

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2024

Alejandro Sazo
RBA Architects, PC
1104 Park Ave SW
Albuquerque, NM 87102

alejandro@rba81.com

**Re: Mesa Del Sol Self Storage
2322 Mesa del Sol SE
Traffic Circulation Layout
Engineer's Stamp Dated 9-19-24 (R16DA1004)**

Dear Mr. Sazo,

The TCL submittal received 9-23-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

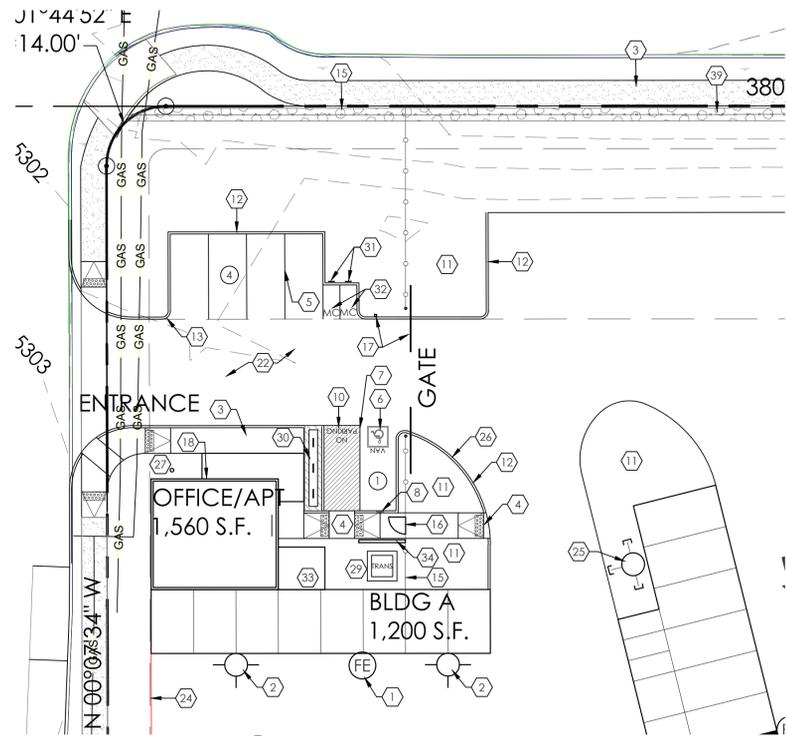
TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



2 ENLARGED SITE PLAN
1"=20'-0"

PARKING REQUIREMENTS	
SELF-STORAGE:	1 SPACE / 3,000 S.F. GFA 71,560 S.F./3,000 = 23.85 SPACES (24)
REQUIRED PARKING:	24 SPACES
PROVIDED SPACES:	25 SPACES (1 H.C.) 2 MOTORCYCLE 1 BICYCLE PARKING

