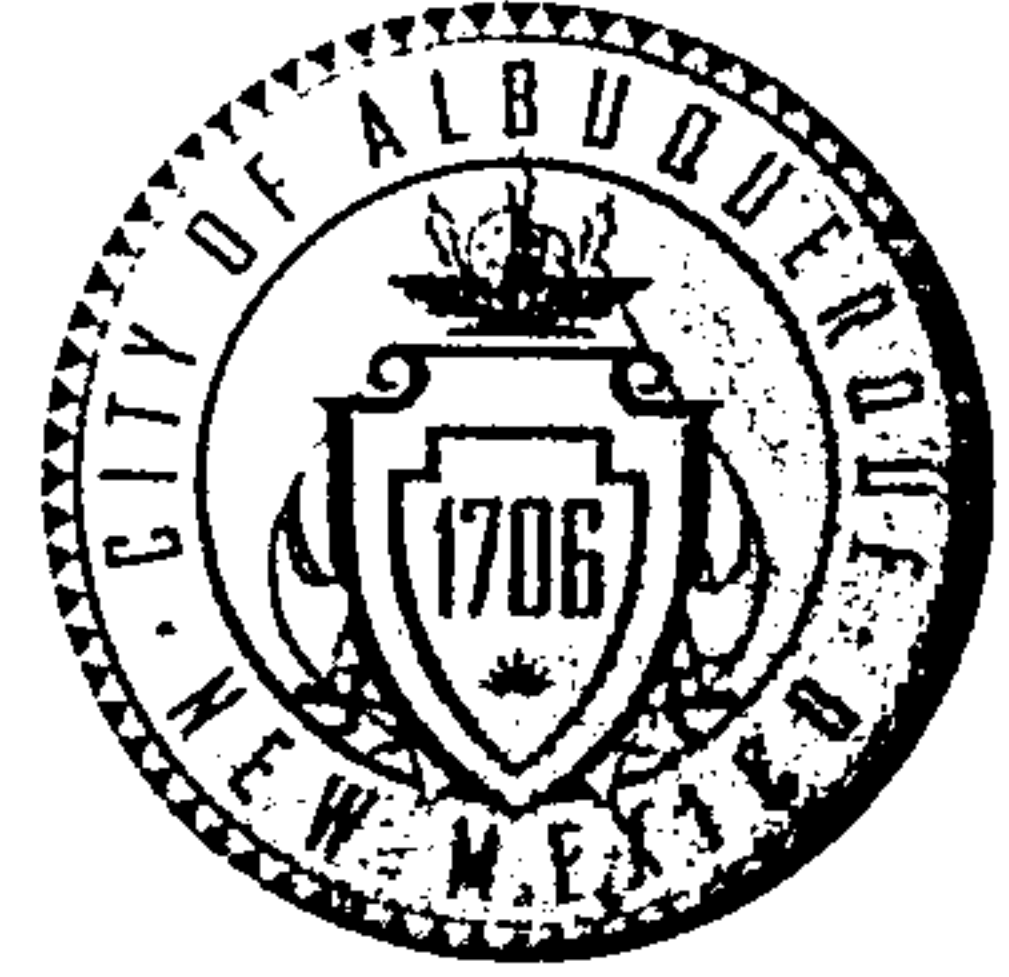
SHEET NO. 13R

P:\090453\09\090453\ Pond grading & 09.dwg
September 15, 2009 - 10:05am
POND P



RECEIVED
JAN 17 1967
U.S. AIR FORCE
HONOLULU, HAWAII

CITY OF ALBUQUERQUE



August 12, 2009

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Mesa del Sol Drainage Area Two COA Project No. 7754.78 Drainage
Management Exhibit and Sheet 13R of 13.**

Engineer's Stamp date 8-10-09 (R16/DA2)

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 8-11-09, the above referenced plan is approved for Work Order.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Tract 11 at Mesa del Sol GSA Infrastructure (COA Prjt #775478) ZONE MAP/DRG. FILE # R-16 /DAZ
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Mike Balaskovits
PHONE: (505)-823-1000
ZIP CODE: 87109

OWNER: Forest City Covington, N.M., LLC
ADDRESS: 801 University Blvd. SE, Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: Manny Barrera
PHONE: 505-400-3021
ZIP CODE: 87106

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☒ ENGINEER/ARCHITECT CERT (AA)
☒ OTHER (Public Infrastructure Drainage Management Plan)

