

CITY OF ALBUQUERQUE



September 8, 2008

Michael Balaskovits, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE
Albuquerque, NM 87109

**Re: MDS Film Studio Bldg. 5, 5650 University Blvd. SE,
(R-16/DA3002)
Approval of Permanent Certificate of Occupancy (C.O.),
Engineer's Stamp Date 8/29/06
Certification dated 9/05/08**

Mr. Balaskovits:

PO Box 1293

Based upon the information provided in your submittal received 9/05/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk -- Katrina Sigala
file

R-16/DA3002

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

MdS Film Studio Bldg 5

PROJECT TITLE: Albuquerque Studios - Building 5 ZONE MAP/DRG. FILE # 3002/2A?
 DRB#: _____ EPC#: 1004818-06EPC#00466 WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS 4-B, PLAT OF TRACTS 4-A, 4-B & 4-C MESA DEL SOL
 CITY ADDRESS: 5650 University Blvd. SE (BUILDING 5)

ENGINEERING FIRM: Bohannon Huston, Inc.
 ADDRESS: 7500 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
 PHONE: (505)-823-1000
 ZIP CODE: 87109

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: DPS
 ADDRESS: 7601 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: Chris Gunning
 PHONE: (505)-761-9700
 ZIP CODE: 87109

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Jaynes Corporation
 ADDRESS: P.O. Box 26841
 CITY, STATE: Albuquerque, NM

CONTACT: Gordon Birch
 PHONE: (505)-345-8591
 ZIP CODE: 87125

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

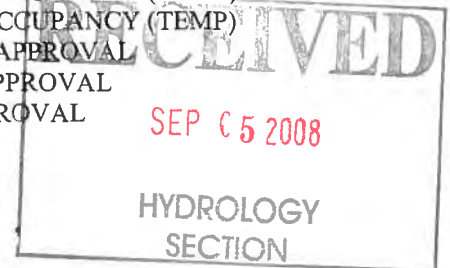
WAS A PRE-DESIGN CONFERENCE ATTENDED:

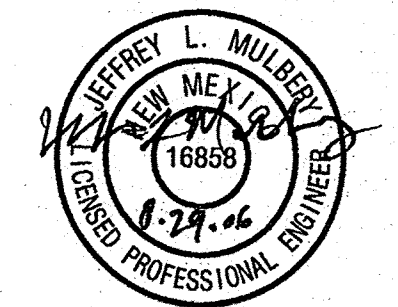
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Mike Balaskovits/rm DATE: 9/5/08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





CONSTRUCTION KEYED NOTES

1. INSTALL STORM DRAIN INLET TYPE "D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).
2. INSTALL HDPE STORM DRAIN PIPE (ADS N-12 OR APPROVED EQUAL) SIZE PER PLAN
3. INSTALL CMP FLARED END SECTION (CONTECH OR APPROVED EQUAL), SIZE PER PLAN
4. INSTALL 2' CURB OPENING FOR DRAINAGE, PER DETAIL, SHEET C101.
5. CONSTRUCT 24" SIDEWALK CULVERT PER COA STD DWG 2236.
6. INSTALL 6" DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101
7. VALLEY GUTTER PER DETAIL, SHEET C101.
8. CONSTRUCT STORM DRAIN (SEE PLAN FOR SIZE) TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
9. INSTALL PRE FABRICATED DRAINAGE FITTING (NYPLAST, OR APPROVED EQUAL), OR INSERT-A-TEE. SEE PLANS FOR SIZES.
10. TIE BACK TO EXISTING GRADE MAX SLOPE 4:1.
11. PROVIDE 18" OPENING IN WALL. SEE PLANS FOR INVERT.

