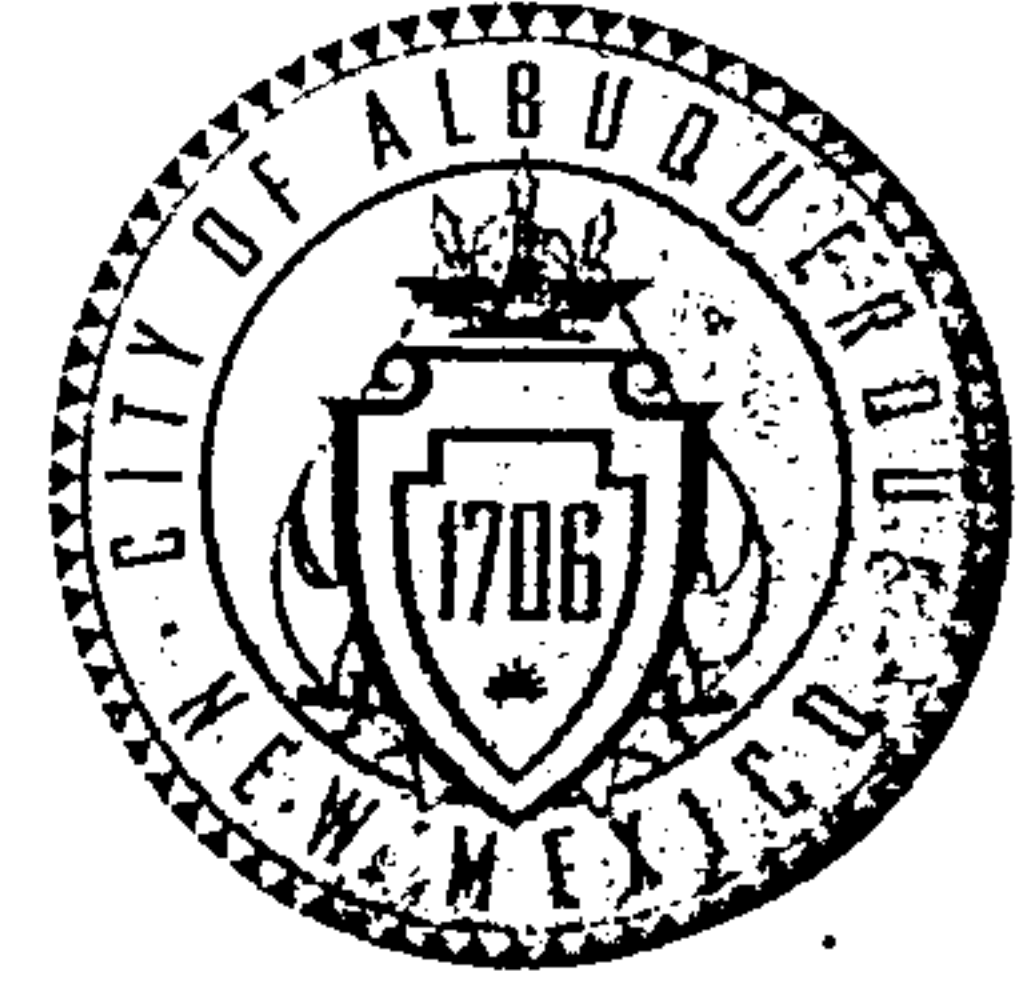


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 9, 2008

Christopher R. Gunning, Registered Architect
7601 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Albuquerque Studios Flex Bldg , [R-16 / DA3001]
5650 University Blvd SE
Architect's Stamp Dated 09/08/08

Dear Mr. Gunning:

The TCL / Letter of Certification submitted on September 8, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

7-16/DA3001

PROJECT TITLE: ALBUQUERQUE STUDIOS / FLEX BUILDING ZONE MAP/DRG. FILE # DA3001
 DRB#: 06DRB-00799 EPC#: 06EPC-00466 WORK ORDER#: _____

LEGAL DESCRIPTION: PLEASE SEE ATTACHED SITE PLAN FOR FULL LEGAL DESCRIPTION
 CITY ADDRESS: 5650 UNIVERSITY BLVD. SE ALBUQUERQUE, NM 87106

ENGINEERING FIRM: BORHANN HARTON
 ADDRESS: 7500 JEFFERSON NE
 CITY, STATE: ALBU. NM

CONTACT: JEFF MULDERY
 PHONE: 823-1000
 ZIP CODE: 87109

OWNER: PACIFICA MESA STUDIOS LLC
 ADDRESS: 9336 W. WASHINGTON BLVD.
 CITY, STATE: CULVER CITY, CA

CONTACT: JASON HARTON
 PHONE: 227-2006
 ZIP CODE: 90232

ARCHITECT: DEKKER PERKH SABATINI
 ADDRESS: 7601 JEFFERSON NE SUITE 100
 CITY, STATE: ALBU. NM

CONTACT: KEVIN KOFCHUR
 PHONE: 761-9700
 ZIP CODE: 87109

SURVEYOR: - SAME AS ENGINEER -
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: /
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: JAMES CORP.
 ADDRESS: 2902 BROADWAY NE
 CITY, STATE: ALBU. NM

CONTACT: GORDON BIRCH
 PHONE: 345-8591
 ZIP CODE: 87125

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

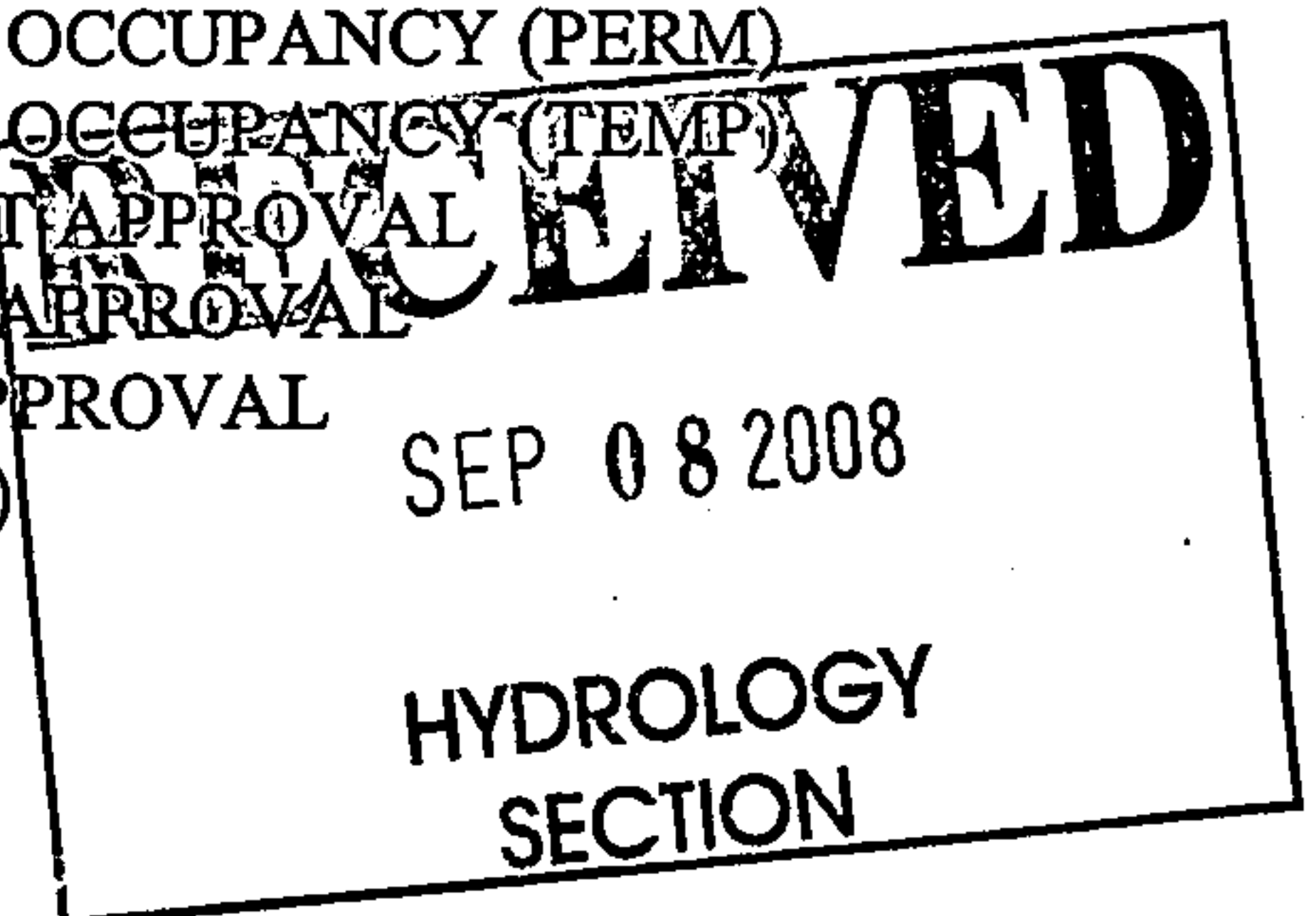
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: KEVIN KOFCHUR DATE: 9/8/08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



September 8, 2008

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

**Re: Final C.O. Albuquerque Studios
Flex Building
5650 University Blvd. SE
Albuquerque, NM 87106**

To Whom It May Concern:

I, Christopher R. Gunning, NMRA no.3203 of the firm Dekker/Perich/Sabatini, hereby certify that the referenced portion of this project is in substantial compliance with and in accordance with the design intent of the approved January 30, 2008 Administrative Amendment, with the exception of the items listed below that shall be constructed and completed in a later phase. A copy of the approved DRB site plan (final sign off dated August 16, 2006) has been included. Since the Flex Building was not shown on the original DRB plan, the area that shall be certified has been marked on the on the latest January 2008 AA. This request encompasses the Flex Building only. Dekker/Perich/Sabatini visited the project site on August 1, 2008 in order to verify what has been constructed in accordance with the attached site plan. Please be aware that all required parking for this building is located on the north side of the building (front) and in the "flex area" and surrounding buildings. The following item that is not complete:

1. Mixed Use Buildings 'A' and 'B' have not been constructed. Due to lack of construction funds these 2 buildings shall not be built at this present time. It is unknown when this phase of the project shall be constructed; this will not effect traffic circulation throughout the site or available parking to meet the demand of the current use.

This certification is submitted in support of a request for Final Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the Flex Building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact Kevin Kofchur or me at 761-9700, thank you.

