

CITY OF ALBUQUERQUE



September 11, 2009

James D. Hughes, P.E.
URS Corp
6501 Americas Parkway NE # 900
Albuquerque, NM 87110

Re: Mesa del Sol Community Center Bldg B, 5700 University Blvd SE
Permanent Certificate of Occupancy - Approved
Approved Engineer's Stamp Date 6-10-09
Certification Date 9-10-09 (R16/DA3005)

Based upon the information provided in the Certification received 9-10-09, the above referenced Certification is approved for Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

NM 87103

Curtis A. Cherne, P.E.
Senior Engineer
Development and Building Services

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Mesa del Sol Community Center Bldg ZONE MAP: R-16/PA3005
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 23 Innovation Park Plat
 CITY ADDRESS: 5700 UNIVERSITY SE

ENGINEERING FIRM: URS Corp CONTACT: Doug Hughes
 ADDRESS: 6501 Americas Parkway NE #900 PHONE: 858-7835
 CITY, STATE: Albuquerque ZIP CODE: 87110

OWNER: Mesa Del Sol LLC / FCC CONTACT: Amy Coburn
 ADDRESS: 901 University Blvd SE #105 PHONE: 480-3021
 CITY, STATE: Albuquerque NM ZIP CODE: 87106

ARCHITECT: EDAW / Jan Anderson CONTACT: Jarrod Arellano
 ADDRESS: 912 Roma Ave NW PHONE: 764-8306
 CITY, STATE: Albuquerque NM ZIP CODE: 87102

SURVEYOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Klinger CONTACT: Roy Smith
 ADDRESS: PO Box 90850 PHONE: 822-9990
 CITY, STATE: Albuquerque NM ZIP CODE: 87113

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) Revised Grading and Drainage Plan

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

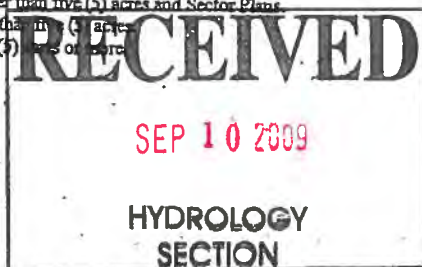
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 9-10-09

BY: Doug Hughes

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) lots or more.





One Park Square
6501 Americas Parkway NE, Suite 900
Albuquerque NM 87110
TEL: (505) 855-7500 FAX: (505) 855-7555

LETTER OF TRANSMITTAL

TO: Curtis A Cherne P.E.
City of Albuquerque Hydrology Development Section
600 2nd ST. NW
Albuquerque, New Mexico 87102

DATE: September 10, 2009

REFERENCE: Engineer's Certification for Mesa Del Sol Community Center Building B and
Aperture Park - R16/DA3005 – per G&D plan approved June 10, 2009

Attached, please find:

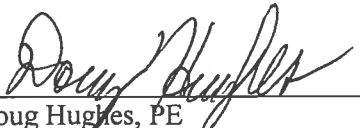
- 1 Copy of 6 sheets (C-1, C-2, & LG-101 thru LG-104) with Engineer's Certification Dated 9-10-2009 for Tract 23 Innovation Park, 5700 University Blvd SE
-

For:	☒ X	For Your Use	☐	Signature and return	☒ X	Appropriate action
	☒ X	As requested	☐	For your information		

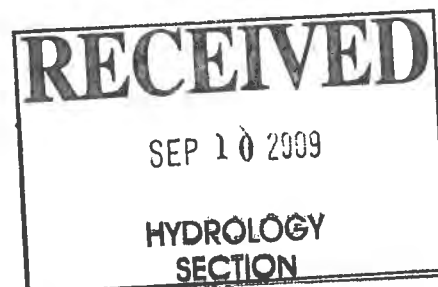
Remarks: Please call if you have any questions or comments.