LEGEND

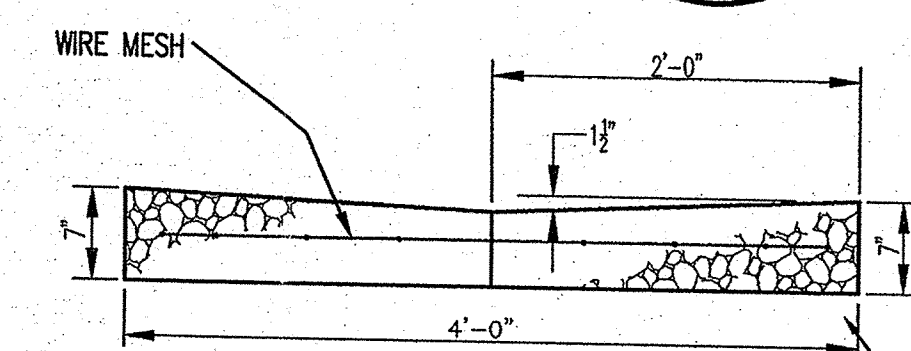
- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TW=TOP OF WALL, BW=BOTTOM OF WALL
EX=EXISTING, TG=TOP OF GRATE
- PROPOSED DIRECTION OF FLOW
- GRADE BREAK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- ASBUILT POND INDEX CONTOURS
- ASBUILT POND INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE
- ASBUILT ELEVATION

DRAINAGE CERTIFICATION

BUILDING 5

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-29-08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT GROMATZKY, NMPS 16469, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-4-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael J. Balaskovits
MICHAEL J. BALASKOVITS, NMPE 18187



TYPICAL VALLEY GUTTER SECTION
NTS

COMPACT SUBGRADE TO A MINIMUM OF 95% MAXIMUM DENSITY

MATCHLINE - SEE SHEET C104

BUILDING 3
F.F.=97.60
97.72

BUILDING 1
F.F.=97.80
97.84

MATCHLINE - SEE SHEET C102

NOTE: OFFSITE IMPROVEMENTS TO BE CONSTRUCTED UNDER A SEPERATE CONTRACT.

UNIVERSITY BLVD

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER



PROJECT

**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

CONSTRUCTION KEYED NOTES

- INSTALL STORM DRAIN INLET TYPE "D", PER COA STD DWG 2206; OR NYOPLAST ROAD AND HIGHWAY DRAINAGE INLET STRUCTURE W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA) H-25 RATED GRATE (OR APPROVED EQUAL).
- INSTALL HDPE STORM DRAIN PIPE (ADS N-12 OR APPROVED EQUAL) SIZE PER PLAN
- NOT USED.
- INSTALL 2' CURB OPENING FOR DRAINAGE, PER DETAIL, SHEET C101.
- CONSTRUCT 24" SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 6" DIA TYPE "C" SD MANHOLE PER COA STD DWG 2201
- SAWCUT EXISTING PAVEMENT. REMOVE AND REPLACE TO REVISED GRADES.
- CONSTRUCT STORM DRAIN (SEE PLAN FOR SIZE) TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL PRE FABRICATED DRAINAGE FITTING (NYPLAST, OR APPROVED EQUAL), OR INSERT-A-TEE. SEE PLANS FOR SIZES.
- TIE BACK TO EXISTING GRADE MAX SLOPE 4:1.
- CONSTRUCT WATERPROOF RETAINING WALL. SEE STRUCTURE PLANS FOR DETAILS.
- EXISTING STORM DRAIN INLET PROTECT IN PLACE.
- ADJUST EXISTING MANHOLE/INLET RIM TO FINISHED GRADE.
- EXISTING FIREHYDRANT PROTECT IN PLACE.
- CONNECT STORM DRAIN TO EXISTING INLET.
- REMOVE AND DISPOSE OF EXISTING STORM DRAIN AND INLET.
- CONSTRUCT 4" VALLEY GUTTER PER DETAIL SHEET C-103.

LEGEND

- PROPOSED SPOT GRADE
- AS-BUILT SPOT GRADE
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED STRYKER CROSSING SPOT GRADE
- EXISTING TOP OF CONCRETE DUCT BANK ELEVATION
- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL-FLOW LINE
- TO-TOP OF WALL, BW-BOTTOM OF WALL
- EX-EXISTING, TO-TOP OF GRADE, FGL-FINISH GROUND HIGH SIDE, FGL-FINISH GROUND LOW SIDE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT
- RETAINING WALL
- TOP OF DUCT BANK

NOTE

ALL HARDSCAPE (I.E. CONCRETE JOINTS, DETAILS, COBBLE/ROCK LOCATIONS, ETC) SHALL BE CONSTRUCTED PER REVISED ARCHITECTURAL SITE PLAN.
(ALL COBBLE SHALL BE A MIN OF 1" ANGULAR ROCK, SEE SITE PLAN FOR DETAILS/LOCATION.)