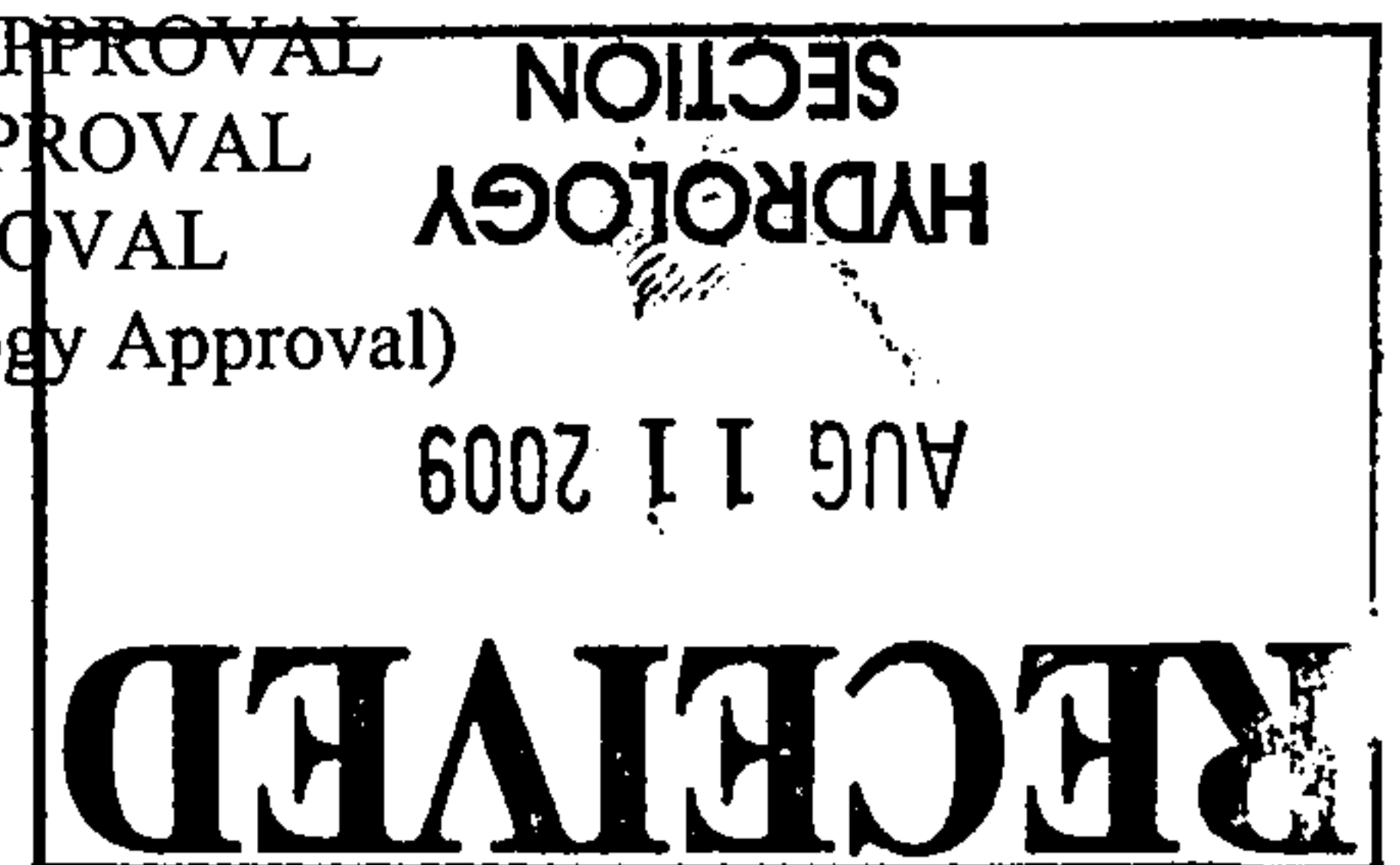
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☒ OTHER (DRC Hydrology Approval)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Mike Balaksovits DATE: 8/11/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Juning Dr JB

UPDATED DRAINAGE BASIN/ POND SUMMARY TABLE

BASIN ID	AREA (ac)	%A	%C	%D	V 360 acre-ft	Q100 cfs	WSL ELV	POND TOP ELEV	POND BOTTOM ELEV	POND VOLUME acre-ft
*P	21.06	85	5	10.00	1.2	41.13	5297.0	5300.0	5293.0	1.2
*Q	3.22	72.5	10	17.50	0.2	7.68	5296.0	5299.0	5293.0	0.2

* BASINS UPDATED TO ACCOUNT FOR COA PROJECT # 775489 DEVELOPED CONDITIONS ALONG TURING DRIVE

STREET CAPACITY CALCULATIONS FOR TURING DRIVE

MANNING'S N = 0.017 SLOPE = 0.005

POINT	DIST	ELEV	POINT	DIST	ELEV	POINT	DIST	ELEV
1.0	0.0	0.9	5.0	13.0	0.1	9.0	39.2	0.7
2.0	10.4	0.7	6.0	25.0	0.4	10.0	39.6	0.7
3.0	10.8	0.7	7.0	37.0	0.1	11.0	50.0	0.9
4.0	11.0	0.0	8.0	39.0	0.0			

WSEL FT.	DEPTH INC	FLOW AREA SQ.FT.	FLOW RATE (CFS)	WETTED PER (FT)	FLOW VEL (FPS)	TOPWID PLUS OBSTRUCTIONS	TOTAL ENERGY (FT)
0.020	0.020	0.006	0.002	0.658	0.286	1.545	0.021
0.040	0.040	0.025	0.011	1.316	0.453	2.170	0.043
0.060	0.060	0.056	0.033	1.974	0.594	2.796	0.065
0.080	0.080	0.100	0.072	2.632	0.719	3.421	0.088
0.100	0.100	0.156	0.130	3.289	0.835	4.046	0.111
0.120	0.120	0.225	0.212	3.947	0.943	4.671	0.134
0.140	0.140	0.310	0.297	5.297	0.959	5.989	0.154
0.160	0.160	0.431	0.415	7.339	0.962	7.999	0.174
0.180	0.180	0.593	0.599	9.380	1.010	10.009	0.196
0.200	0.200	0.795	0.856	11.422	1.077	12.019	0.218
0.220	0.220	1.037	1.194	13.463	1.152	14.028	0.241
0.240	0.240	1.319	1.624	15.505	1.231	16.038	0.264
0.260	0.260	1.642	2.153	17.547	1.311	18.048	0.287
0.280	0.280	2.004	2.790	19.588	1.392	20.058	0.310
0.300	0.300	2.407	3.544	21.630	1.472	22.068	0.334
0.320	0.320	2.850	4.423	23.671	1.552	24.078	0.357
0.340	0.340	3.333	5.434	25.713	1.630	26.087	0.381
0.360	0.360	3.857	6.585	27.755	1.707	28.097	0.405
0.380	0.380	4.416	8.050	28.796	1.823	29.107	0.432
0.400	0.400	4.979	9.826	28.837	1.973	29.117	0.461
0.420	0.420	5.543	11.739	28.878	2.118	29.127	0.490
0.440	0.440	6.108	13.784	28.920	2.257	29.137	0.519
0.460	0.460	6.672	15.957	28.961	2.392	29.147	0.549
0.480	0.480	7.237	18.253	29.002	2.522	29.156	0.579
0.500	0.500	7.802	20.669	29.043	2.649	29.166	0.609
0.520	0.520	8.367	23.201	29.084	2.773	29.176	0.640
0.540	0.540	8.932	25.848	29.126	2.894	29.186	0.670
0.560	0.560	9.497	28.605	29.167	3.012	29.196	0.701
0.580	0.580	10.063	31.471	29.208	3.127	29.206	0.732
0.600	0.600	10.629	34.443	29.249	3.241	29.216	0.763
0.620	0.620	11.195	37.518	29.290	3.351	29.225	0.795
0.640	0.640	11.761	40.696	29.332	3.460	29.235	0.826
0.660	0.660	12.327	43.973	29.373	3.567	29.245	0.858
0.680	0.680	12.899	46.368	30.382	3.595	30.238	0.881
0.700	0.700	13.533	47.268	33.278	3.493	32.214	0.890
0.720	0.720	14.197	49.265	35.255	3.470	34.190	0.907
0.740	0.740	14.900	51.493	37.231	3.456	36.167	0.926
0.760	0.760	15.643	53.951	39.208	3.449	38.143	0.945
0.780	0.780	16.426	56.637	41.185	3.448	40.119	0.965
0.800	0.800	17.248	59.549	43.161	3.453	42.095	0.985
0.820	0.820	18.110	62.690	45.138	3.462	44.071	1.006
0.840	0.840	19.011	66.060	47.114	3.475	46.048	1.028
0.860	0.860	19.952	69.663	49.091	3.492	48.024	1.050