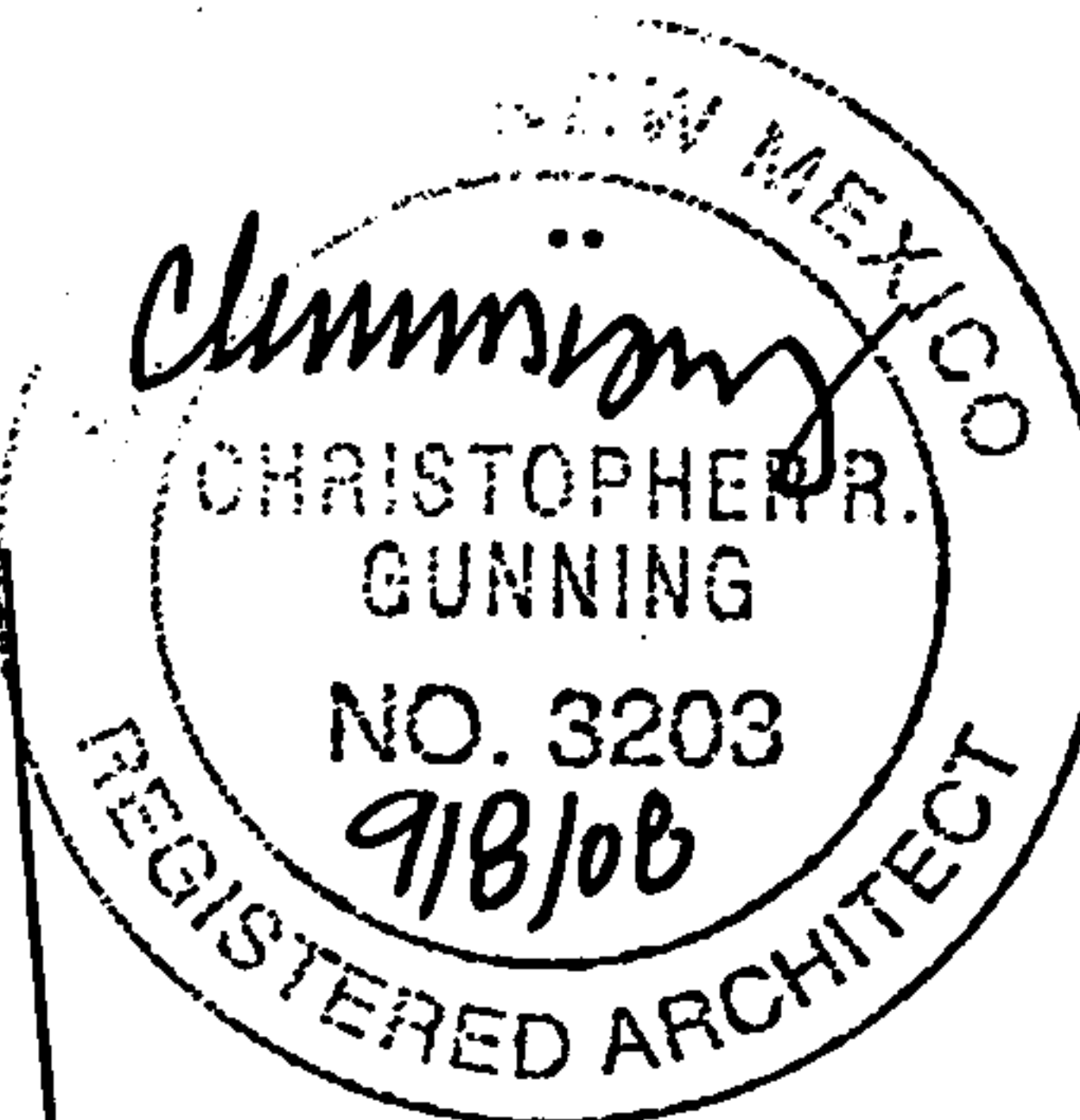
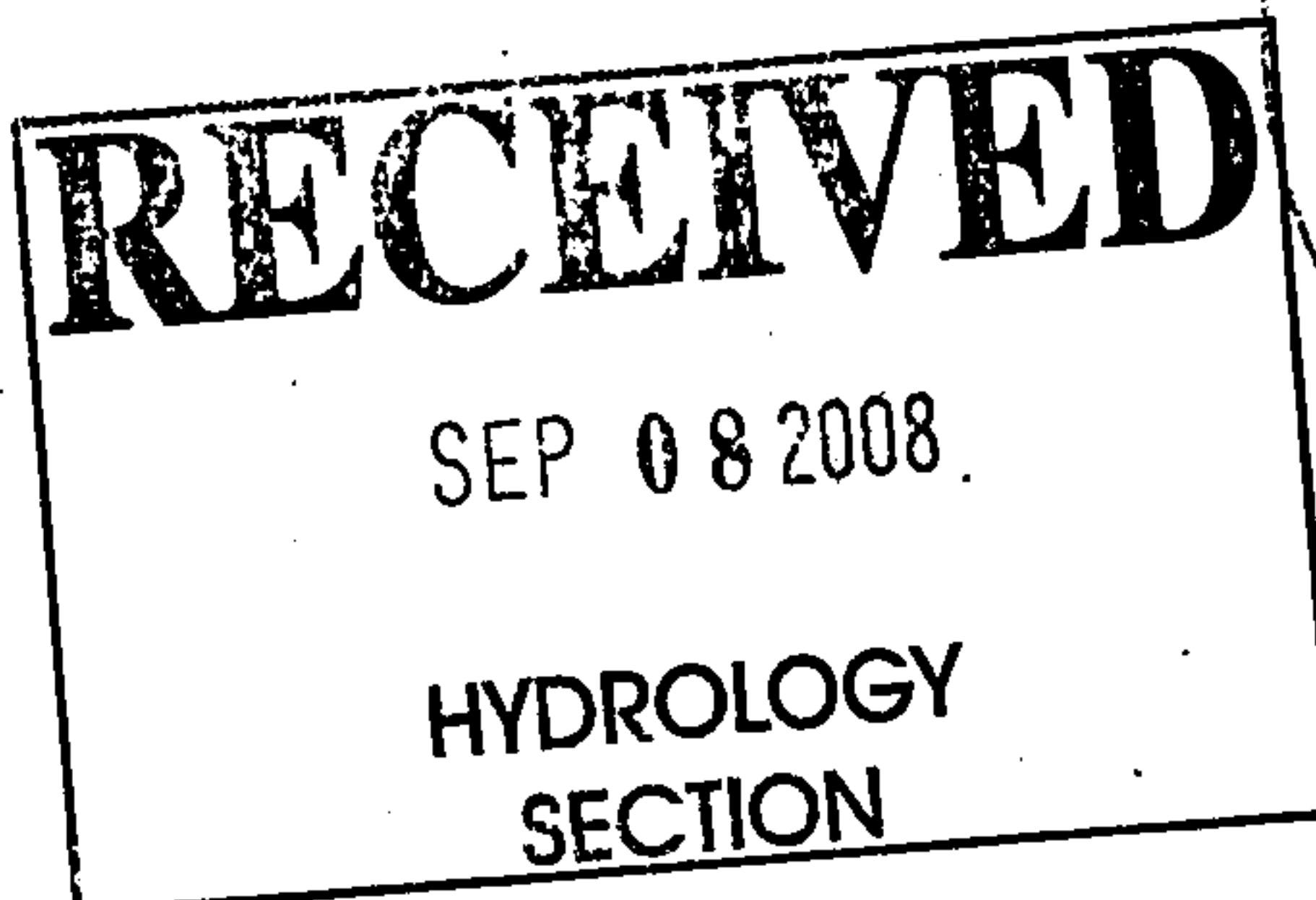
Very truly yours,

Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning

Christopher R. Gunning AIA
Principal

Cc: File



7601 Jefferson NE
Suite 100
Albuquerque NM
87109
505.761.9700
fax 761.4222
www.dpsdesign.org

CITY OF ALBUQUERQUE



Aug 1, 2008

Mr. Jeffrey L. Mulberry, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

Re: Albuquerque Studios
5650 University Blvd. SE, Mill/Flex Building
Request of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 04/01/2008 (R-16/DA3001)
Certification dated 07/30/2008

PO Box 1293

Mr. Mulberry,

Based upon the information provided on 7/30/2008, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

www.cabq.gov

Curtis Cherne, P.E.
Senior Engineer, Hydrology
Development and Building Services

C: CO—Clerk, Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

DA3081

PROJECT TITLE: Albuquerque Studios - Mill/Flex Building. ZONE MAP/DRG. FILE # R16/D2
DRB#: _____ EPC#: 1004818-06EPC#00466 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 4-B, PLAT OF TRACTS 4-A, 4-B & 4-C MESA DEL SOL
CITY ADDRESS: 5650 University Blvd. SE (Mill/Flex Building)

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Jeff Mulbery
ADDRESS: 7500 Jefferson NE PHONE: (505)-823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DPS CONTACT: Will Gleason
ADDRESS: 7601 Jefferson NE PHONE: (505)-761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Jaynes Corporation CONTACT: Gordon Birch
ADDRESS: P.O Box 26841 PHONE: (505)-345-8591
CITY, STATE: Albuquerque, NM ZIP CODE: 87125

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

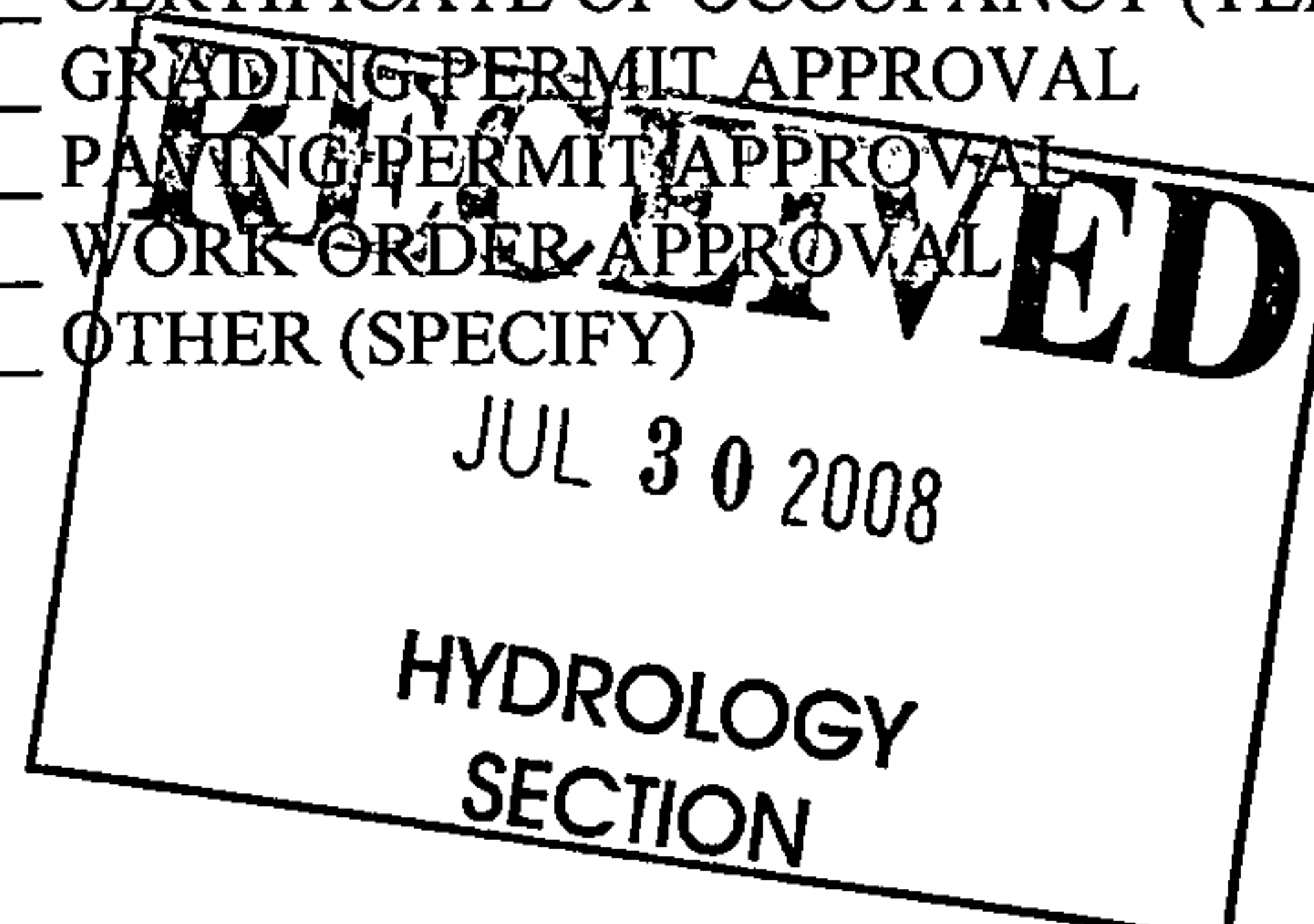
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