REVISIONS		
△	REVISED BUILDING	1/21/08
△	REVISED SAWCUT LINE	2/19/08
△	REVISED FF ELEV & SD REVISIONS	3/31/08
△	ADJUST EXIST. M.H.	5/20/08
△	REVISED GRADING AND VALLEY GUTTER	6/30/08

DRAWN BY	CP
REVIEWED BY	JLM
DATE	06/30/08
PROJECT NO.	06023
DRAWING NAME	

**GRADING AND
DRAINAGE
PLAN**

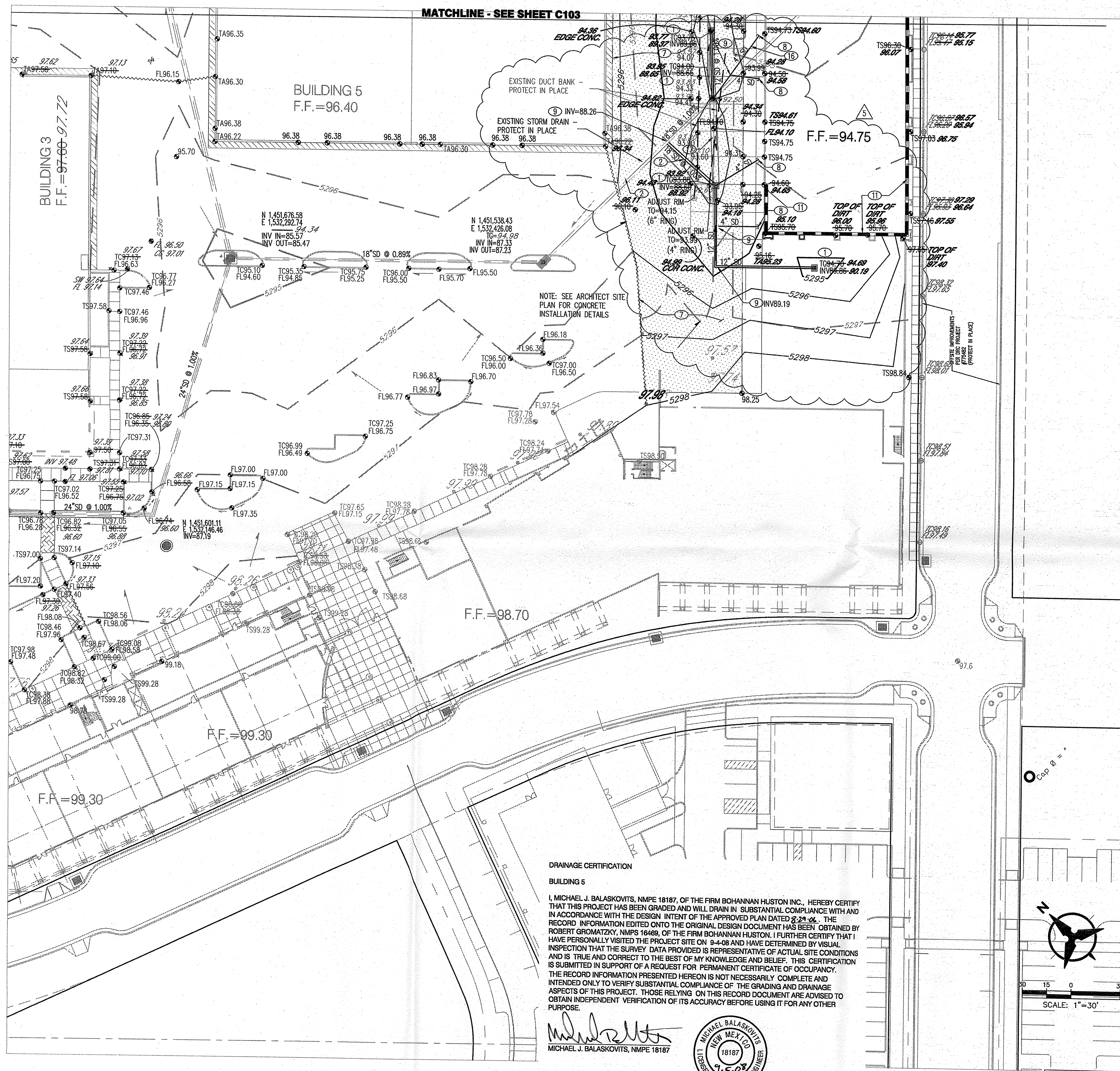
SHEET NO. **C102**

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

HYDROLOGY
SECTION

OF