Sincerely,

URS Corporation

By: 
Doug Hughes, PE
Senior Land Development Engineer-URS New Mexico

CC: ~~n/a~~ EDAW - Gretchen Wilson
FCC - Chris Anderson



DRAINAGE MANAGEMENT PLAN

THE SUSTAINABILITY GOAL OF WATER QUALITY IS MET BY CAPTURING ALL STORM WATER FROM ON-SITE AND ADJACENT PUBLIC STREETS IN AN OFF-SITE PRIVATE RETENTION POND (EXISTING) WHICH IS DESIGNED TO INFILTRATE THIS ALSO RECHARGING GROUNDWATER. THE SUSTAINABILITY GOAL OF WATER HARVESTING WILL BE ACCOMPLISHED BY DIRECTING DRAINAGE FROM ROOFS SIDEWALKS AND PARKING AREAS INTO DEPRESSED PLANTER AREAS AND GRASS SWALES. EXCESS RUNOFF FROM LARGE RAIN EVENTS THAT OVERWHELM THE DRAINAGE CAPACITY OF THE LANDSCAPE AREAS WILL OVERFLOW INTO A SUBSURFACE DRAINAGE SYSTEM WHICH CARRIES THE EXCESS TO THE OFF-SITE PRIVATE RETENTION POND WHERE POLLUTANTS ARE ALLOWED TO SETTLE AND THE EXCESS STORM WATER IS ENCOURAGED TO INFILTRATE TO REPLENISH GROUND WATER. EXCESS RUNOFF WILL FREE DISCHARGE TO THE STORM SEWER SYSTEM CURRENTLY UNDER CONSTRUCTION WITH CITY PROJECT #775482 "UNIVERSITY BLVD. EXTENSION - PHASE 1B" IN ACCORDANCE WITH THE "MESA DEL SOL (REVISED) PHASE 1B - DRAINAGE ANALYSIS REPORT, DATED 8-15-07. ON-SITE SURFACE DRAINAGE WILL BE COLLECTED IN ON-SITE STORM PIPES AND CONNECTED TO THE PUBLIC PIPES IN UNIVERSITY BLVD. AND STRYKER RD. AS PLANNED.

HYDROLOGY & HYDRAULICS

DESIGN FLOWS FOR THIS SITE WERE DETERMINED IN THE 8-15-07 REPORT TO BE A PEAK 100 YEAR RATE OF 4.7 CFS/ACRE AND VOLUME OF 0.24 AC-FIT/AC. TWO 24" PIPES WERE STUBBED TO THIS PROPERTY BY CITY PROJECT 775482 AS SUMMARIZED IN THE FOLLOWING TABLE.

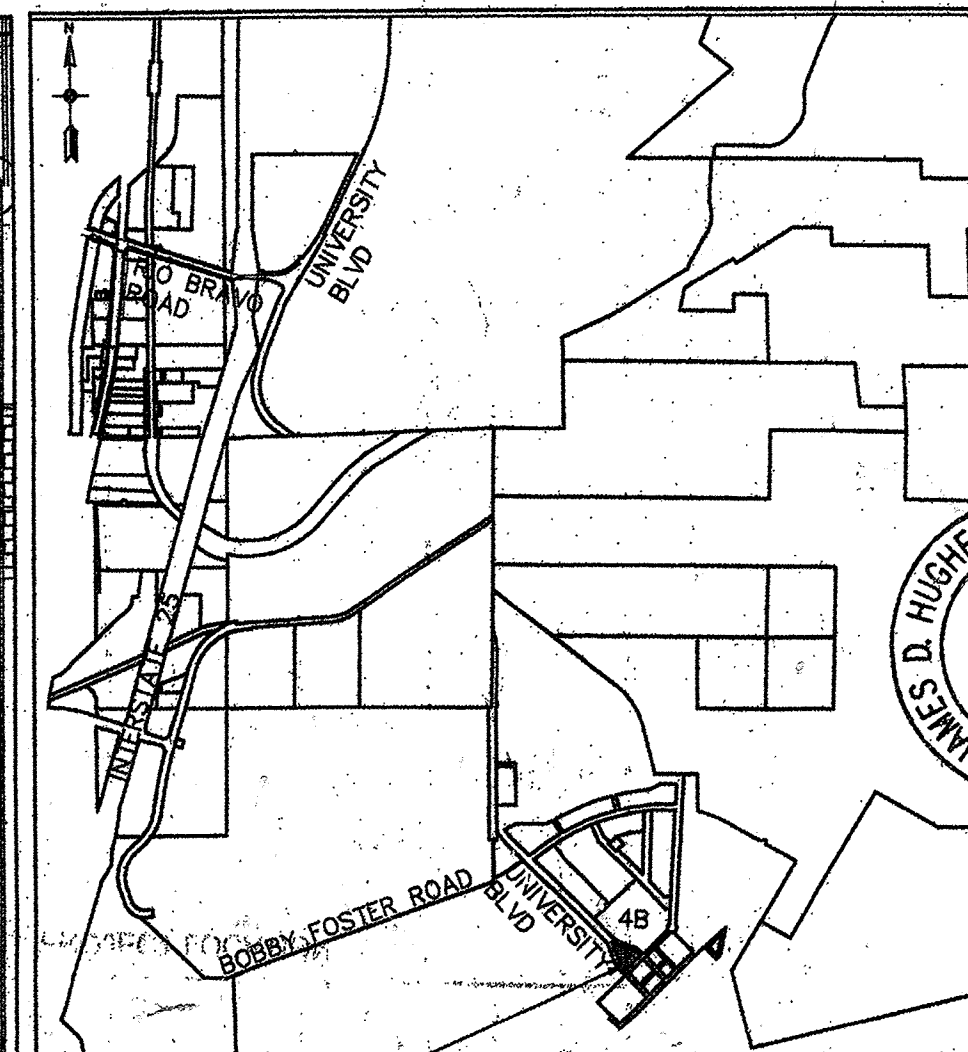
BASIN ID	Q ₁₀₀	AREA	DESCRIPTION
1G	10.72 cfs	2.28 ac	BUILDING A AND REAR PARKING
1H	5.92 cfs	1.26 ac	PLAZA/PARK (90% IMP)