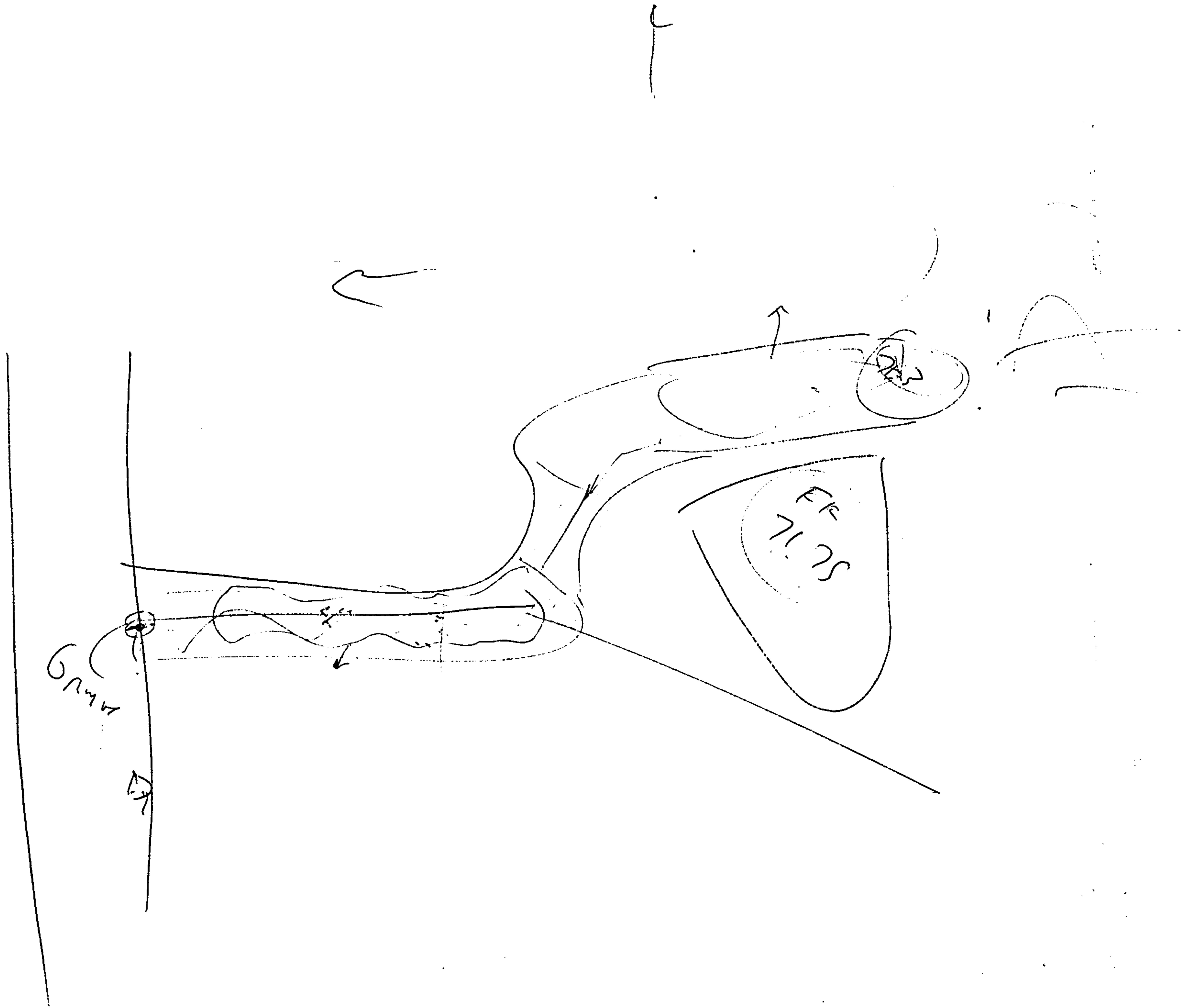
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Mike Balaskovits DATE: 7/30/08

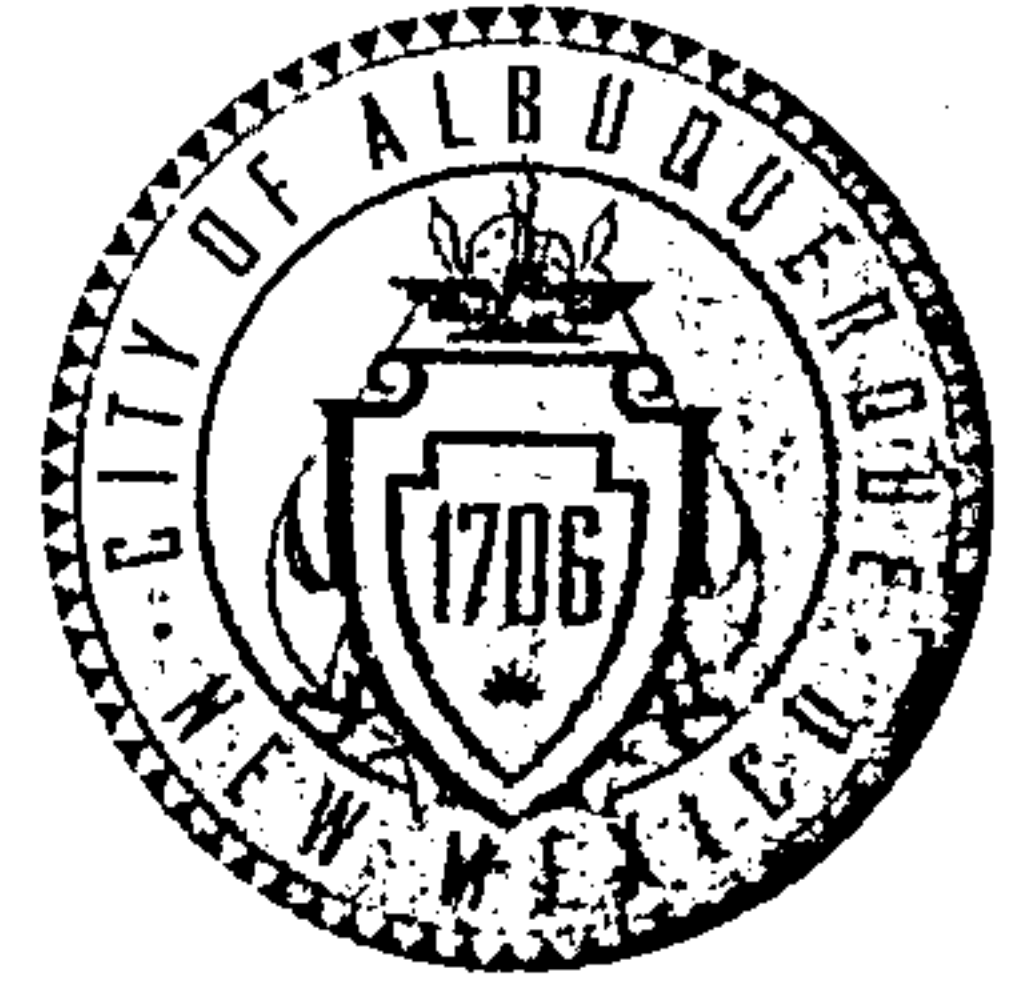
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





CITY OF ALBUQUERQUE



April 3, 2008

Jeffrey L. Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**Re: Albuquerque Studios-Flex Bldg Grading and Drainage Plan
Engineer's Stamp dated 4-1-08 (R16/DA3001)**

Dear Mr. Mulberry,

Based upon the information provided in your submittal received 4-1-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

This is the plan to certify for release of Certificate of Occupancy.

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



February 13, 2008

Jeffrey L. Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

Re: Albuquerque Studios-Flex Bldg Grading and Drainage Plan
Engineer's Stamp dated 2-5-08 (R16/DA3001)

Dear Mr. Mulberry,

Based upon the information provided in your submittal dated 2-5-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Albuquerque, NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Albuquerque Studios ZONE MAP/DRG. FILE # R16/D2
DRB#: _____ EPC#: 1004818-06EPC# 00466 WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 26, Mesa Del Sol Innovation Park
CITY ADDRESS: N/A

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson St. SE
CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
PHONE: (505) 823-1000
ZIP CODE: 87109-4335

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Decker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Will Gleason
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER _____