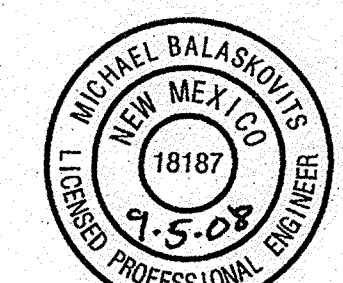


DRAINAGE CERTIFICATION

BUILDING 5

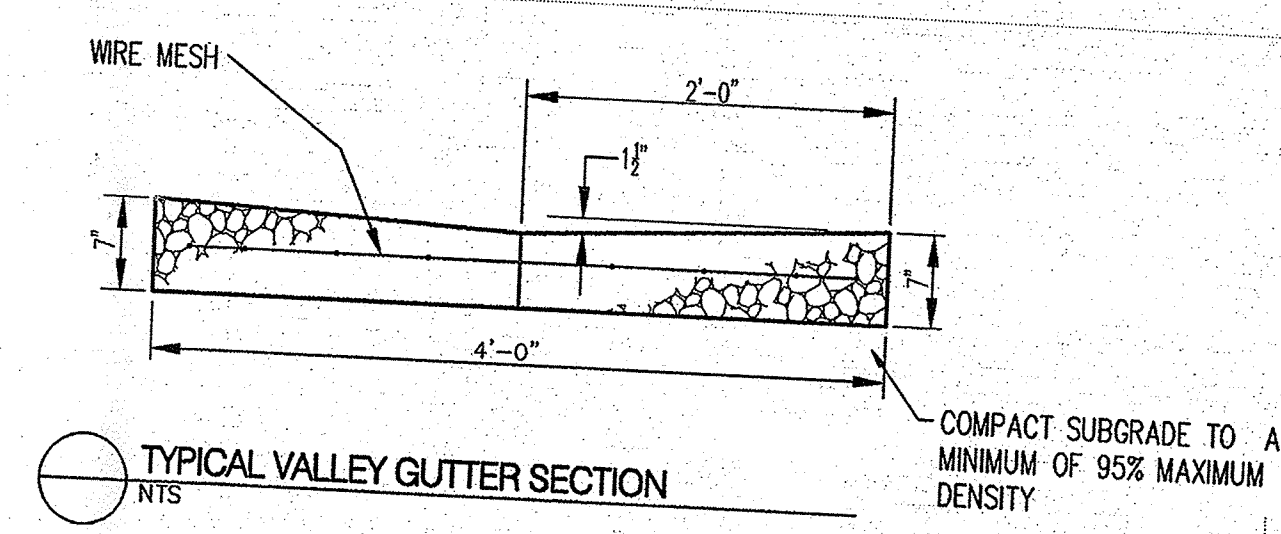
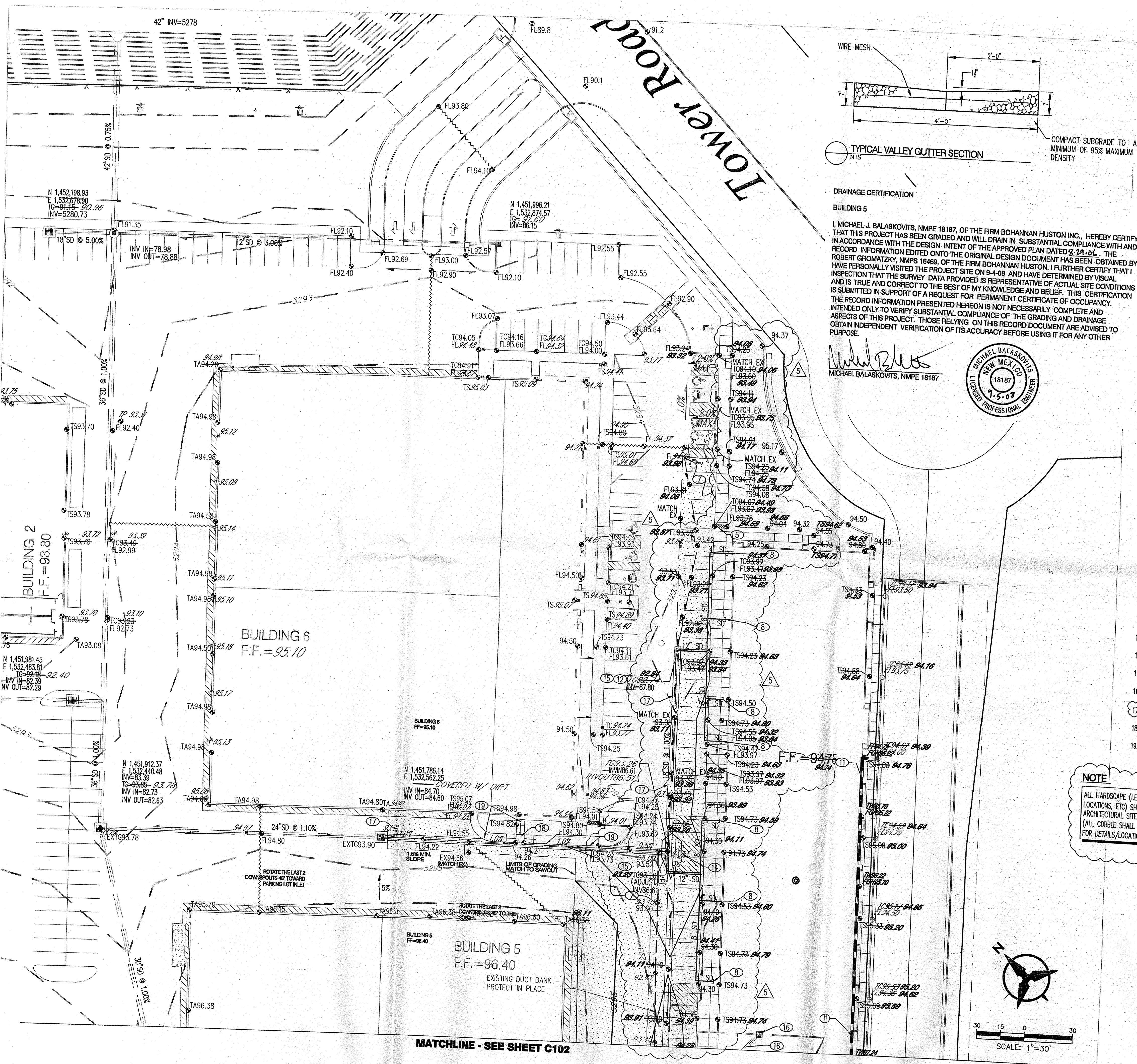
I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-21-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT GROMATZKY, NMPS 18469, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-4-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael J. Balaskovits
MICHAEL J. BALASKOVITS, NMPE 18187