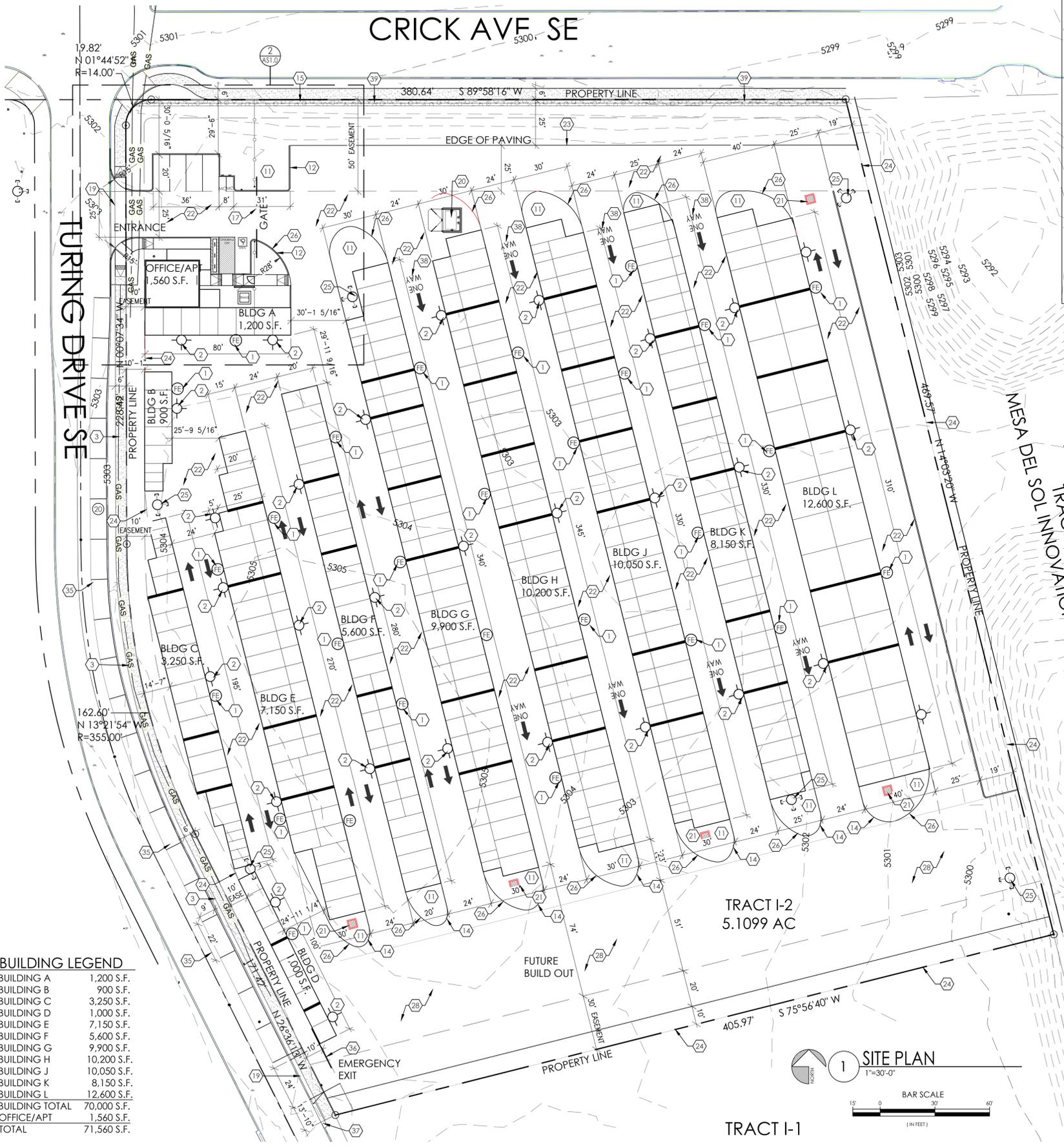
NOTE: ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

KEYED NOTES

- WALL MOUNTED FIRE EXTINGUISHER, 2A-10-BC, 1 AT EVERY 75'-0" MAX., REF: SITE PLAN FOR LOCATIONS.
- WALL MOUNTED PACK LIGHT, REF: ELECTRICAL.
- 6" WIDE x 4" THICK CONC. SIDEWALK, TYP.
- ADA ACCESSIBLE RAMP, REF: DETAIL A8/AS-2.0.
- 2" WIDE PAINTED PARKING STRIPE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SYMBOL, PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL A6/AS-2.0.
- 2" WIDE PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A5/AS-2.0.
- 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- 6" HIGH CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
- 2'-0" RADIUS.
- 15'-0" RADIUS.
- NEW 3" HIGH GABION FENCE WITH 3" HIGH WELDED WIRE MESH FENCE ABOVE, AT PARKING ONLY.
- NEW 36" w x 6" H MAN GATE WITH KEYS LOCKSET.
- NEW (2) 15" SLIDING AUTOMATIC GATES WITH SECURITY PUSH PAD FOR CUSTOMER ACCESS.
- KNOX BOX LOCATION WITH KEYS FOR OFFICE BUILDING AND MAIN PROPERTY SLIDING GATES FOR FIRE DEPARTMENT USE TO GAIN ACCESS TO PROPERTY IN CASE OF EMERGENCY, KNOX BOX BY OWNER, INSTALLED BY OWNER, VERIFY LOCATION OF KNOX BOX WITH FIRE DEPARTMENT.
- SAW CUT EXIST. CURB AND GUTTER AND REMOVE FOR NEW CURB CUT AND DRIVE PAD, BUILD NEW DRIVE PAD PER C.O.A. STANDARD DRAWING 2426, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- STORM DRAIN INLET, REF: GRADING AND DRAINAGE PLAN.
- ASPHALT PAVING, REF: GRADING AND DRAINAGE PLAN.
- EDGE OF ASPHALT PAVING.
- 6" HIGH WELDED WIRE MESH FENCE.
- NEW FIRE HYDRANT.
- 28'-0" RADIUS, TYP. LINE SHOWN FOR RADIUS LAYOUT ONLY.
- FLAGPOLE WITH LIGHT.
- BASE COURSE.
- ELECTRICAL TRANSFORMER, REF: ELECTRICAL PLANS.
- BIKE RACK FOR (1) BICYCLE, REF DETAIL A14-A15/AS-2.0, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
A. 30" TALL x 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION, SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- COVERED PATIO W/ BENCH.
- CMU WALL 4" TALL.
- 20" x 22" ON STREET PARKING.
- EMERGENCY ACCESS CRASH GATE W/ KNOX BOX.
- EXISTING DROPPED INLET.
- PAINTED "ONE-WAY" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- NEW 2" HIGH GABION FENCE WITH 4" HIGH WELDED WIRE MESH FENCE ABOVE.