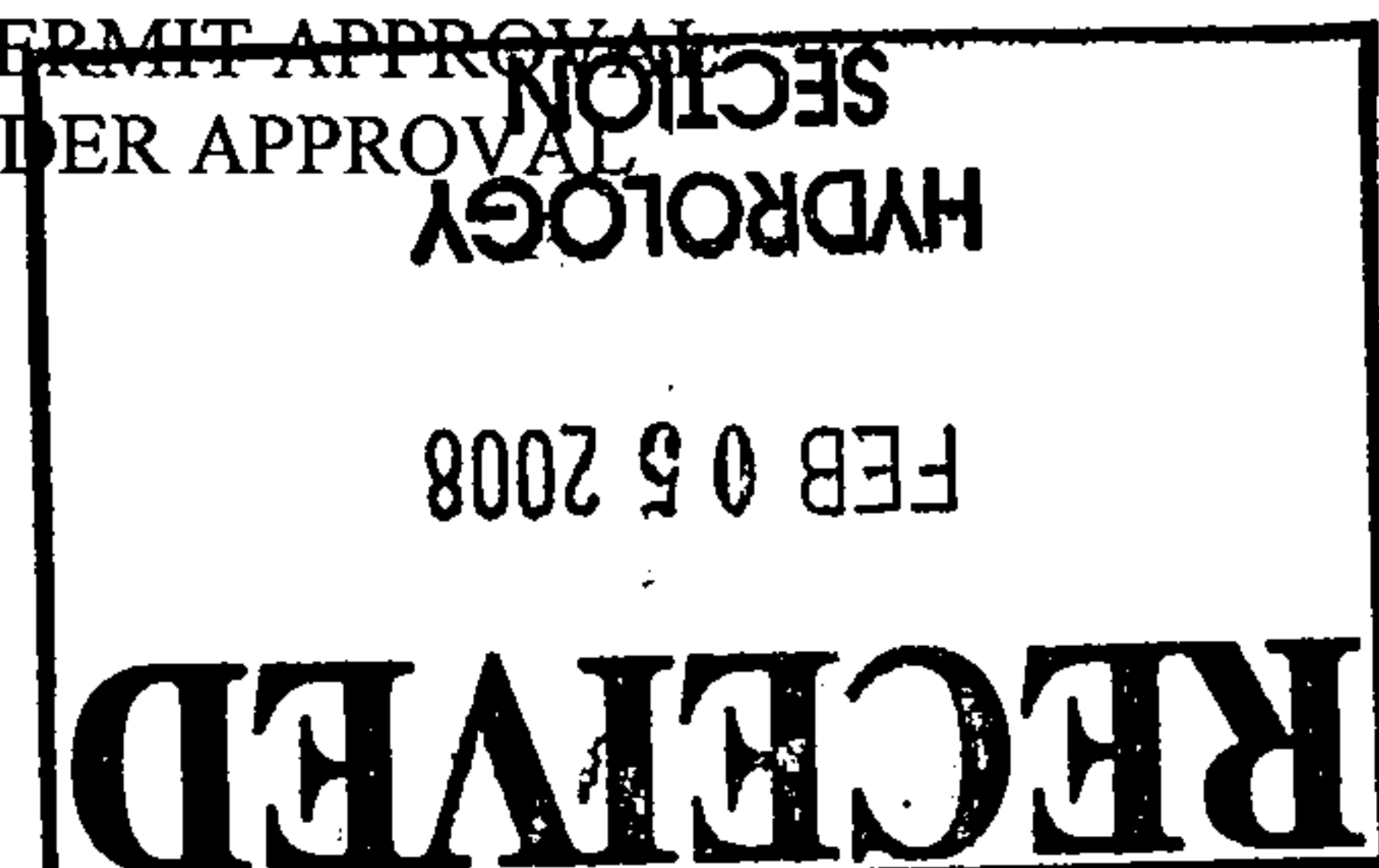
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Jeff Mulbery/mb DATE: 02-05-08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

CLIENT/COURIER TRANSMITTAL

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

To: Brad Bingham
Senior Engineer
City of Albuquerque - Hydrology
600 2nd St. NW 2nd Floor
Albuquerque, NM 87102

Requested by: Jeff Mulbery

Date: February 5, 2008

Time Due: ☒ This A.M.
☐ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: 924-3986

Job No.: 080329

Job Name: Albuquerque Studios (Flex Bldg)

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
-----------------	-----------------	--------------------

1	1	Cover Letter
2	1	Drainage information sheet
3	1	Grading and Drainage Plans with DMP (stamp date 02-05-08) 4 sheets

COMMENTS / INSTRUCTIONS

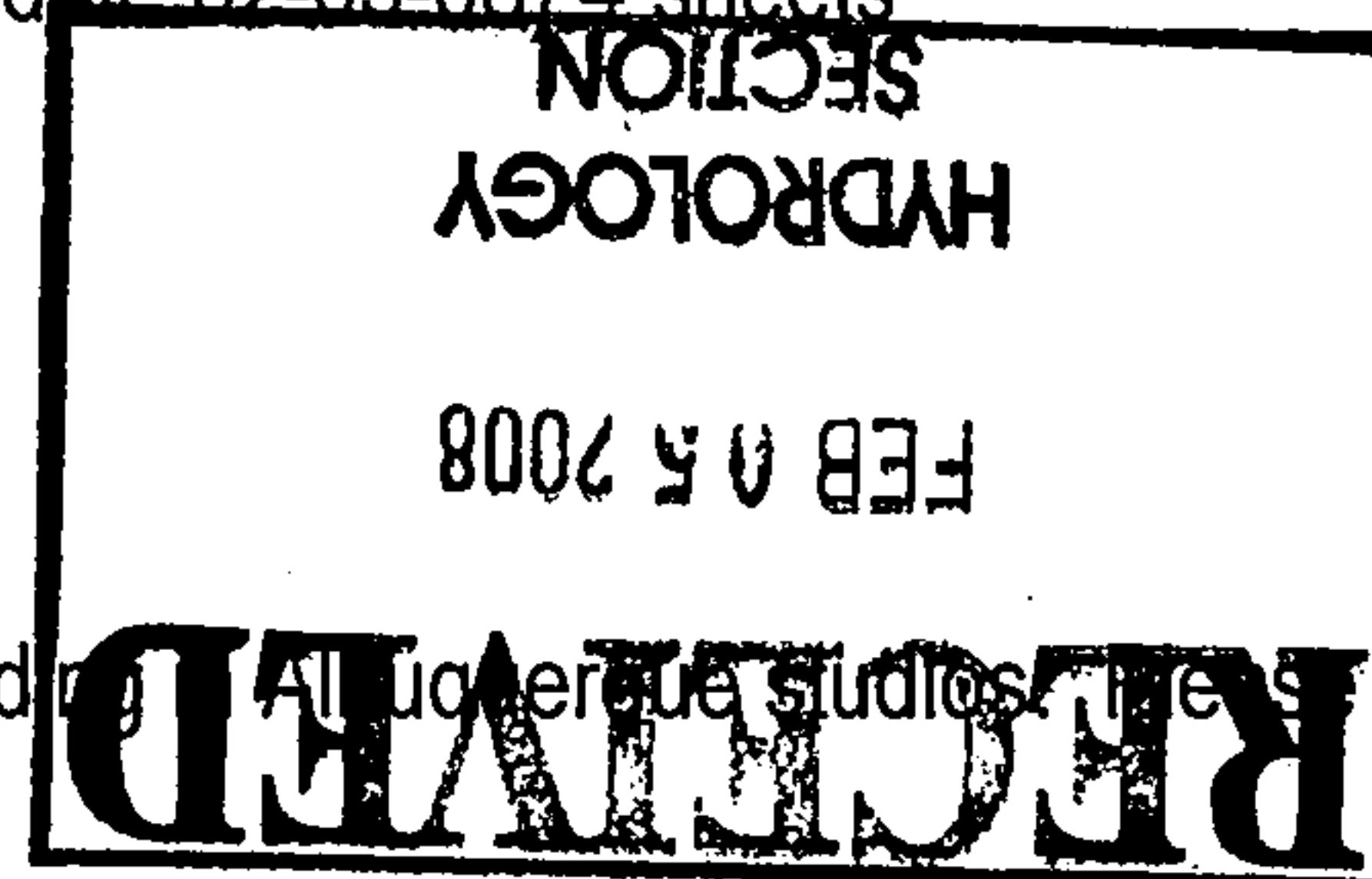
Brad,

Here is the Hydrology re-submittal for building permit for the new Flex building at Albuquerque Studios. Please call me with any questions or comments.

798-7896.

Thanks

Jeff Mulbery



REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲
SPATIAL DATA ▲
ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

February 4, 2008

Brad Bingham, P.E.
Section Manager
Hydrology Development Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Albuquerque Studios Addendum - Flex Building Grading and Drainage Plan (R16/DA3001)
Previously approved Engineer's Stamp dated 8-9-07 (Resubmitted Engineer's Stamp dated 2-1-08)

Dear Brad:

This addendum is in reference to a revision to the Albuquerque Studios Drainage Management Plan, "DMP" (COA Hydro file R16/DA30001), grading and drainage, and revised sheets C102, C103, and C104. The original DMP addressed a total of 5 new buildings to be constructed on the campus with 4 future buildings along the perimeter of the site included in the original site planning (along the frontage of University Blvd and Stryker Dr). The DMP and grading and drainage design of the storm drainage and ponding took into account these future buildings.

Currently, 4 buildings have received Temporary Certificate of Occupancy (CO) with the Permanent CO pending a recorded Agreement and Covenant. The Imageworks building designed along the University Blvd frontage has moved to the north within Tract 22 and will be submitted under a separate contract.

This addendum will provide supplemental information to the original DMP to address a future building along the south side of the site, known as the Flex Building. The size and location of this building changed slightly from the original DMP, which resulted in variations of the original basin boundaries. This addendum will show that the changes to the basin boundaries will not affect the existing storm drainage system in place (Storm Drain System 2) and the design of the new storm drainage will safely convey the 100yr, 6hr storm.

With this addendum we are requesting rough grading, foundation, and building permit approval for the Flex Building in Albuquerque Studios.

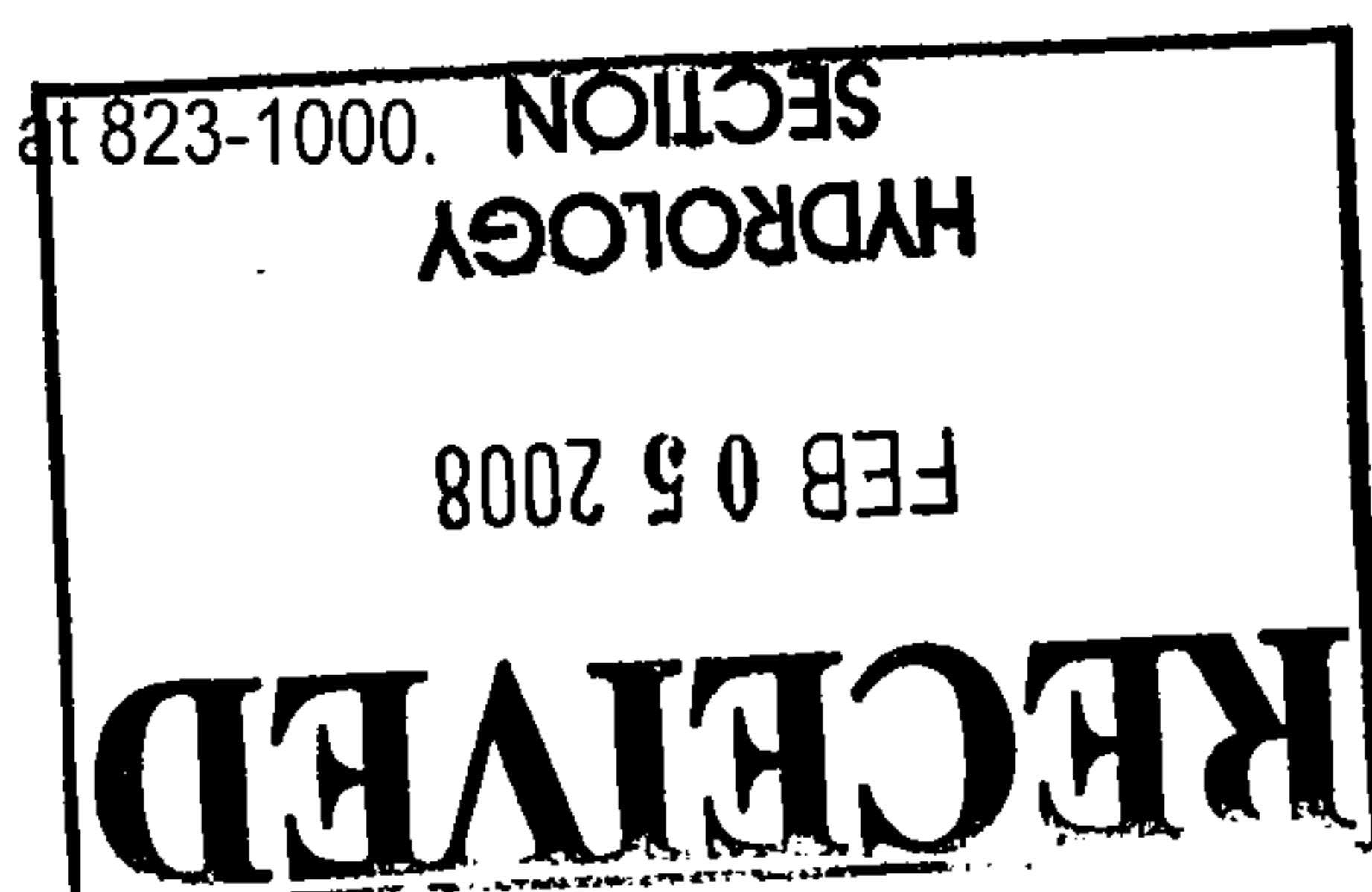
If you have questions or require further information, please contact me at 823-1000.