NOTE

HDPE PIPE, MANHOLES, WATER STOP GASKETS, GRATES/ COLLARS, AND DROP INLETS SHALL BE INSTALLED AND BACK FILLED PER MANUFACTURER'S SPECIFICATIONS.



DRAINAGE CERTIFICATION
BUILDING 5
I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-4-08 AND HAVE DETERMINED BY VISUAL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187
NEW MEXICO
18187
7-5-08
LICENSED PROFESSIONAL ENGINEER

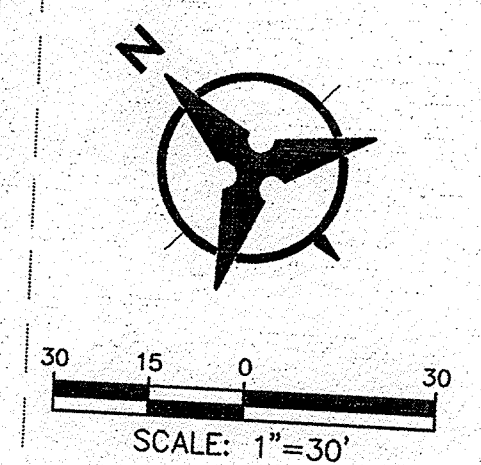
GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE ELEVATION, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GENERAL NOTES" OF THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL MAINTAIN EXISTING BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PL. BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATION MEDIAN AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION.
- ALL SIDEWALKS SHALL HAVE A MIN 1% & A MAX 2% CROSS SLOPE.