Fr = 0.90 (subcritical)

Qmax = 41.13 cfs

Bobman

Huston

September 16, 2009

Mr. John Ellis
Vice President
Franklin's Earthmoving, Inc.
2425 Jefferson NE
Albuquerque, NM 87110

Re: Tract 11 at Mesa del Sol, GSA Infrastructure (COA WO# 775478) Design Revision #4

Dear John:

This letter accompanies the revised construction Sheet 13 associated with the pond grading of above referenced project. Sheet 13R shows the modifications to the original pond and addition drainage swales to existing ponding areas.

In addition the COA Hydrology department requested that a swale be constructed along the west side of Turing in order for drainage to be diverted to the existing Pond P and not into Turing Dr. (see attached Pond P swale exhibit). This swale shall be shown on the as-builts upon completion of this project. This revision shall hereby be incorporated into the contract as well as reflected in the Record Drawings.

Please feel free to give me a call at 823-1000 if you should have any questions or comments.

Sincerely,



Michael J. Balaskovits, P.E.
Project Manager
Community Development and Planning

MJB
Enclosure

cc: Manny Barrera, MDS (w/ encl.)
Steve Morrow, B&L (w/ encl.)
Will Plotner, Cartesian Surveys (w/ encl.)

Spoke w/ Mike.
he is to add
swal around Pond P
to Sht C of
m-y/ave.

10-23-09

Cartesian
2425 Jefferson St. NE
Albuquerque, NM
87109-4335
www.cartesian.com
Phone 805.823.1000
Fax 805.798.7988
Cell 800.877.5332

APPROXIMATE
LOCATION OF
EXISTING STOCKPILE.

CONTRACTOR SHALL
GRADE A SWALE ALONG
THE EXISTING STOCKPILE
TO ENSURE DRAINAGE
ENTERS EXISTING POND
P AND NOT TURING DR.

MOLINA DR

TURING DR.

SAGNA AVE.

EXISTING
POND P
(TO REMAIN)

EASTMAN AVE.