Sincerely,



Jeff Mulbery, P.E.
Project Manager
Community Development and Planning

JM/am
Enclosures

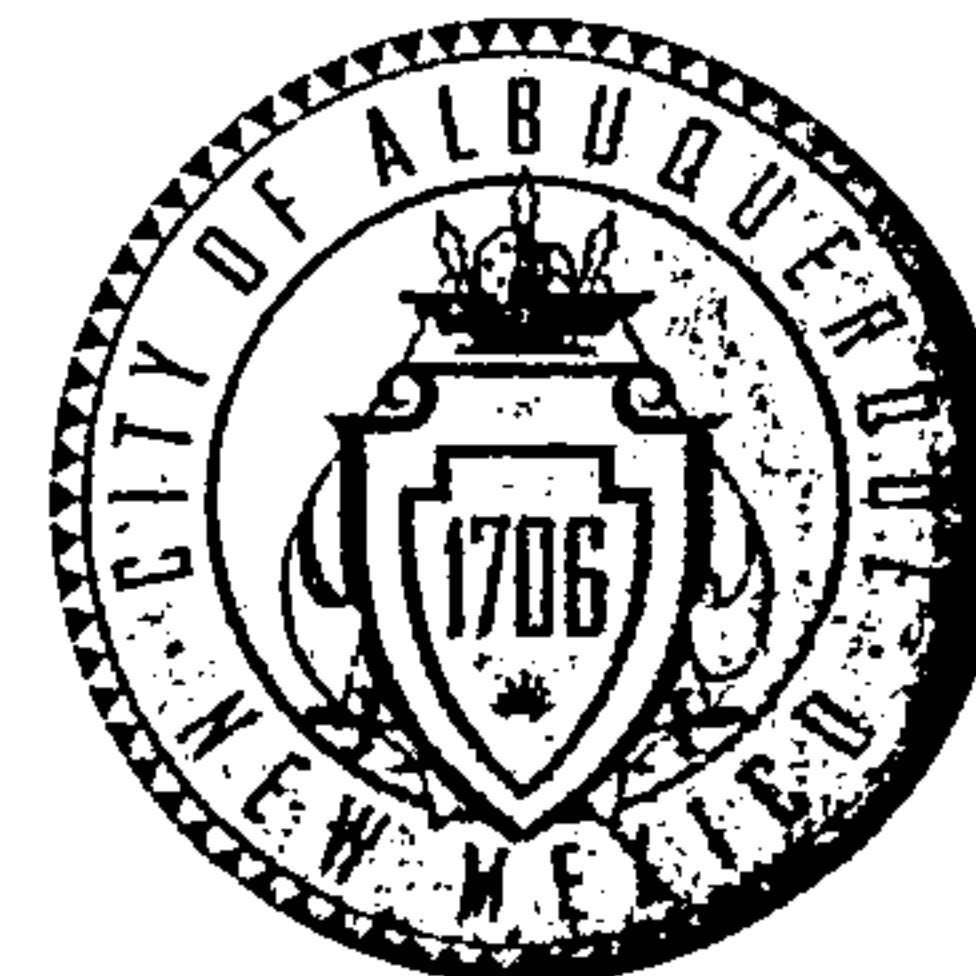


ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 28, 2008

Christopher R. Gunning, Registered Architect,
Dekker/Perich/Sabatini
7601 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Albuquerque Studios - (FLEX BLDG), [R-16 / DA3001]
5650 University Blvd SE
Architect's Stamp Dated 07/25/08

Dear Mr. Gunning:

Based on the information provided on your submittal dated July 25, 2008, the above referenced project is approved for a 90-day Temporary C.O.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

~~A Temporary C.O. has been issued allowing the outstanding issues to be completed~~
within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

2-16/DA3001

PROJECT TITLE: ALBUQUERQUE STUDIOS / FLEX BUILDING ZONE MAP/DRG. FILE # Q-16 & Q-17
DRB#: CLDRB-00799 EPC#: CLERC-00466 WORK ORDER#: _____

LEGAL DESCRIPTION: PLEASE SEE ATTACHED SITE PLAN FOR FULL LEGAL DESCRIPTION
CITY ADDRESS: 5650 UNIVERSITY BLVD. SE ALBUQUERQUE NM 87106

ENGINEERING FIRM: BOHANNAN HUSTON
ADDRESS: 7500 JEFFERSON NE
CITY, STATE: ALBU. NM

CONTACT: JEFF MULBERRY
PHONE: 823-1000
ZIP CODE: 87109

OWNER: PALFICA MESA STUDIOS LLC
ADDRESS: 9336 W. WASHINGTON BLVD.
CITY, STATE: CUMMER CITY, CA

CONTACT: JASON HARTON
PHONE: 505-227-2006
ZIP CODE: 90232

ARCHITECT: DEKKER / PERICH / SARTINI
ADDRESS: 7601 JEFFERSON AVE SUITE 100
CITY, STATE: ALBU. NM

CONTACT: KEVIN KOFLAR
PHONE: 761-9700
ZIP CODE: 87109

SURVEYOR: - SAME AS ENGINEER -
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: JAMES COOPERATION
ADDRESS: 2906 BROADWAY NE
CITY, STATE: ALBU. NM

CONTACT: GORDON BERTCH
PHONE: 345-8591
ZIP CODE: 87125

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~TRAFFIC~~ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☒ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
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☐ PAVING PERMIT APPROVAL
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☐ OTHER (SPECIFY) _____

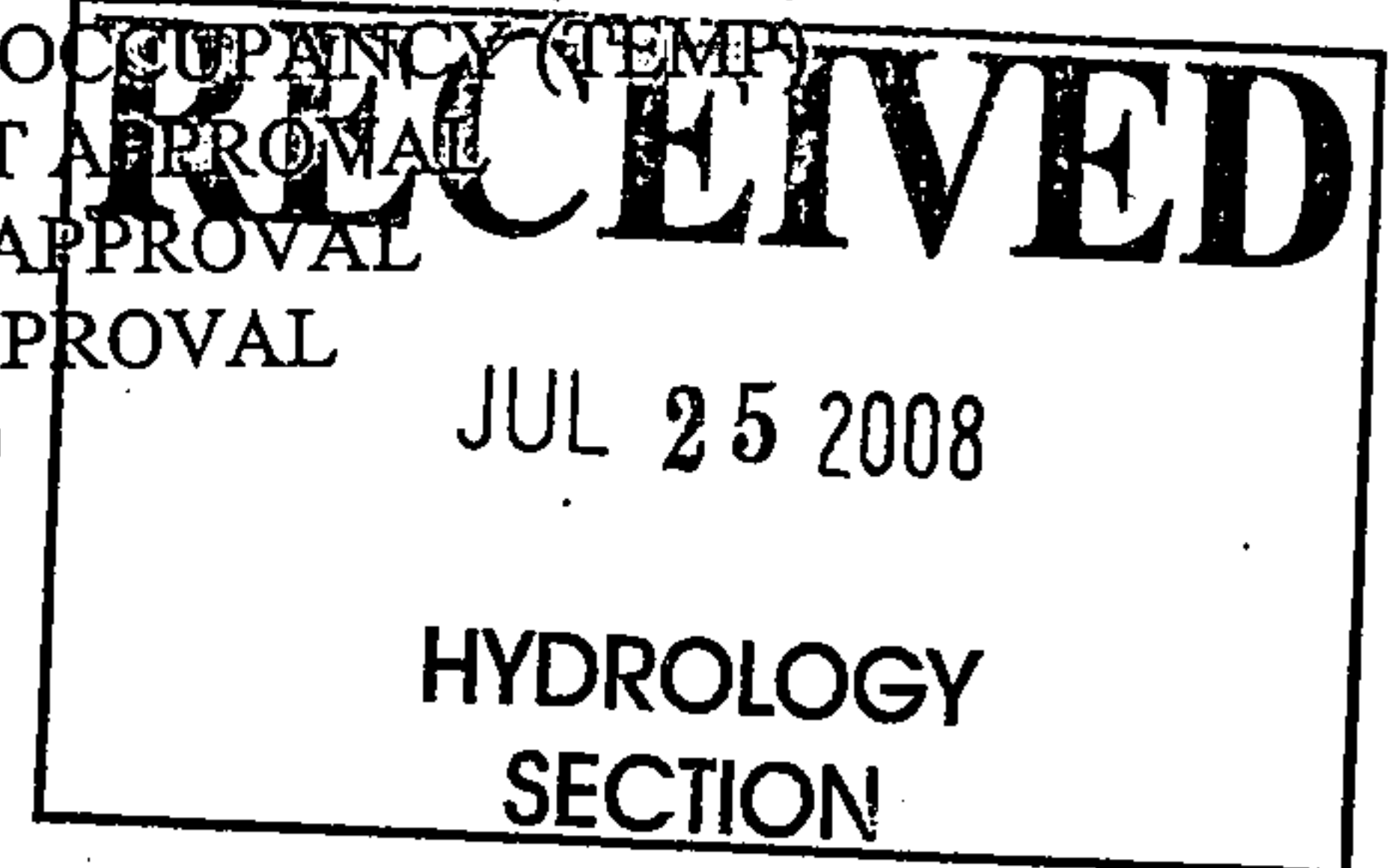
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: KEVIN KOFLAR DATE: 7/25/08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



July 25, 2008

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

**Re: Temporary C.O. Albuquerque Studios
Flex Building
5650 University Blvd. SE Albuquerque, NM 87106**

To Whom It May Concern:

I, Christopher R. Gunning, NMRA no.3203 of the firm Dekker/Perich/Sabatini, hereby certify that the referenced portion of this project is in substantial compliance with and in accordance with the design intent of the approved January 30, 2008 Administrative Amendment, with the exception of the items listed below that shall be constructed and completed in a later phase or currently finishing installation. This request encompasses the Flex Building only. Dekker/Perich/Sabatini visited the project site on July 25, 2008 in order to verify what has been constructed in accordance with the attached site plan. The following is a list of items that are not complete:

1. Mixed Use Buildings 'A' and 'B' have not been constructed. Due to lack of construction funds these 2 buildings shall not be built at this present time.
2. The concrete wheel stops for the parking stalls on the north side of the building (Studios campus side) were being installed and shall be finished by the end of today.
3. Handicap parking signs need to be installed.