CONSTRUCTION KEYED NOTES

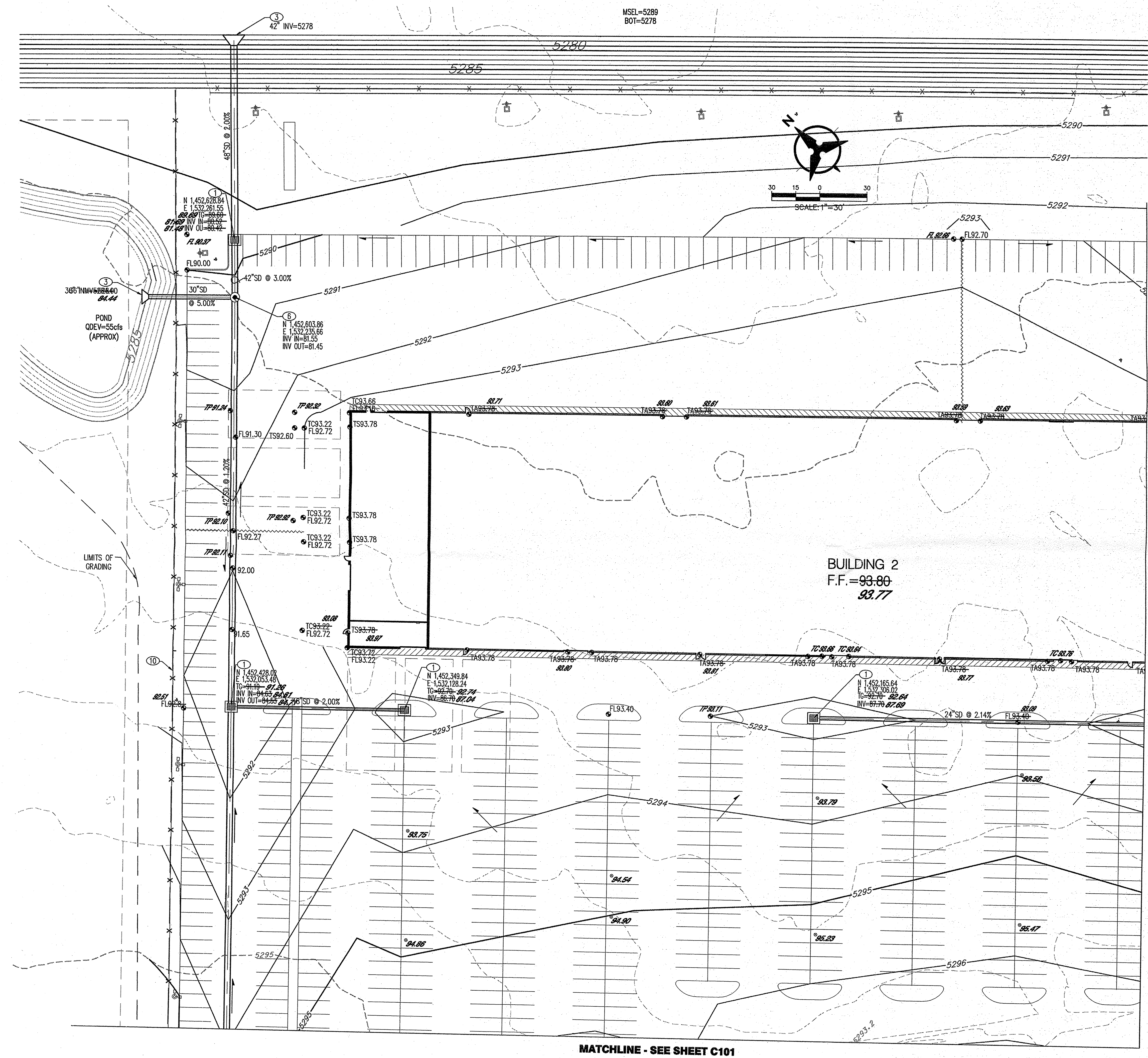
- INSTALL STORM DRAIN INLET TYPE "D", PER COA STD DWG 2206; W/ 2'X3' STEEL BAR GRATE (261.2 SQ. IN. APPROXIMATE DRAIN AREA).
- INSTALL HDPE STORM DRAIN PIPE (ADS N-12 OR APPROVED EQUIVALENT).
- NOT USED.
- INSTALL 2' CURB OPENING FOR DRAINAGE, PER DETAIL, SHEET C101.
- CONSTRUCT 24" SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 6" DIA TYPE "C" SD MANHOLE PER COA STD DWG 2101.
- SAWCUT EXISTING PAVEMENT. REMOVE AND REPLACE TO REVISED GRADE.
- CONSTRUCT STORM DRAIN (SEE PLAN FOR SIZE) TO WITHIN 5' OF BUILDING PLAN FOR CONTINUATION.
- INSTALL PRE FABRICATED DRAINAGE FITTING (NYPLAST, OR APPROVED EQUIVALENT) INSERT-A-TEE. SEE PLANS FOR SIZES.
- TIE BACK TO EXISTING GRADE MAX SLOPE 4:1.
- CONSTRUCT WATERPROOF RETAINING WALL. SEE STRUCTURE PLANS FOR DETAILS.
- EXISTING STORM DRAIN INLET PROTECT IN PLACE.
- ADJUST EXISTING MANHOLE/INLET RIM TO FINISHED GRADE.
- EXISTING FIREHYDRANT PROTECT IN PLACE.
- CONNECT STORM DRAIN TO EXISTING INLET.
- REMOVE AND DISPOSE OF EXISTING STORM DRAIN AND INLET.
- CONSTRUCT 4' VALLEY GUTTER PER DETAIL THIS SHEET.
- INSTALL 3- UNIDIRECTIONAL HANDICAP RAMPS.
- REMOVE AND REPLACE SIDEWALK AS REQUIRED.