Bohannon  **Huston** INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

TRACT 11 AT MESA DEL SOL,
GSA INFRASTRUCTURE

POND P GRADING DETAILS
REFERENCE SHEET 13R

DRAWN BY: MJB

DATE: 09/16/09

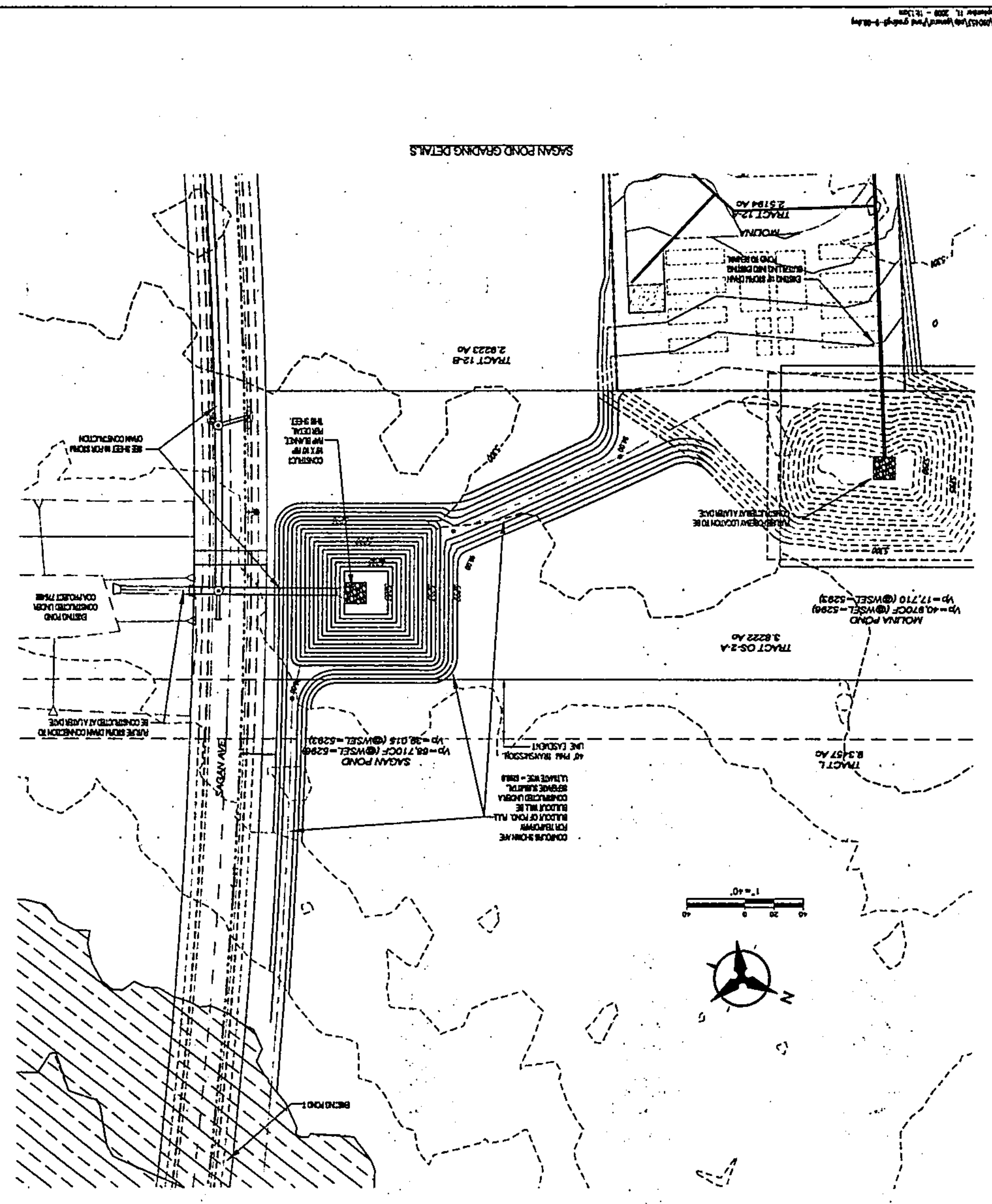
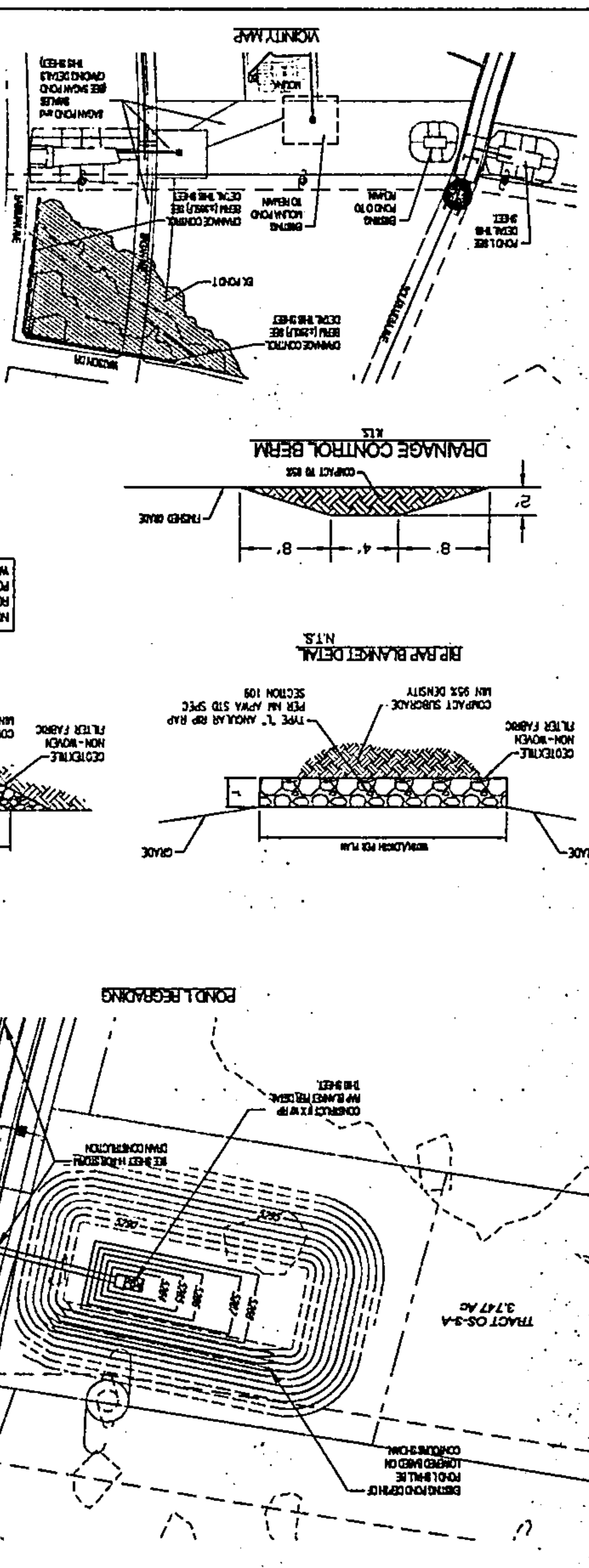
CHECKED BY: JLM