This certification is submitted in support of a request for Temporary Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the Flex Building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

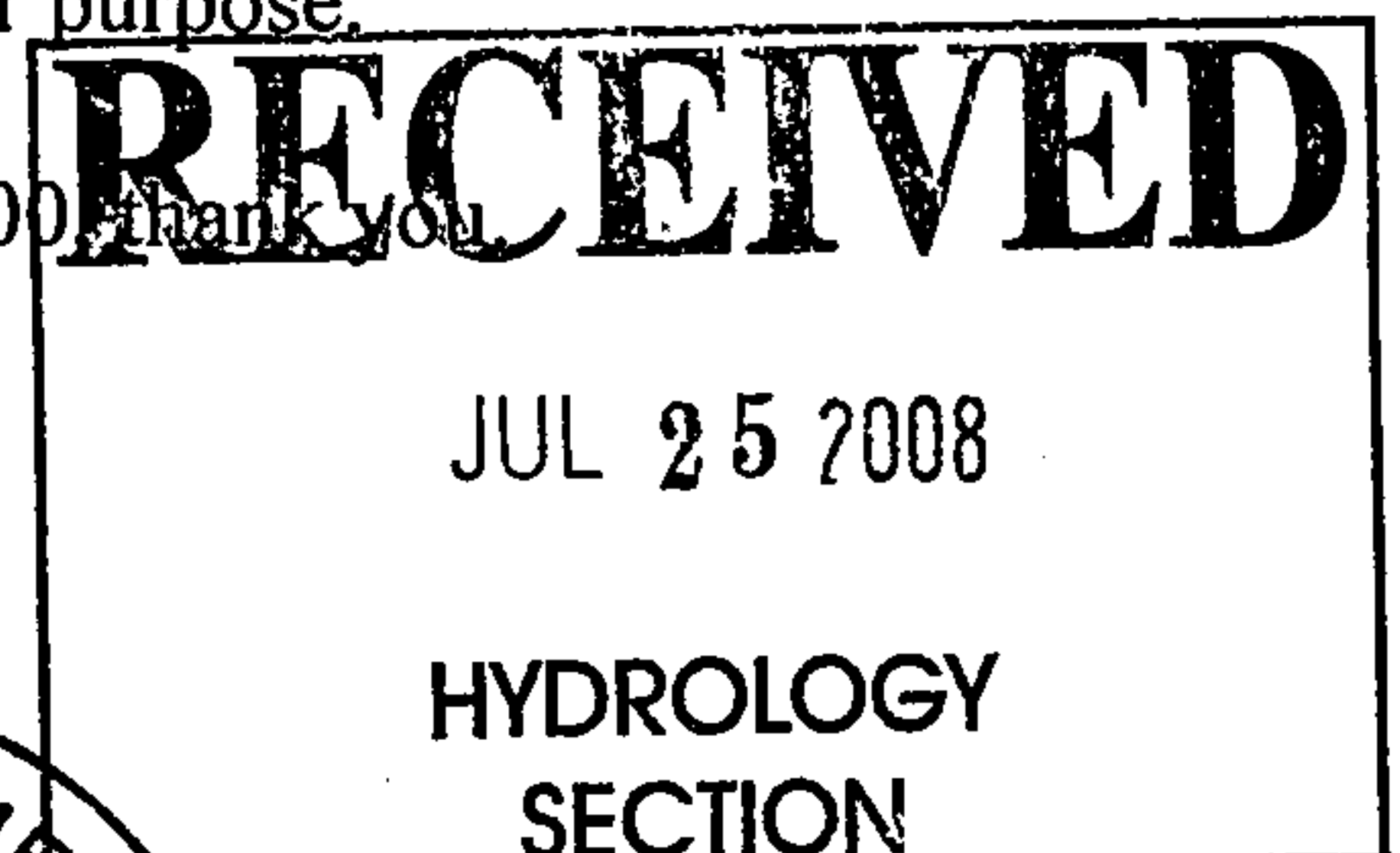
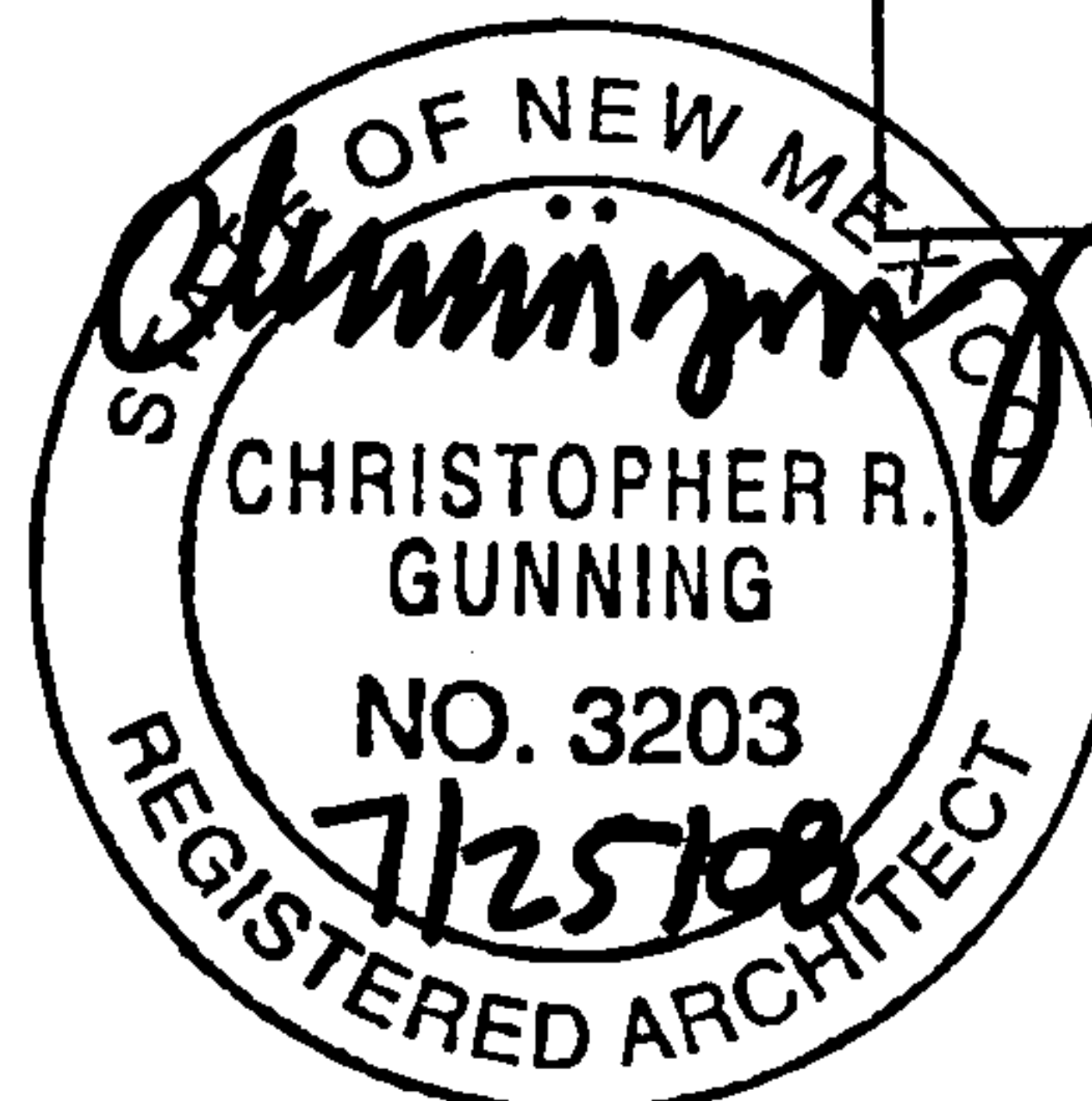
If you have any questions, please feel free to contact Kevin Kofchur or me at 761-9700. Thank you.

Very truly yours,

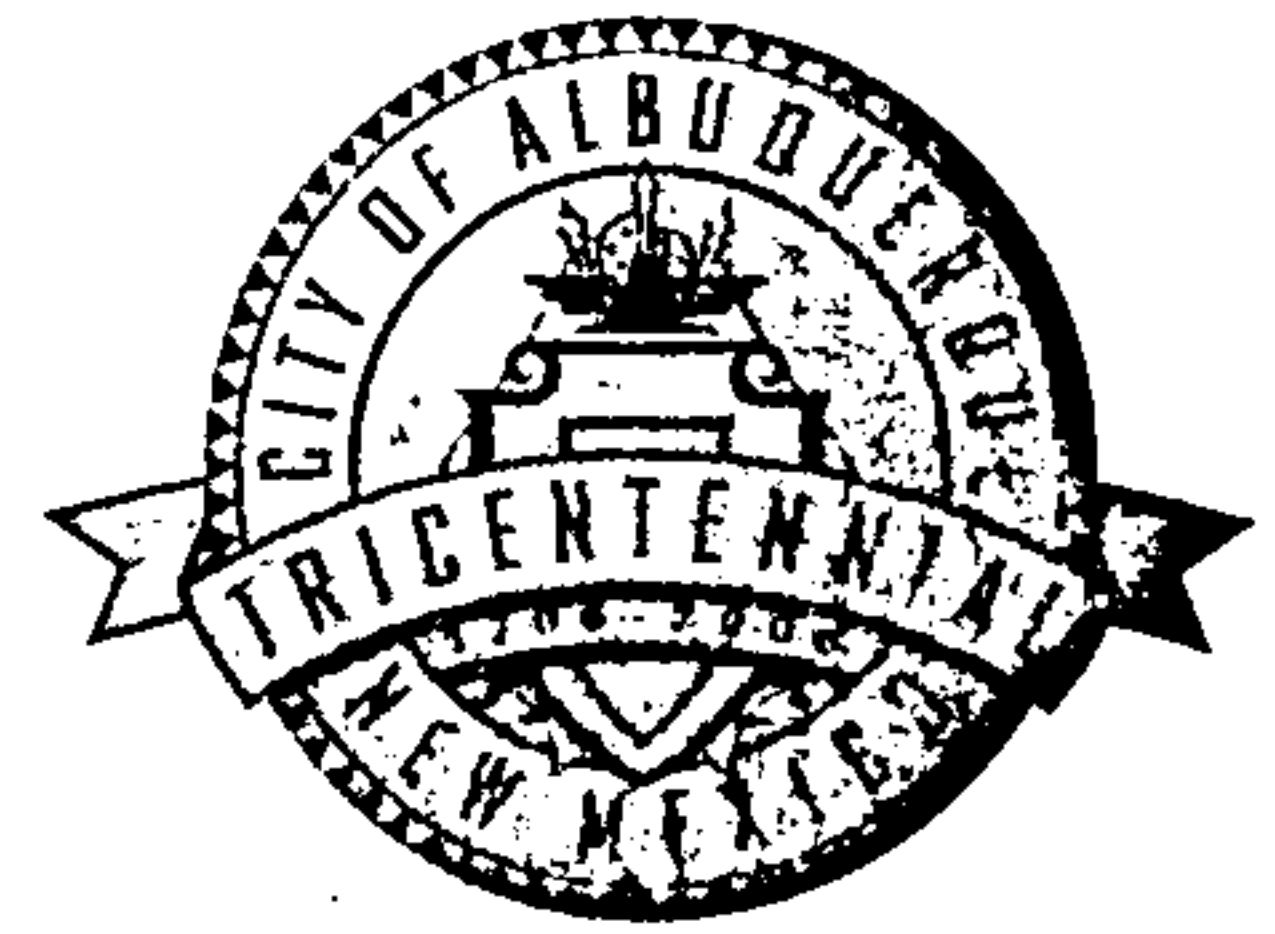
Dekker/Perich/Sabatini Ltd.