BUILDING LEGEND

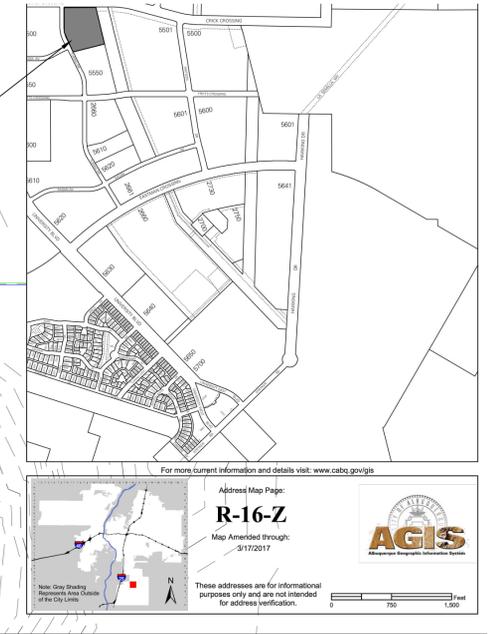
BUILDING A	1,200 S.F.
BUILDING B	900 S.F.
BUILDING C	3,250 S.F.
BUILDING D	1,000 S.F.
BUILDING E	7,150 S.F.
BUILDING F	5,600 S.F.
BUILDING G	9,900 S.F.
BUILDING H	10,200 S.F.
BUILDING J	10,050 S.F.
BUILDING K	8,150 S.F.
BUILDING L	12,600 S.F.
BUILDING TOTAL	70,000 S.F.
OFFICE/APT	1,560 S.F.
TOTAL	71,560 S.F.



1 SITE PLAN
1"=30'-0"



SITE LOCATION



TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kawbar 9/26/2024
Signed Date

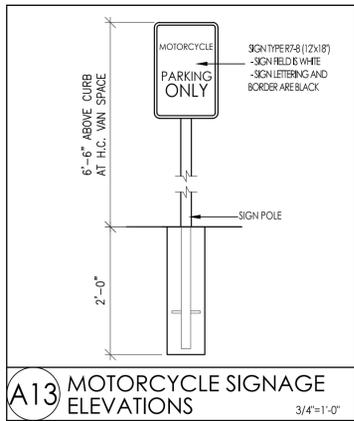
MESA DEL SOL SELF STORAGE
SITE PLAN
5500 TURNING DR SE
ALBUQUERQUE, NM 87106
PROJECT #2322

REVISION DATE
STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
9/19/24
REGISTERED ARCHITECT

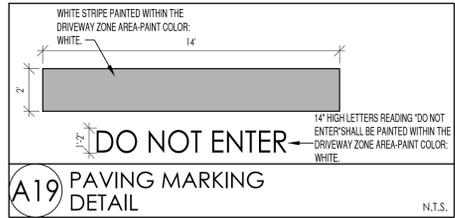
RBA
ARCHITECTURE, PC
PLANNING
DESIGN
5500 TURNING DRIVE SE
ALBUQUERQUE, NM 87106
www.rbaarch.com

DATE
09-19-2024

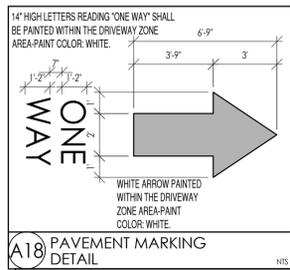
SHEET NUMBER
AS-1.0



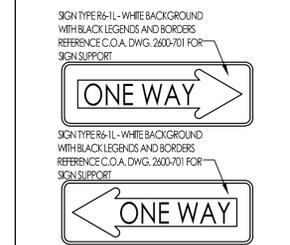
A13 MOTORCYCLE SIGNAGE ELEVATIONS 3/4"=1'-0"



A19 PAVING MARKING DETAIL N.T.S.