COA PROJECT NO.
775478

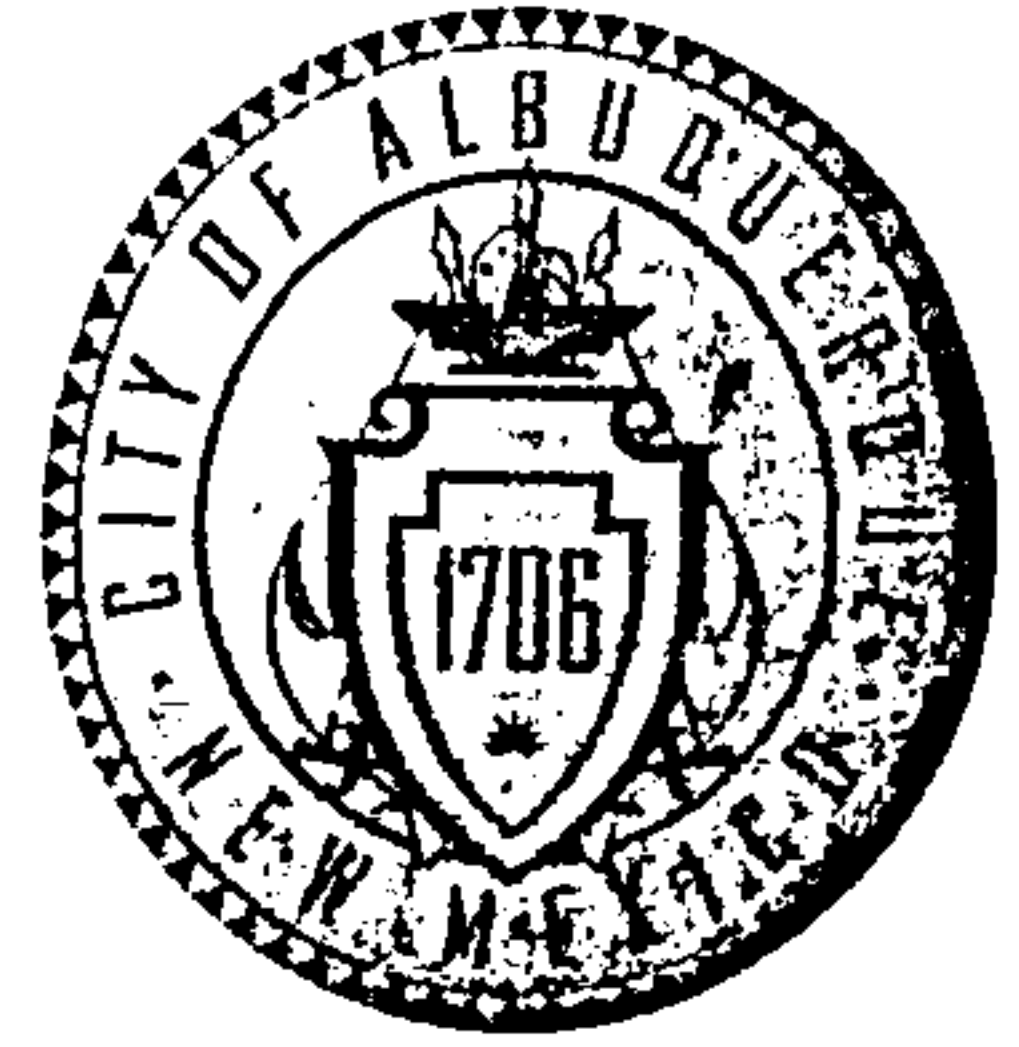
SHEET NO.
13R

P:\000453\cdp\general\pond grading-9-09.dwg
September 16, 2009 - 5:45pm
POND P

City Project No. 775478		Zone Map No. R-15, R-16		Sheet 13R of 13	
Design Review Committee City Engineer Approval					
TRAFFIC AT MESA DEL SOL GSA INFRASTRUCTURE POND GRADING DETAILS					
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT					
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES Copyright © 2000 Johnson & M.E. Albuquerque, NM 87108-4335					
Bohannon & Huston					
No. 13R					
Date: 05/20/09					
Drawn By: LWB					
Checked By: CJS					
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98 05/20/09 LWB					
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100 05/20/09 LWB					



CITY OF ALBUQUERQUE



June 4, 2008

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Mesa del Sol Drainage Area 2 Drainage Management Plan
Engineer's Stamp dated 5-19-08 (R16/DA2)**

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 5-19-08, the above referenced plan is accepted as the Drainage Area Management Plan for DA2.

In the future, please label the streets.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