NOTE
ALL HARDSCAPE (I.E. CONCRETE JOINTS, DETAILS, COBBLE/ROCK LOCATIONS, ETC) SHALL BE CONSTRUCTED PER REVISED ARCHITECTURAL SITE PLAN.
(ALL COBBLE SHALL BE A MIN OF 1" ANGULAR ROCK, SEE SITE PLAN FOR DETAILS/LOCATION.)



NOTE
HDPE PIPE, MANHOLES, WATER STOP GASKETS, GRATES/ COLLARS AND PROTECT IN PLACE

Bohannan



- CONSTRUCTION KEYED NOTES**
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 10. TIE BACK TO EXISTING GRADE MAX SLOPE 4:1.
 11. PROVIDE 18" OPENING IN WALL. SEE PLANS FOR INVERT.

- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOURS
 - X 5301.15 EXISTING GROUND SPOT ELEVATION
 - EXISTING ELECTRICAL POLE
 - 65.23 PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TW=TOP OF WALL, BW=BOTTOM OF WALL
EX=EXISTING, TG=TOP OF GRATE
 - S=2.0% PROPOSED DIRECTION OF FLOW
 - GRADE BREAK
 - PROPOSED RETAINING WALL
 - 5.00% PROPOSED INDEX CONTOURS
 - 5.00% PROPOSED INTER CONTOURS
 - 5.00% ASBUILT POND INDEX CONTOURS
 - ASBUILT POND INTER CONTOURS
 - PROPOSED CURB & GUTTER
 - EASEMENT
 - EXISTING TREE
 - PROPOSED LIGHTING
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE
 - 65.23, 94.99, 93.67 ASBUILT ELEVATION

DRAINAGE CERTIFICATION

BUILDING 5

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-29-06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT GROMATZKY, NMPS 16469, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-4-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael J. Balaskovits
MICHAEL J. BALASKOVITS, NMPE 18187

Michael J. Balaskovits
MICHAEL J. BALASKOVITS, NMPE 18187

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planning
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ARCHITECT

ENGINEER

Jeffrey L. Mulder
JEFFREY L. MULDER
16858
8-29-06
LICENSED PROFESSIONAL ENGINEER

PROJECT

**Mesa Del Sol
Film Studio**
Albuquerque, New Mexico

REVISIONS

△	
△	
△	
△	

DRAWN BY	CJA
REVIEWED BY	JLM
DATE	06/30/08
PROJECT NO.	06023
DRAWING NAME	

**GRADING AND
DRAINAGE
PLAN**

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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