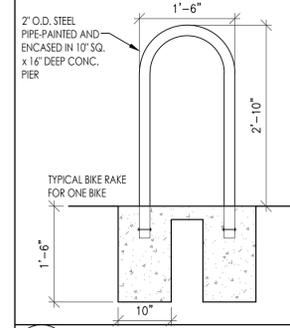
A18 PAVEMENT MARKING DETAIL N.T.S.



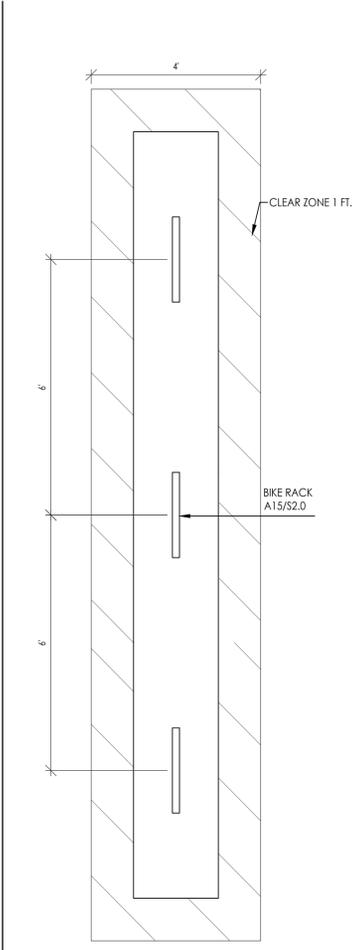
A17 ONE WAY ELEVATIONS 3/4"=1'-0"



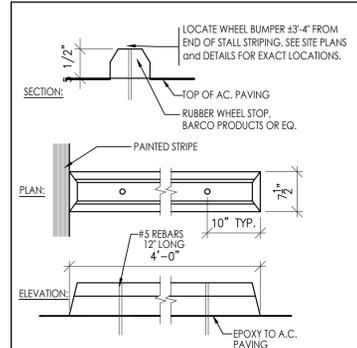
A16 DO NOT ENTER ELEVATIONS 3/4"=1'-0"



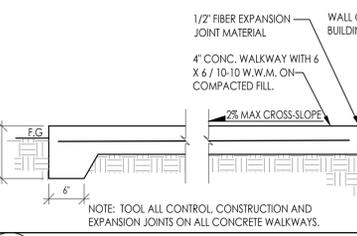
A15 BIKE RACK ELEVATION 3/4"=1'-0"



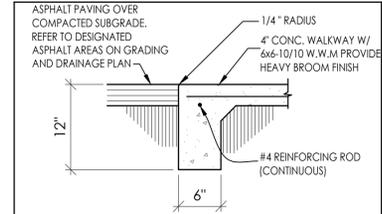
A14 BIKE RACK PLAN DPM 2020-06-02 FIGURE 7.4.115 1/2"=1'-0"



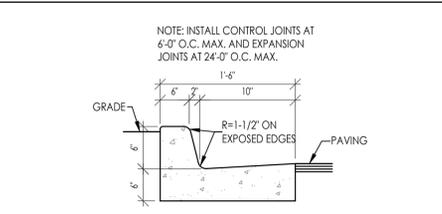
A12 WHEEL BUMPER DETAIL N.T.S.



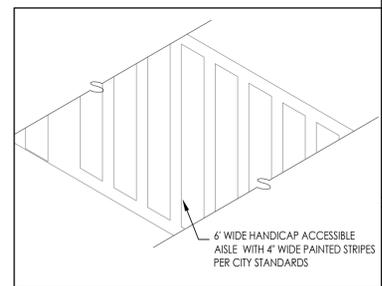
A11 TYPICAL SIDEWALK DETAIL N.T.S.



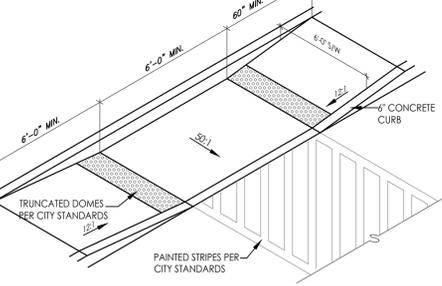
A9 CONCRETE CURB/SIDEWALK ASPHALT PAVING DETAIL N.T.S.