PO Box 1293

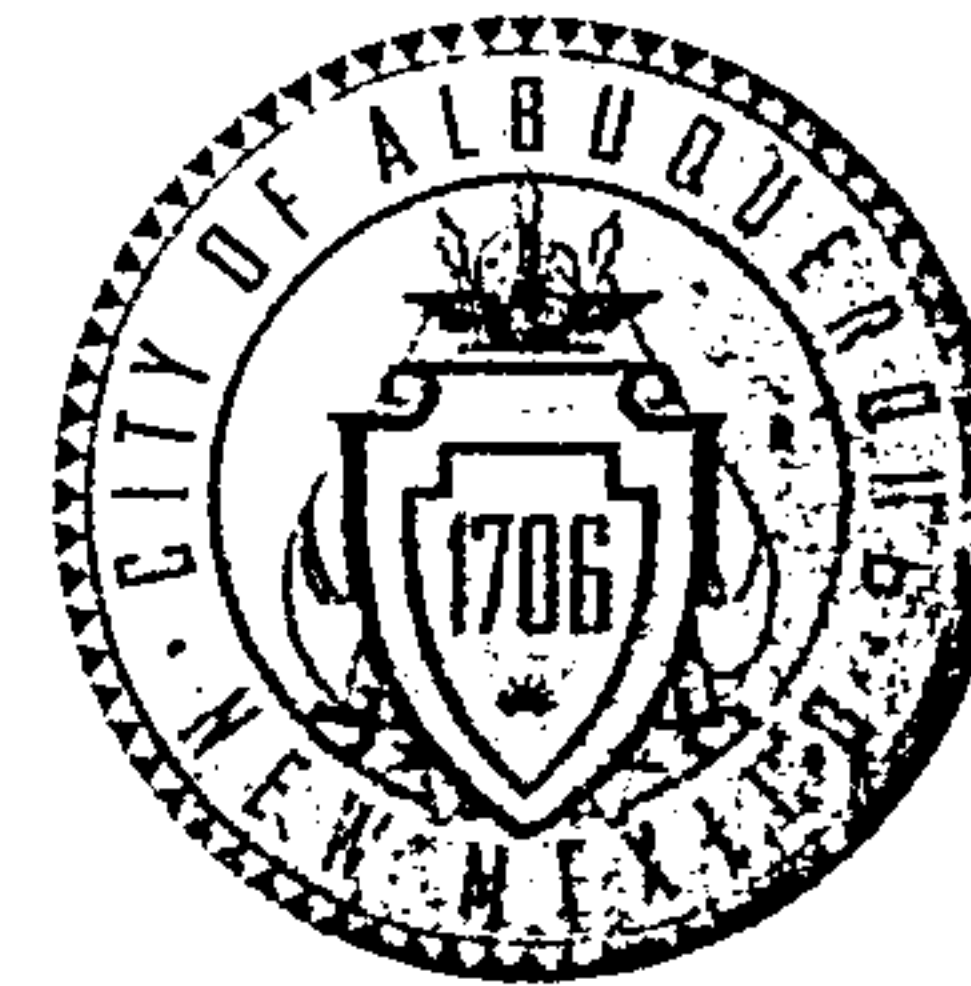
Albuquerque

NM 87103

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



April 15, 2008

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Mesa del Sol Drainage Area 2 Drainage Management Plan
Engineer's Stamp dated 4-2-08 (R16/DA2)**

Dear Mr. Mulberry,

Based upon the information provided in your submittal received 4-3-08, the above referenced plan is accepted as the Drainage Area Management Plan for DA2.

In the future, please label the streets.

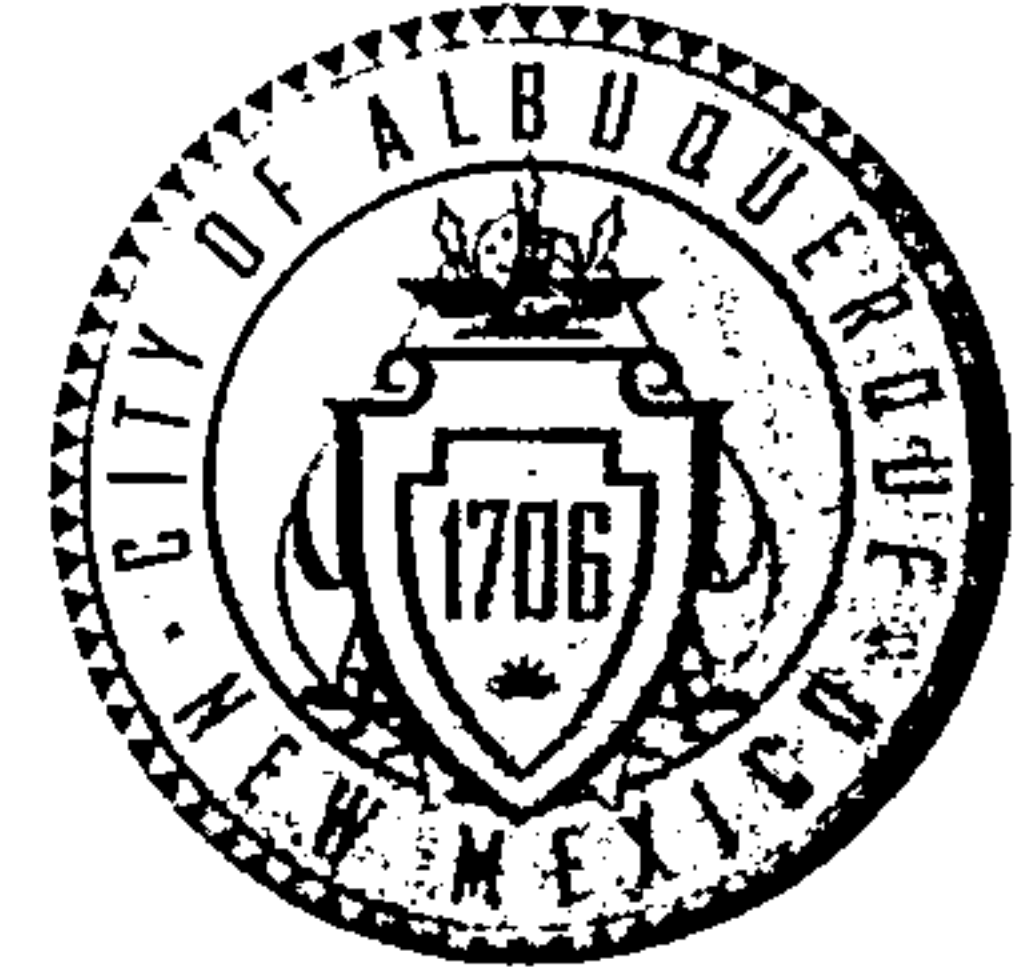
If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



June 8, 2009

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Mesa del Sol Drainage Area Two COA Project No. 7754.78 Drainage
Management Exhibit**

Engineer's Stamp date 5-22-09 (R16/DA1)

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 5-22-09, the above referenced plan is approved for Work Order. It appears that runoff from portions of Tract 13 and 14 would enter the pond and these areas were not included in the table. However, the pond's provided volume is large enough so it is acceptable.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Tract 11 at Mesa del Sol GSA Infrastructure (COA Prjt #775478) ZONE MAP/DRG. FILE # R-16/DA2
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Mike Balaskovits
PHONE: (505)-823-1000
ZIP CODE: 87109

OWNER: Forest City Covington, N.M., LLC
ADDRESS: 801 University Blvd. SE, Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: Manny Barrera
PHONE: 505-400-3021
ZIP CODE: 87106