THE HYDRAULIC GRADE LINE IS ABOUT 7' BELOW THE SURFACE AT THE TWO PIPE OUTLETS AND THE ON-SITE HEAD LOSSES ARE INSIGNIFICANT.

THE FLAT BOTTOM AREA OF THE PARK IS ABOUT 19,000 SQUARE FEET. IF THE FLAT AREA HAS NO DISCHARGE, THE 10 DAY-100 YEAR RETENTION DEPTH WILL BE 10.7' TO CONTAIN 0.39 AC-FIT. HOWEVER, INLET #6 HAS CAPACITY FOR 7.61 cfs AT A DEPTH OF 0.42 ASSUMING A WIER COEFFICIENT OF 2.7 AND A GRADE PERIMETER OF 10.5'.

NOTICE TO CONTRACTORS

- ALL WORK DETAILED THIS SHEET TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE NO. 7, AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL-SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
- ALL PERMANENT STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC RECOLORIZED PAVEMENT MARKING BY CONTRACTOR IN SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- ANY WORK WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE OWNER.
- DRIVE PADS SHALL BE PER DWG 2425 EXCEPT FLARES MODIFIED TO 8" @ 2:1 SLOPE.



PROJECT LOCATION VICINITY MAP 1
1" = 3000'-0"

CITY ZONE ATLAS MAP #R-16

LEGAL DESCRIPTION

TRACT 23 OF THE BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK CONTAINING 3.3269 AC. AS RECORDED 9/13/07, BOOK 2007C, Pg. 259.

BENCH MARKS

ACS 3-1/4" ALUMINUM CAP RIVETED TO A TUBE SET IN A CONCRETE BASE IN THE GROUND STAMPED "5-0-14, 1987", FROM THE RIO BRAVO BLVD AND BROADWAY INTERSECTION. GO SOUTH 0.9 MILES AND PROCEED 123' WEST OF THE CENTERLINE, STATE PLANE COORDINATES (CENTRAL ZONE, NAD83/NAVD88) N=1460471.432, E=1521388.160 (GROUND) ELEVATION=4981.17

TOWN CENTER MESA DEL SOL

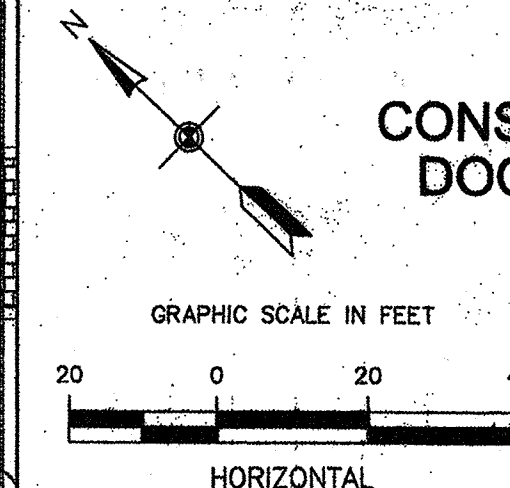
Albuquerque, New Mexico

URS Corporation
civil engineer
ONE PARK SQUARE
SUITE 800
6501 AMERICAS PARKWAY, NE
ALBUQUERQUE, NM 87110
(505) 855-7500

Proj # 244-24342-0974-00001

LEGEND

- FF FINISHED FLOOR
- GRADE HINGE LINE
- DRAINAGE DIVIDE
- STORM PIPE EXISTING
- STORM PIPE PROPOSED
- INLETS
- MANHOLES
- STREET LIGHTS
- SPOT ELEVATIONS
- HEADER CURB
- PLANTER
- PAVERS



DATE: OCTOBER 15, 2007

SHEET TITLE:
GRADING AND DRAINAGE PLAN

SHEET NUMBER:

NOT FOR
CONSTRUCTION

C-1 of 2

RECEIVED
SEP 10 2009
HYDROLOGY
SECTION

ENGINEER'S CERTIFICATION FOR MESA DEL SOL TOWN CENTER, 5700 UNIVERSITY BLVD SE, ALBUQUERQUE, NM 87110. I, James D. Hughes, NMEPE #11674, of the firm URS Corporation, hereby certify that this project has been designed and will be constructed in accordance with the design intent of the approved plan dated 8/10/2009 except as noted below. The record information edited onto this design document has been obtained by me. I further certify that I have personally visited the project site on 9/10/2009 and have determined by visual inspection that the original planned elevations are representative of actual site conditions and are true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy. The design of the landscape, drive pads and concrete parking area in front of Building A (north side of the building), and the streetscape along University Blvd (south side of the building), and the Building B shell, it does not include Building A and associated parking lot which was certified separately on 1/7/2008. The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

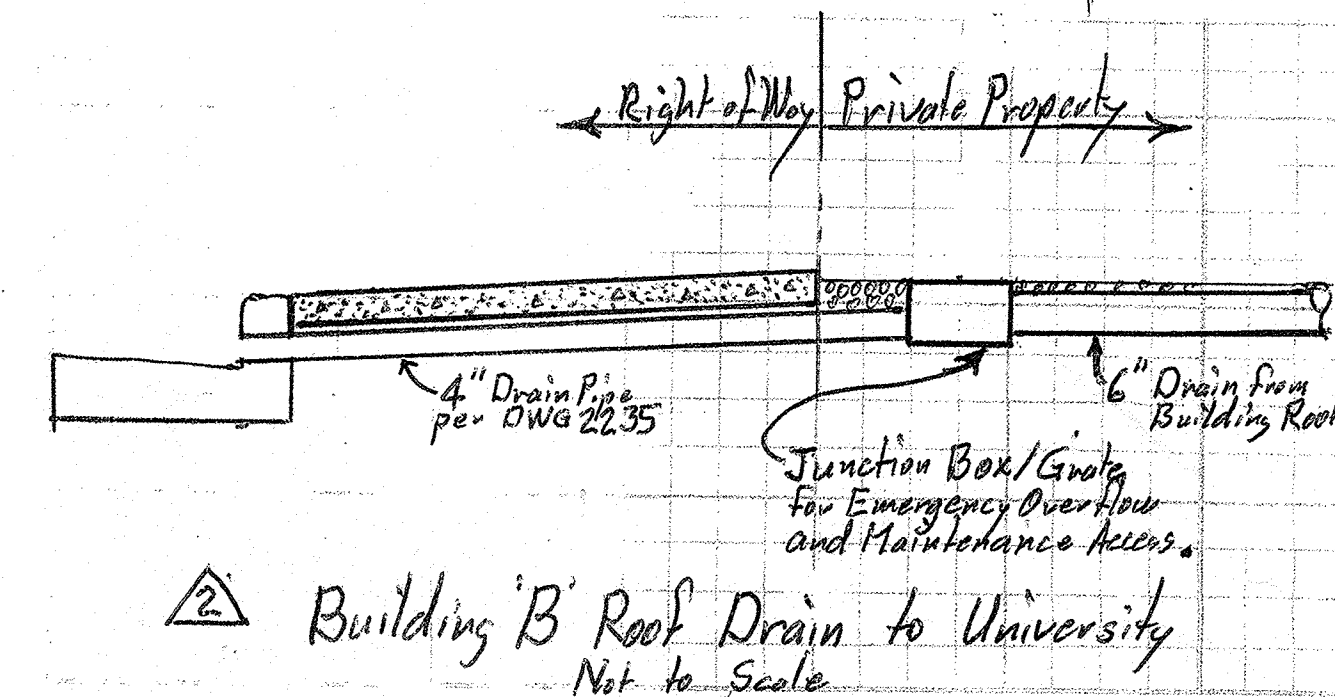
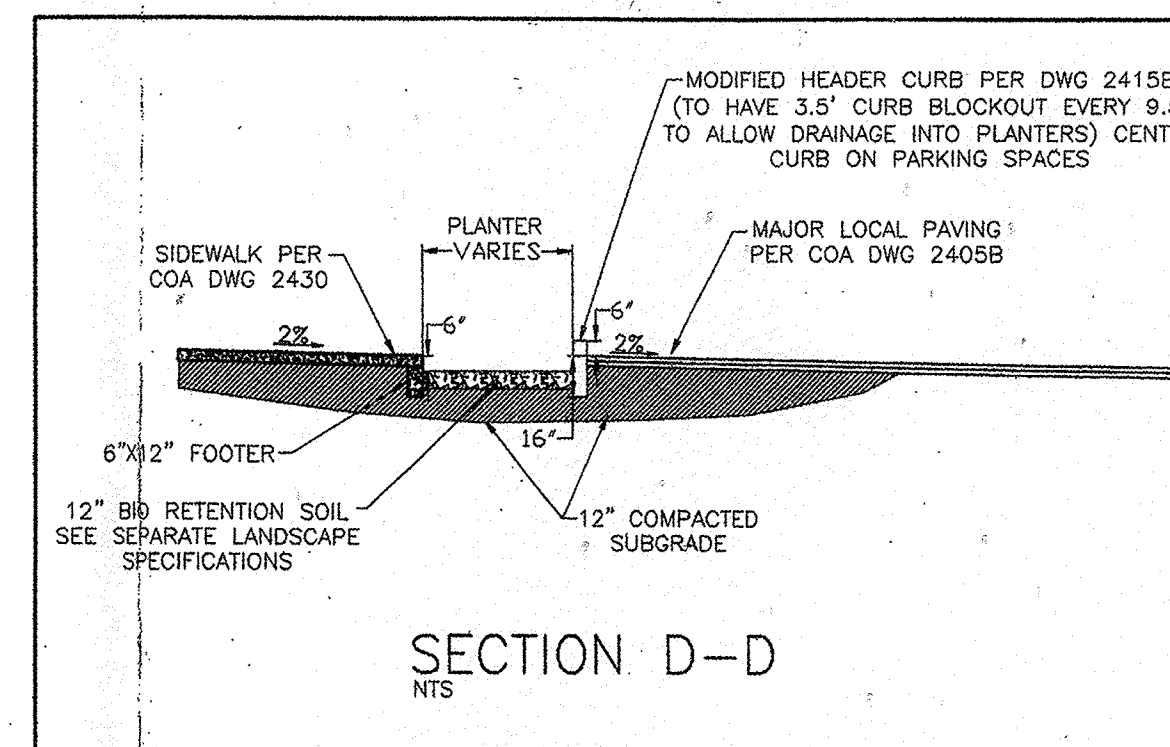
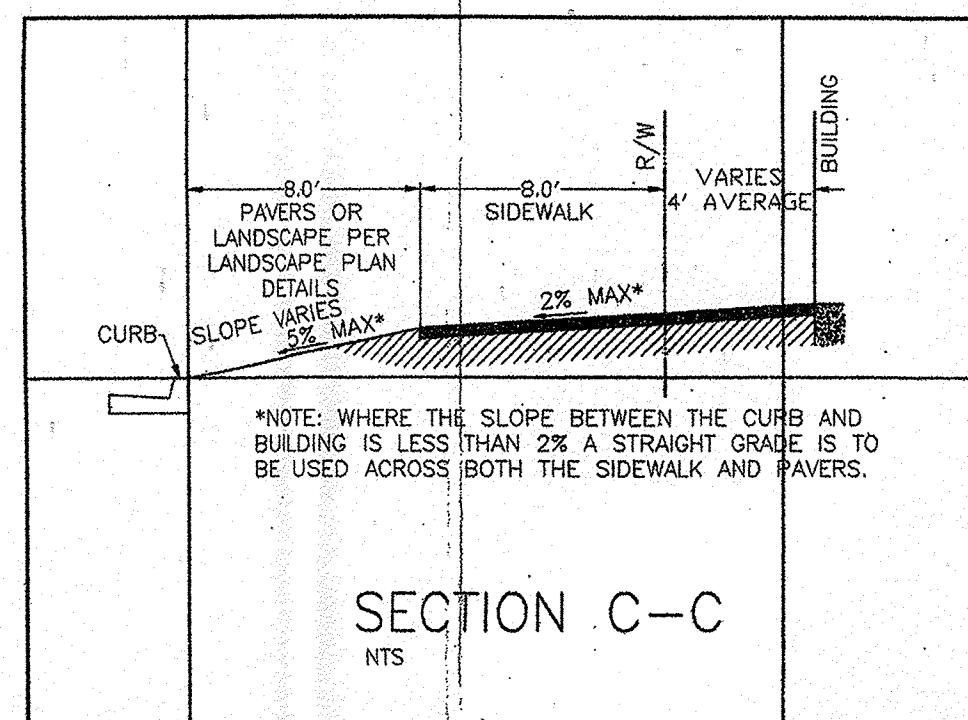
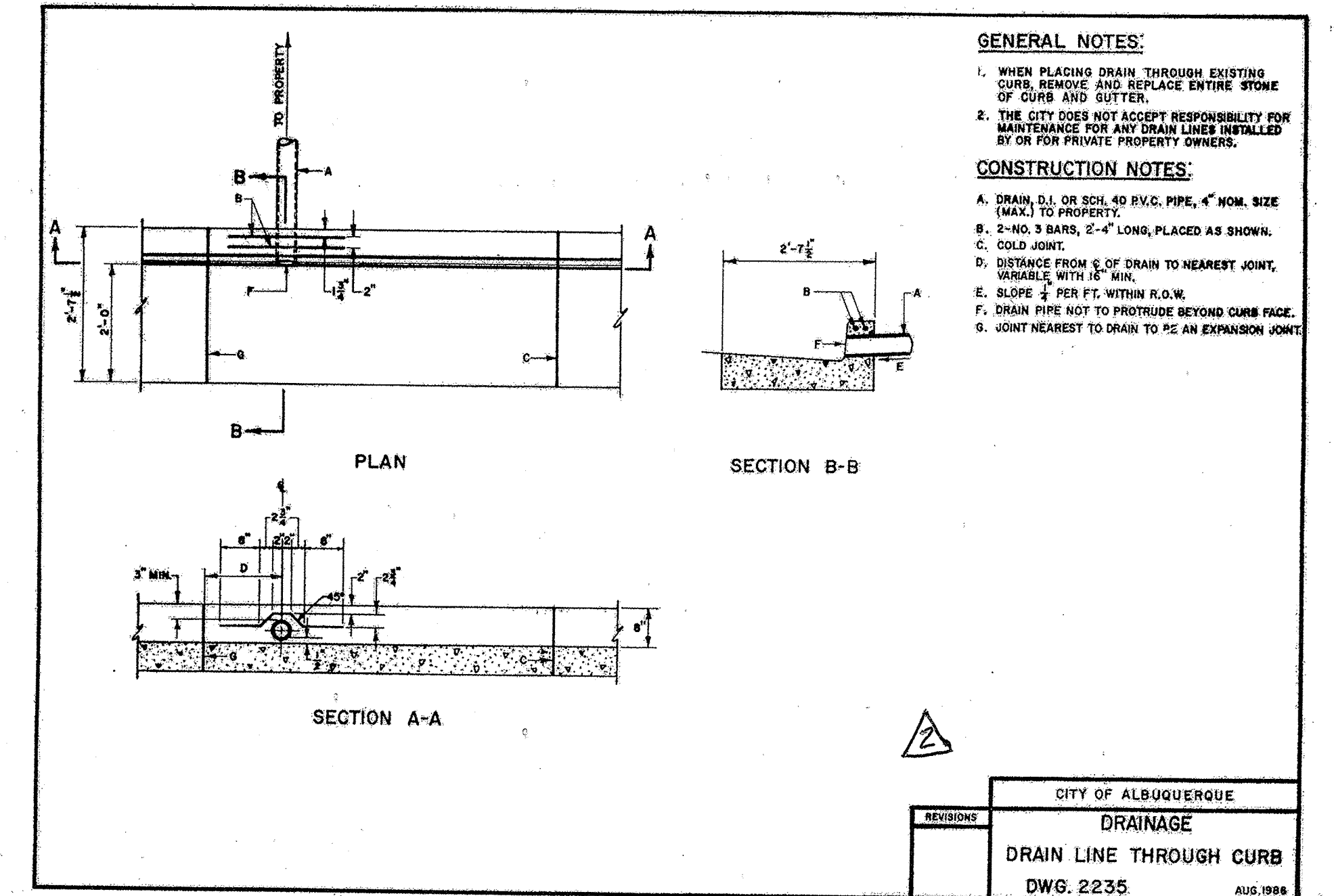
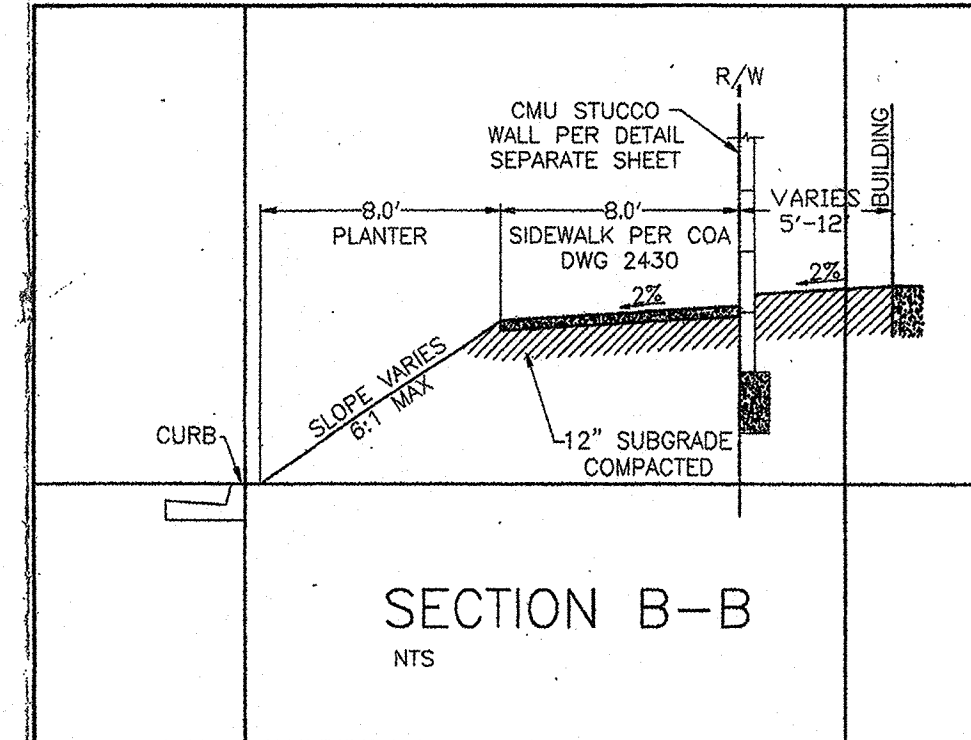
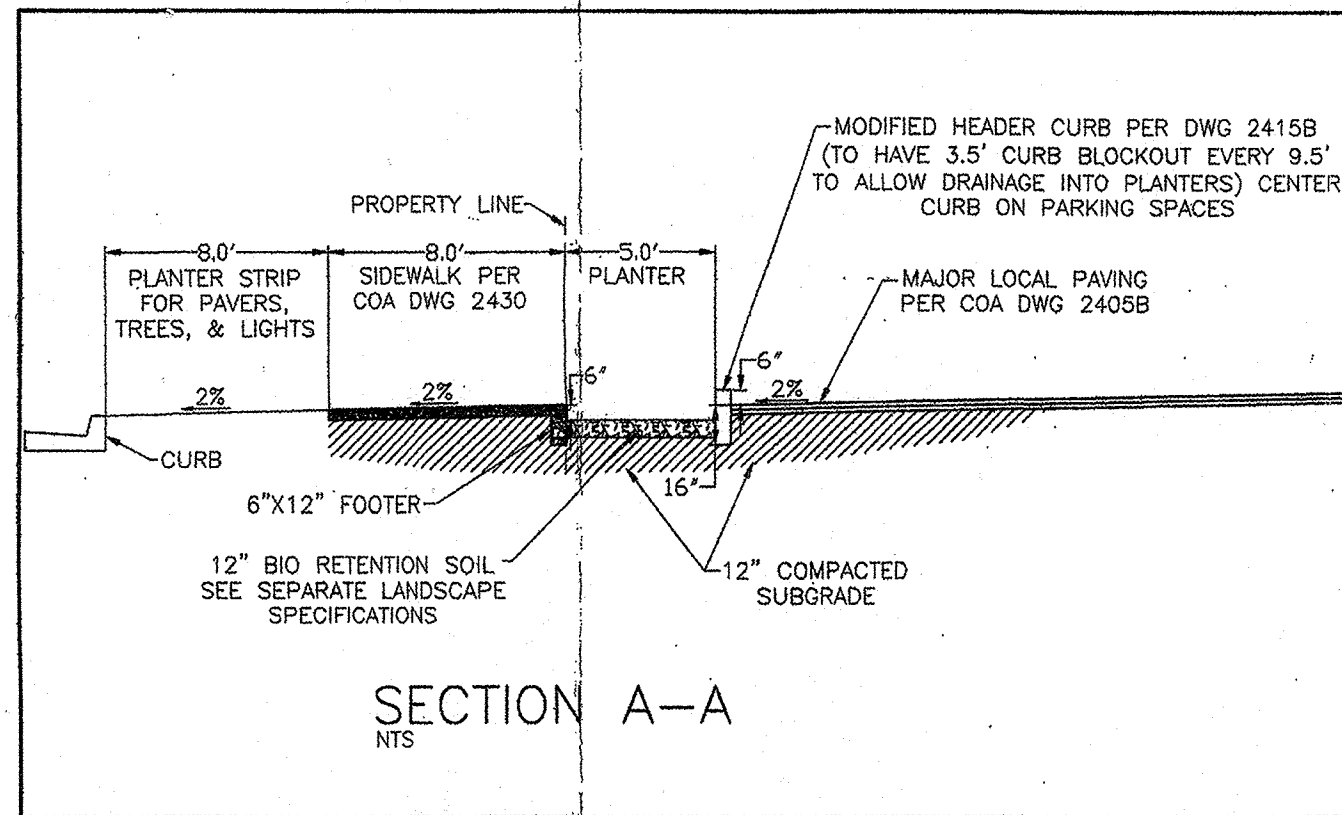
James D. Hughes
NMEPE #11674
Date