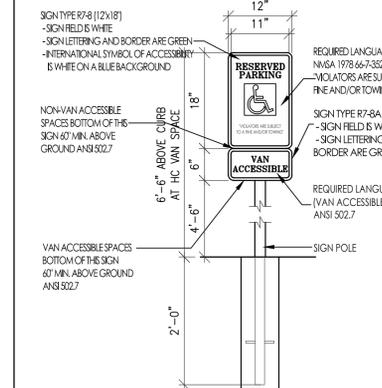
A10 CONCRETE CURB & GUTTER DETAIL N.T.S.



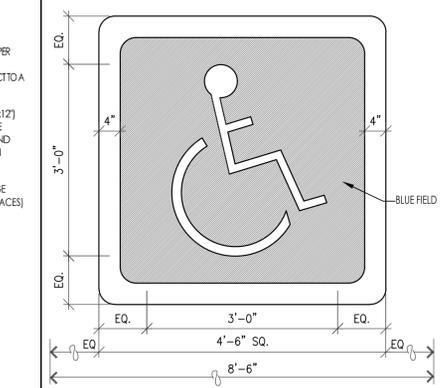
A7 ACCESSIBLE AISLE NOT TO SCALE



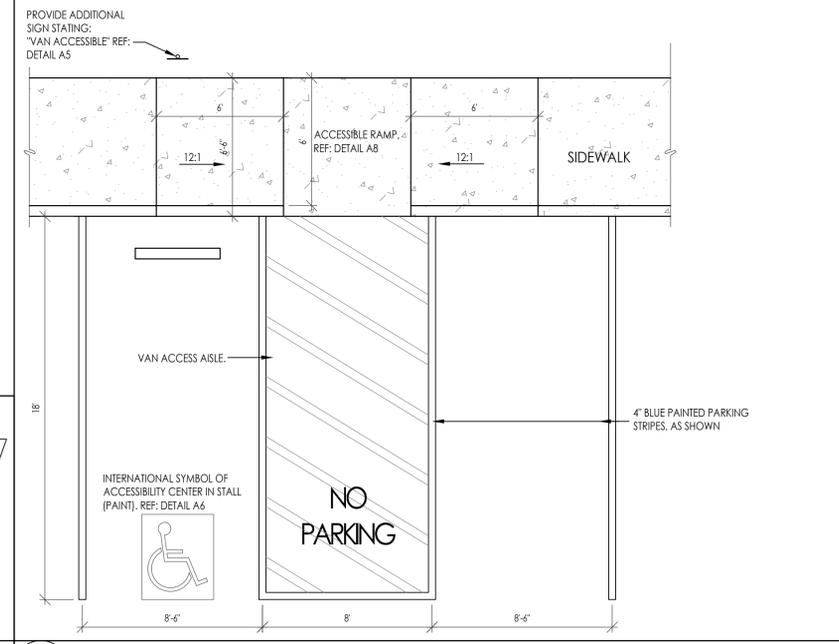
A8 ACCESSIBLE RAMP NOT TO SCALE



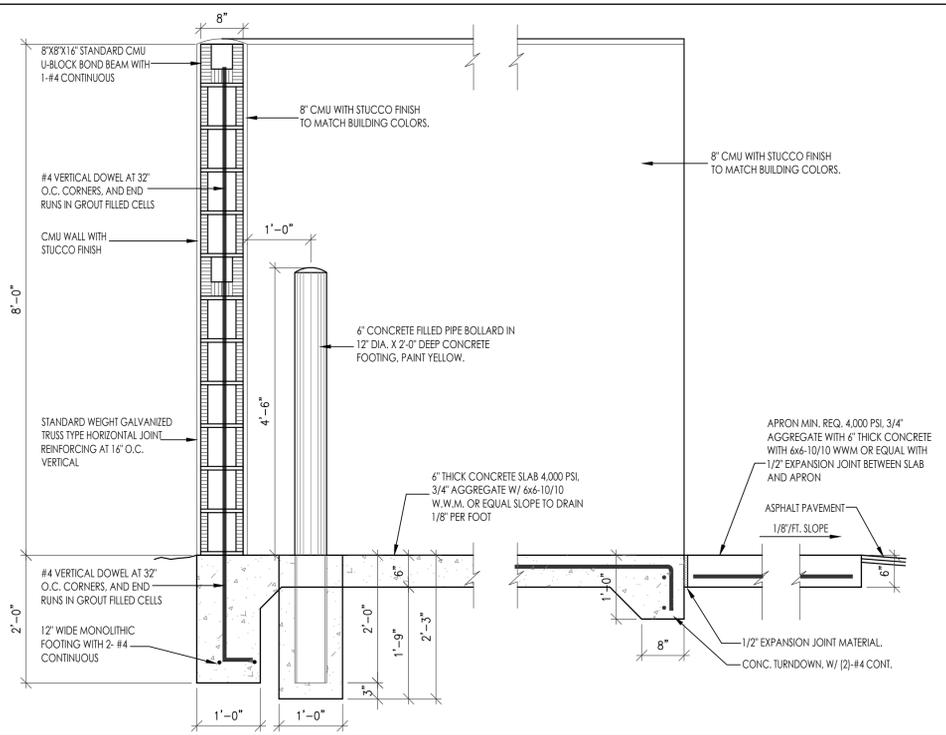
A5 HC PARKING SIGNAGE ELEVATIONS 3/4"=1'-0"