Christopher R. Gunning AIA
Principal

Cc: File



CITY OF ALBUQUERQUE



August 14, 2007

Jeffrey L. Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE- Courtyard 1
Albuquerque, NM 87109

Re: Albuquerque Studios-Mixed use Building B Grading Plan
Engineer's Stamp dated 8-9-07 (R16/DA3001)

Dear Mr. Mulberry,

Based upon the information provided in your submittal dated 8-9-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Update the plan to correctly show the Property Line/City ROW and the access easement on the certification for CO.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Albuquerque Studios/ Mixed use Bldg B ZONE MAP/DRG. FILE # R16/D2
DRB #: _____ EPC#: 1004818-06 EPC# 00466 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 4B, PLAT OF TRACTS 4-A, 4-B & 4-C MESA DEL SOL

CITY ADDRESS: N/A

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson NE - Courtyard I
CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: DPS
ADDRESS: 7601 Jefferson, suite 100
CITY, STATE: Albuquerque, NM

CONTACT: Chris Gunning
PHONE: 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

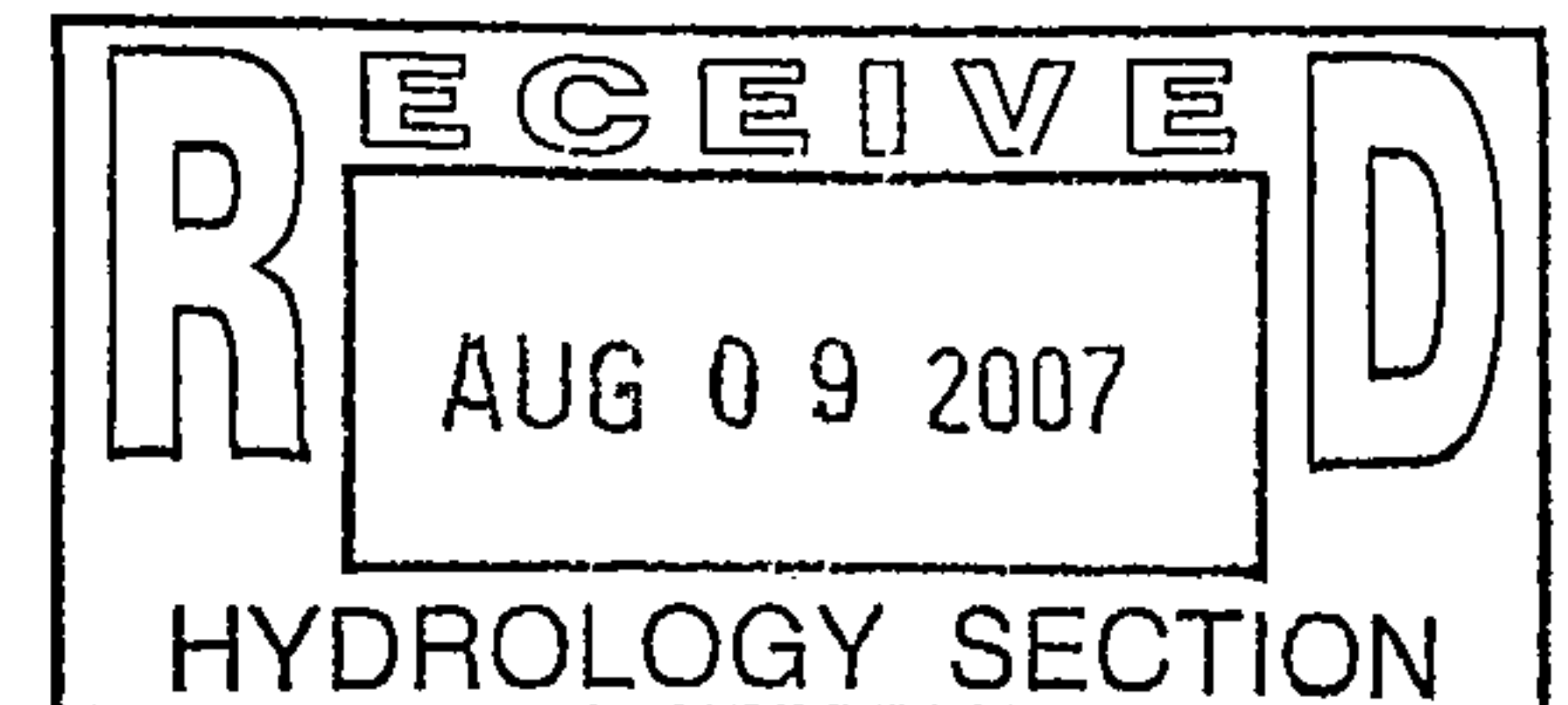
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN - **RESUBMITTAL**
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN - **RESUBMITTAL**
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ ROUGH GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 8/09/07 BY: Jeff Mulbery

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

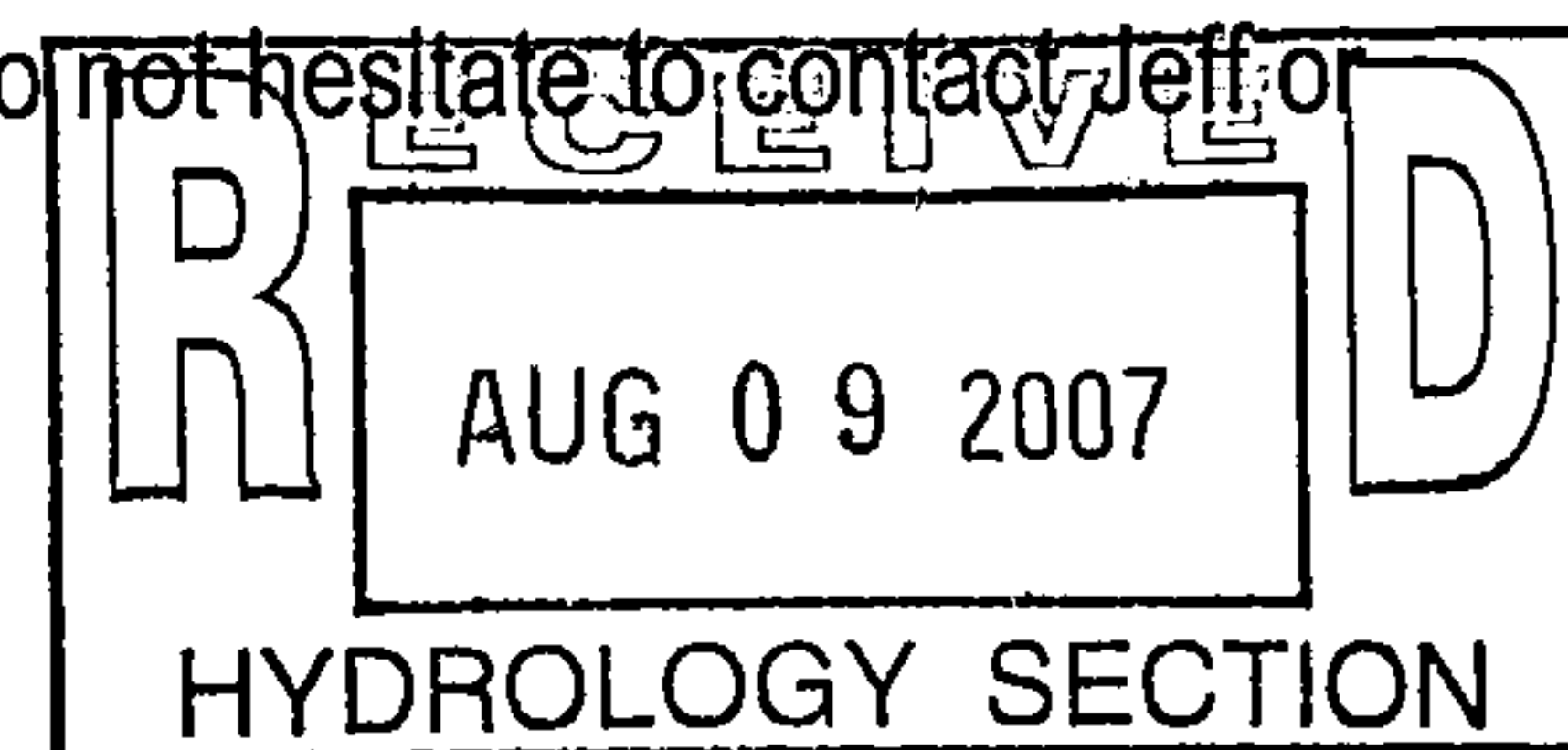
CLIENT/COURIER TRANSMITTAL**To:** Curtis Cherne
City of Albuquerque
600 2nd St. NW 2nd Floor
Albuquerque, NM 87102**Requested by:** Mike Balaskovits**Date:** August 9, 2007**Time Due:** ☒ This A.M.
☐ This P.M.
☐ Rush _____
☐ By Tomorrow**Phone:** 924-3694**Job No.:** 060348**Job Name:** Albuquerque Studios**DELIVERY VIA**☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other**PICK UP****Item:** _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage info Sheet
2	1	Previous COA hydrology letter w/comments.
3	1	Letter Addressing comments.
4	1	Drainage Management Plan (Engineering Stamp Date 8-9-07)
5	1	Revised Grading and Drainage Plan (Engineering Stamp Date 8-9-07)

COMMENTS / INSTRUCTIONS

Curtis,

Provided is a resubmittal for the Mixed Use Building B. If you have any questions, do not hesitate to contact Jeff or myself.