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

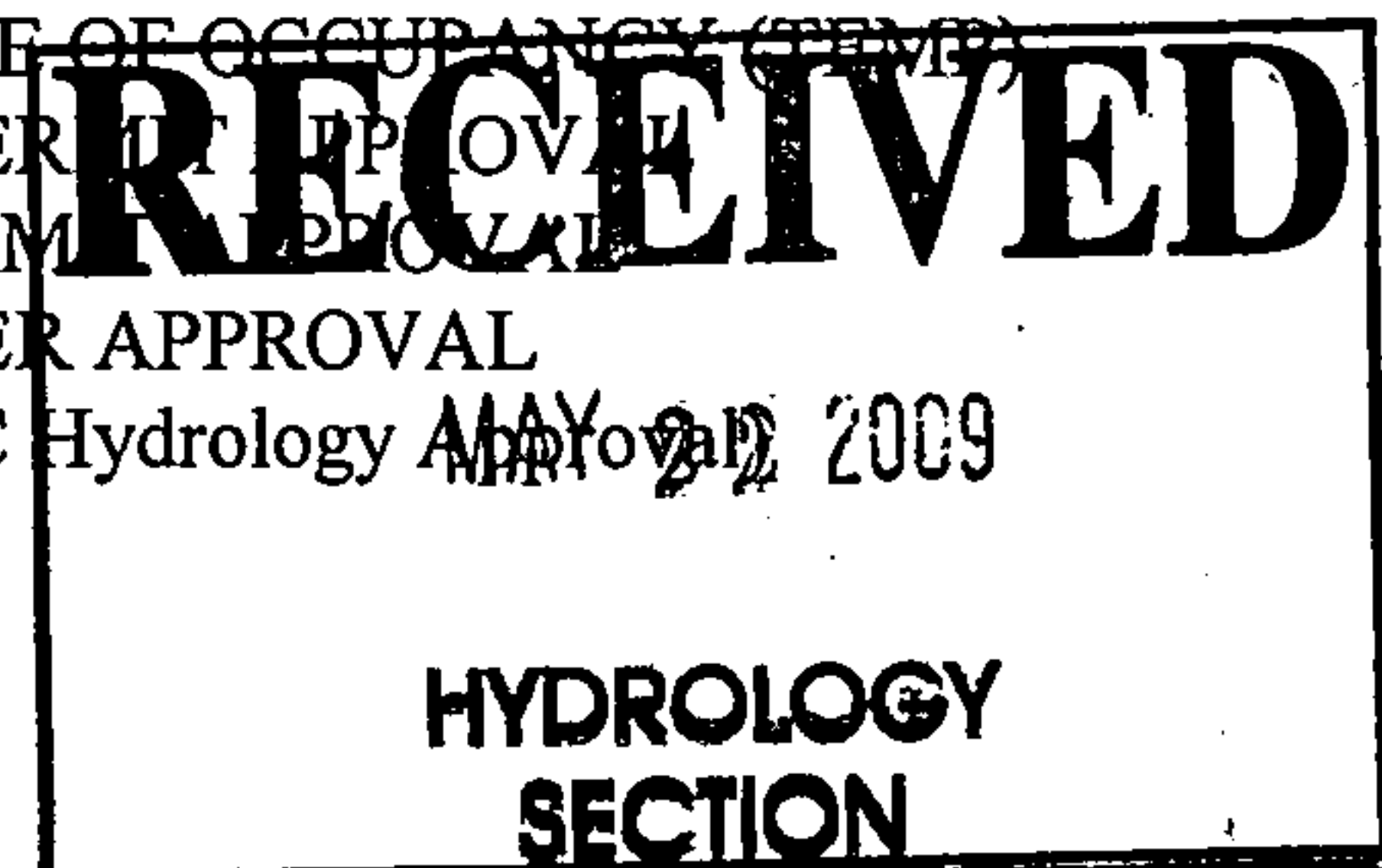
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☒ OTHER (Public Infrastructure Drainage Management Plan)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☒ OTHER (DRC Hydrology Approval)

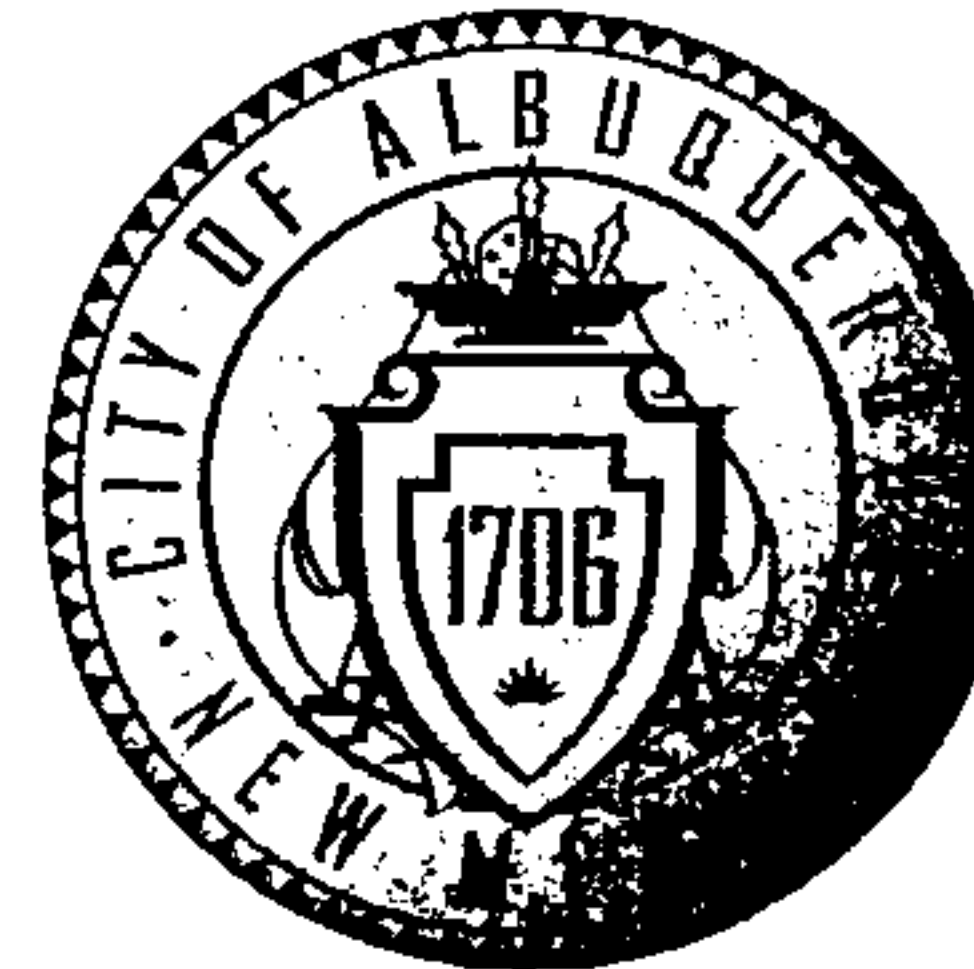


SUBMITTED BY: Mike Balaksovits DATE: 5/22/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 7, 2008