A6 HC PARKING MARKING PLAN 3/4"=1'-0"

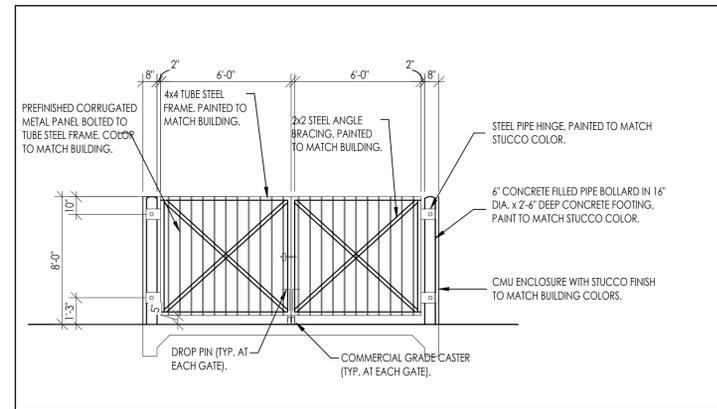


A4 HC PARKING STRIPING PLAN 1/4"=1'-0"

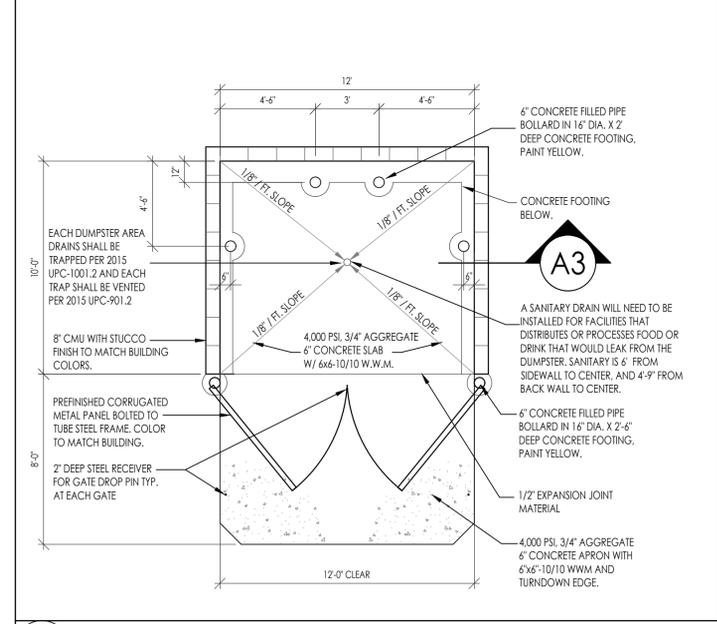


A3 ENCLOSURE CMU WALL DETAIL 3/4"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 9/26/2024
Signed _____ Date _____



A2 REFUSE ENCLOSURE ELEVATION 1/4"=1'-0"



A1 REFUSE ENCLOSURE PLAN 1/4"=1'-0"

MESA DEL SOL SELF STORAGE
SITE DETAILS
5500 TURING DR SE
ALBUQUERQUE, NM 87106
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REVISION DATE

STATE OF NEW MEXICO
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RBA ARCHITECTURE, P.C.
ARCHITECTURE
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1000 N. 10th St., Ste. 100
Albuquerque, NM 87102
www.rbaarch.com

DATE
09-12-2024

SHEET NUMBER
AS-2.0