**REC'D BY:** Sandy Huddle **DATE:** 08/09/07 **TIME:** 4:00**ENGINEERING ▲****SPATIAL DATA ▲****ADVANCED TECHNOLOGIES ▲**

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

August 9, 2007

Curtis A Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Albuquerque Studios-Mixed Use Building B Grading and Drainage Plan (R16/DA3001)
Engineer's Stamp dated 7-17-07 (Resubmitted Engineer's Stamp dated 8-9-07)

Dear Curtis:

Based upon the comments provided in your letter dated July 24, 2007, the Grading and Drainage plan for the above referenced project has been updated to meet the requirements for Foundation Permit and Building Permit approval. The following revisions have been addressed:

1. The spot elevations shown as 99.80 and 99.90 have been corrected to reflect the elevations intended.
2. Invert at the manhole where the new storm drain connects to P9 has been provided.
3. The inverts of the storm drain have been checked with respect to the slopes provided and corrected where needed. Additional invert information has been provided to each manhole and inlet.
4. In addition to these comments, the main 18" storm drain constructed with this project was moved slightly to avoid conflicts with existing utilities recently brought to our attention.

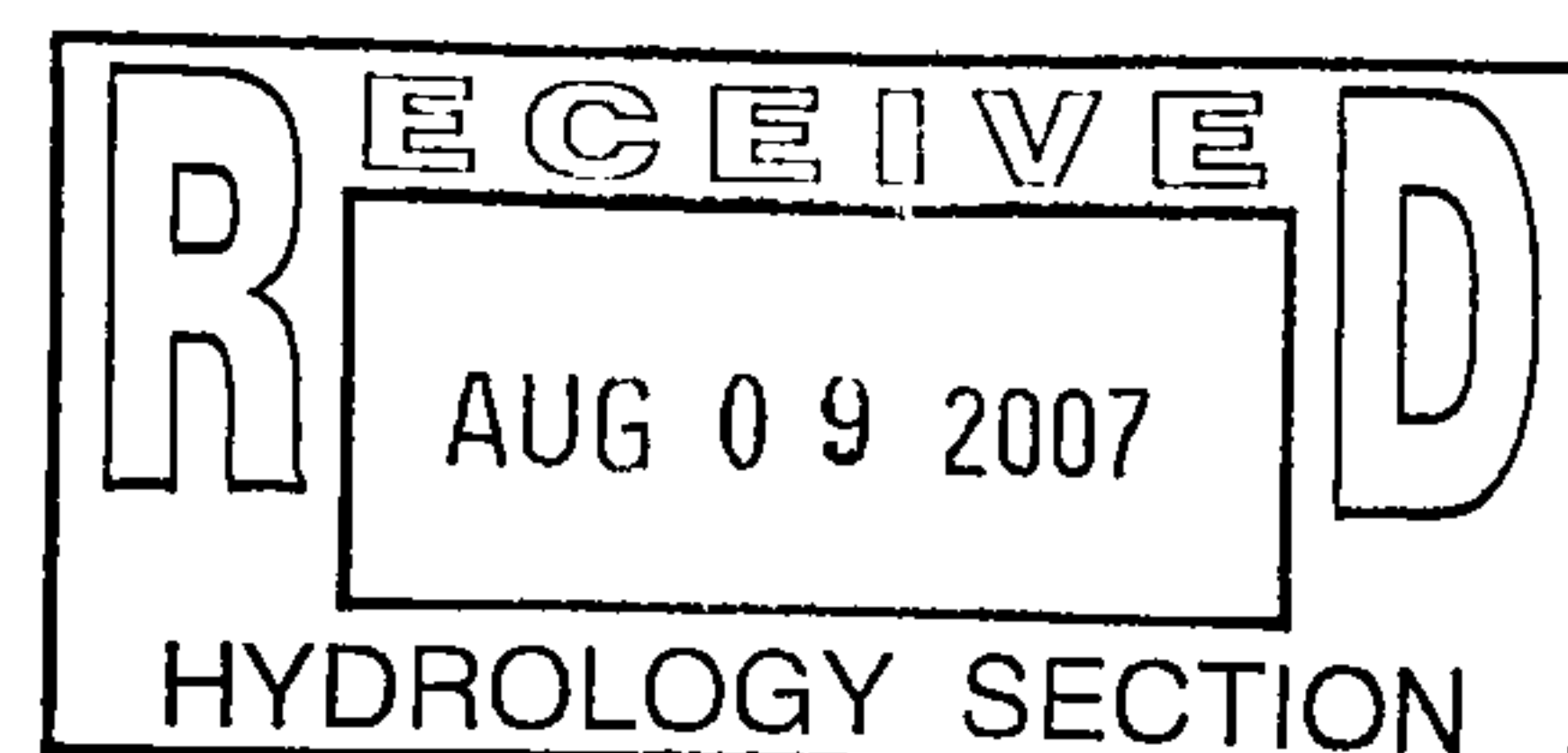
If you have questions or require further information, please contact me at 823-1000.

Sincerely,



Michael Balaskovits, E.I.
Engineer
Community Development and Planning

MJB/cc
Enclosures



ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



July 24, 2007

Jeffrey L. Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE- Courtyard 1
Albuquerque, NM 87109

**Re: Albuquerque Studios-Mixed use Building B Grading and Drainage Plan
Engineer's Stamp dated 7-17-07 (R16/DA3001)**

Dear Mr. Mulberry,

Based upon the information provided in your submittal dated 7-17-07, the above referenced plan is approved for Rough Grading.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Albuquerque

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Albuquerque, NM 87103

New Mexico 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

www.cabq.gov

However, based upon the information provided in your submittal dated 7-17-07, the above referenced plan cannot be approved for Foundation Permit or Building Permit until the following comments are addressed:

- Why are there spot elevations on the perimeter of the building near Stryker Road higher than the finished floor of the building (99.80, 99.80. and 99.90)?
- Provide inverts at the manhole where the new storm drain connects to P9.
- Review the inverts in the proposed storm drain. The inverts in the 18" storm drain don't correspond to the slopes provided.

If you have any questions, you can contact me at 924-3695.

CITY OF ALBUQUERQUE



Sincerely,

Curtis A. Cherne

Curtis A. Cherne, P.E.

Engineering Associate, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CLIENT/COURIER TRANSMITTAL

To: Curtis Cherne
City of Albuquerque
600 2nd St. NW 2nd Floor
Albuquerque, NM 87102

Requested by: Jeff Mulbery

Date: July 17, 2007

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: 924-3694

Job No.: Mixed use Building B

Job Name: Albuquerque Studios

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage info sheet
2	1	Grading plan
3	1	Drainage Management plan
4	1	PREVIOUS DMP / COA APPROVAL LETTER

COMMENTS / INSTRUCTIONS

Curtis,

Here is the final grading plan and drainage management plan for mixed use building B at albuquerque studios. With this submittal, we are requesting roughgrading permit, foundation permit, and building permit. If you have any questions feel free to let me know. Thanks.

Jeff Mulbery
798-7986

REC'D BY: Sandy Handley

DATE: 07/17/07 TIME: 4:58

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Albuquerque Studios/ Mixed use Bldg B ZONE MAP/DRG. FILE # R16/D2A
DRB #: _____ EPC#: 1004818-06EPC# 00466 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 4B, PLAT OF TRACTS 4-A, 4-B & 4-C MESA DEL SOL
CITY ADDRESS: N/A

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Jeff Mulbery
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DPS CONTACT: Chris Gunning
ADDRESS: 7601 Jefferson, suite 100 PHONE: 761-9700
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN -
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

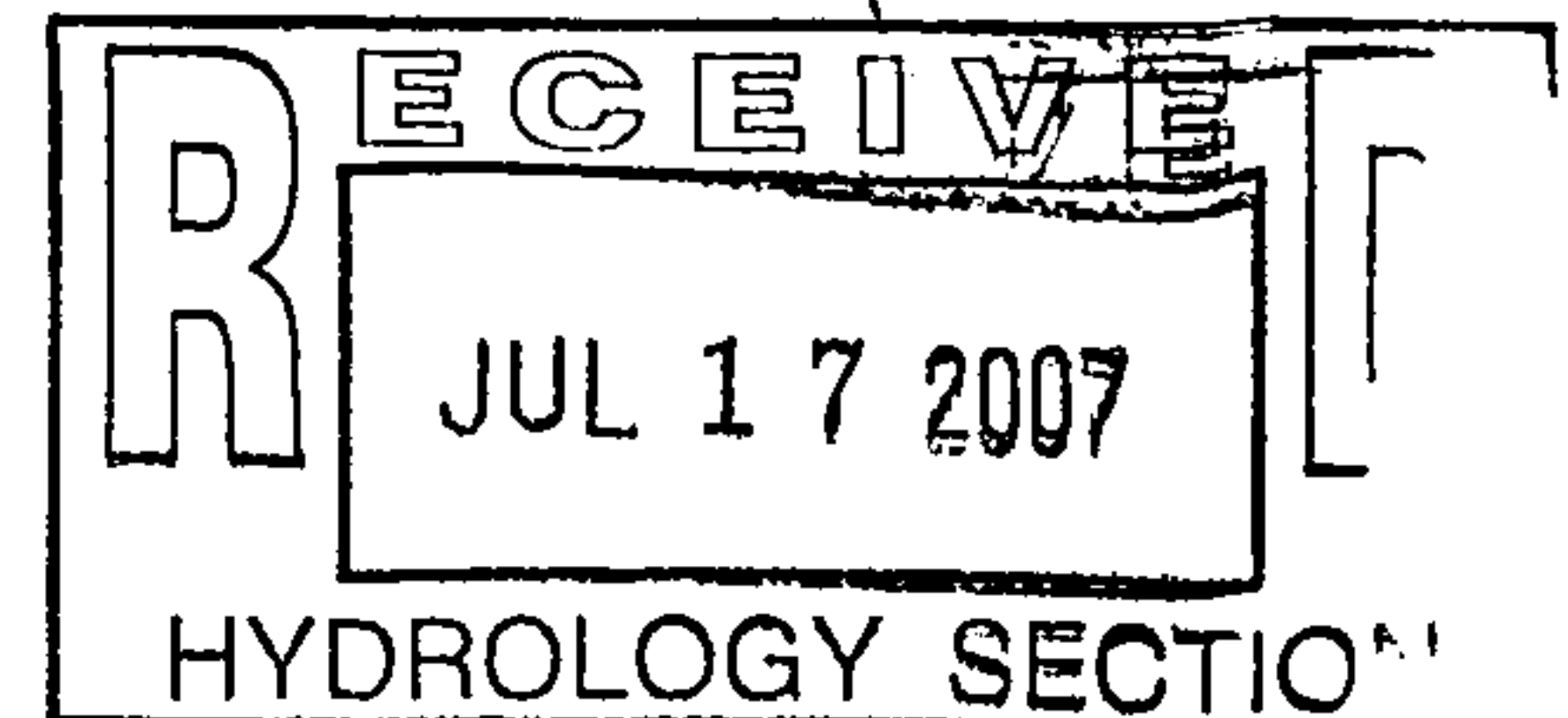
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/17/07 BY: Jeff Mulbery



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