Michael Balaskovits, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

Re: Mesa del Sol Drainage Area 2 Drainage Management Plan
Engineer's Stamp dated 11-4-08 (R16/DA2)

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 11-4-08, the above referenced plan is accepted as the Drainage Area Management Plan for DA2.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

R-16/DA2

PROJECT TITLE: Mesa del Sol Drainage Area 2 (DA2) ZONE MAP/DRG. FILE # ~~R-15, R-16~~
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A portion of Tract 4-A, Plat of Mesa del Sol Tracts 4-A, 4-B & 4-C
 CITY ADDRESS: _____

ENGINEERING FIRM: Bohannon Huston, Inc.
 ADDRESS: 7500 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: Mike Balaskovits
 PHONE: (505)-823-1000
 ZIP CODE: 87109

OWNER: Forest City Covington, N.M., LLC
 ADDRESS: 801 University Blvd. SE, Suite 200
 CITY, STATE: Albuquerque, NM

CONTACT: Manny Barrera
 PHONE: 505-400-3021
 ZIP CODE: 87106

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☒ OTHER (DRAINAGE AREA DRAINAGE MANAGEMENT PLAN)
RESUBMITTAL

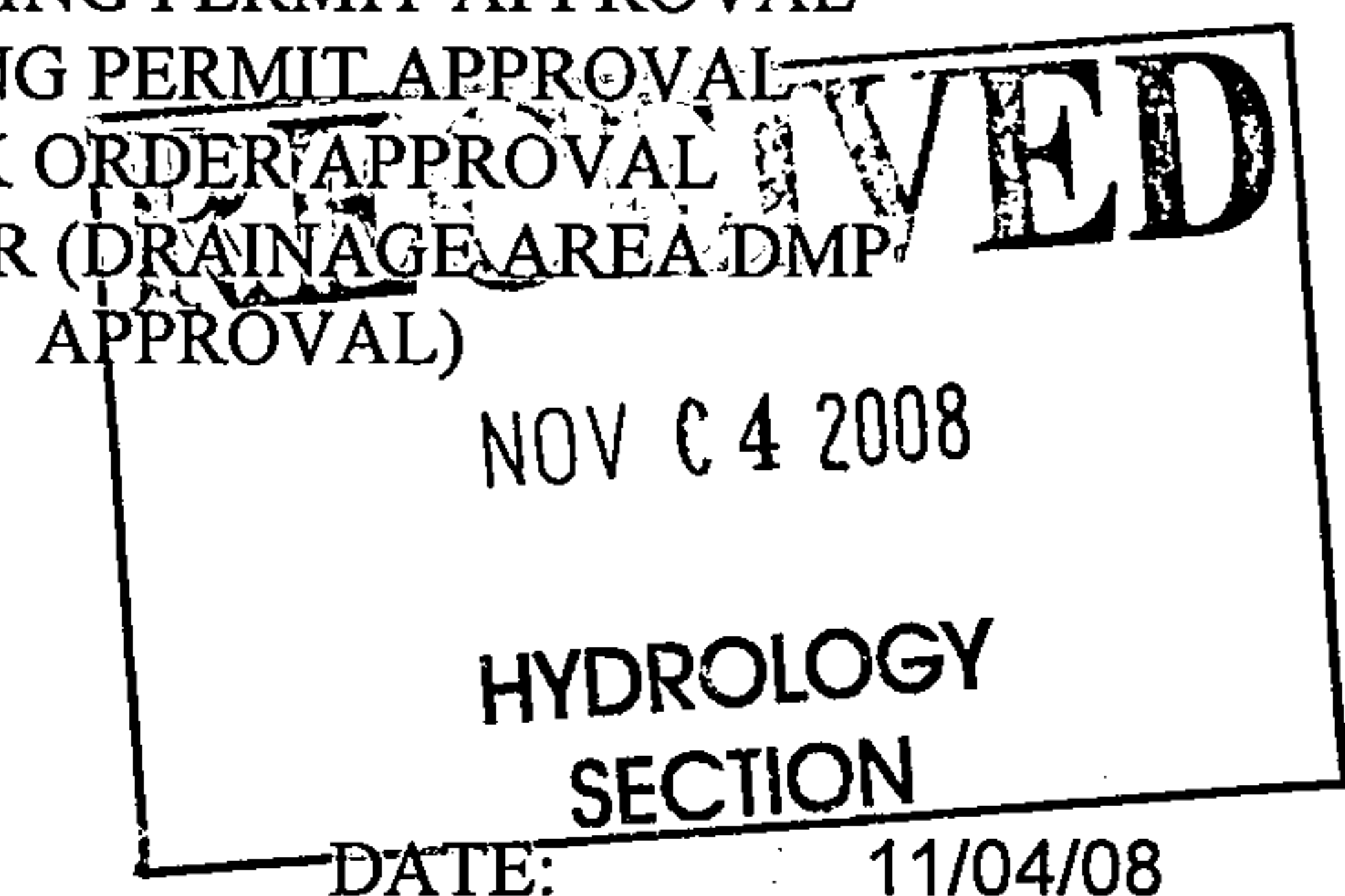
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (DRAINAGE AREA DMP APPROVAL)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Mike Balaksovits



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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