Deleted
See Sheet LG-101 thru 104
of Aperture Park
Dated 6-30-08

BUILDING 'A' AREA
CERTIFIED SEPERATELY
ON 1-7-2009

Revising 6-10-09 Added Roof Drain
Through Curbs & Building 'B'

James D. Hughes
NMEPE #11674
11-07-07



TOWN CENTER
MESA DEL SOL
Albuquerque, New Mexico

civil engineer
URS Corporation
ONE PARK SQUARE
8501 AMERICAS PARKWAY, NE
SUITE 900
ALBUQUERQUE, NM 87110
(505) 859-7500

ENGINEER'S CERTIFICATION FOR MESA DEL SOL TOWN CENTER, 5700 UNIVERSITY BLVD SE
I, James D. Hughes, NIMPE #11674, of the firm URS Corporation, Herby Certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/10/2009 except as noted below. The record information edited onto the original design document has been obtained by me. I further certify that I have personally visited the project site on 9/10/2009 and have determined by visual inspection that the original planned elevations are representative of actual site conditions and are true and correct to the best of my knowledge and belief. This certification is in support of a request for Certificate of Occupancy. The record information presented herein is not necessary for the project and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record information shall be responsible for obtaining independent verification of its accuracy before using it for any other purpose.
The record information presented herein is not necessary for the project and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record information shall be responsible for obtaining independent verification of its accuracy before using it for any other purpose.

Revised 6-10-09 Added Roof Drain thru Curb JPH

DATE: OCTOBER 15, 2007

SHEET TITLE:
GRADING AND DRAINAGE PLAN

SHEET NUMBER:
C-2 of 2

NOT FOR CONSTRUCTION

RECEIVED
SEP 10 2009
HYDROLOGY SECTION

LEGEND

- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING HANDICAP RAMP
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS

WATER HARVESTING PLAN

THE SUSTAINABILITY GOAL OF WATER HARVESTING WILL BE ACCOMPLISHED BY DIRECTING DRAINAGE FROM ROOFS SIDEWALKS AND PARKING AREAS INTO DEPRESSED PLANTER AREAS AND GRASS SWALES. AN OFFSITE SUSTAINABILITY CISTERN (50,000 gallon UNDERGROUND TANK) LOCATED UNDER THE RETENTION POND IN TRACT OS-1 INNOVATION PARK WILL COLLECT RUNOFF FROM A 9.4 ACRE PORTION OF ALBUQUERQUE STUDIOS. THE CISTERN WILL SUPPLY OVER HALF OF THE IRRIGATION WATER FOR APPTURE PARK.

WATER QUALITY PLAN

THE SUSTAINABILITY GOAL OF WATER QUALITY IS MET BY CAPTURING ALL STORM WATER FROM ON-SITE AND ADJACENT PUBLIC STREETS IN AN OFFSITE PRIVATE RETENTION POND (EXISTING) WHICH IS DESIGNED TO INFILTRATE THUS ALSO RECHARGING GROUNDWATER. EXCESS RUNOFF FROM LARGE RAIN EVENTS THAT OVERWHELM THE DRAINAGE CAPACITY OF THE LANDSCAPE AREAS WILL OVERFLOW INTO A SUBSURFACE DRAINAGE SYSTEM WHICH CARRIES THE EXCESS TO THE OFFSITE PRIVATE RETENTION POND WHERE POLLUTANTS ARE ALLOWED TO SETTLE AND THE EXCESS STORM WATER IS ENCOURAGED TO INFILTRATE TO REPLENISH GROUND WATER.

WATER QUANTITY PLAN

EXCESS RUNOFF WILL FREE DISCHARGE TO THE STORM SEWER SYSTEM CURRENTLY UNDER CONSTRUCTION WITH CITY PROJECT #775482 "UNIVERSITY BLVD. EXTENSION - PHASE 1B" IN ACCORDANCE WITH THE "MESA DEL SOL (REVISED) PHASE 1B...DRAINAGE ANALYSIS REPORT", DATED 8-15-07. ON-SITE SURFACE DRAINAGE WILL BE COLLECTED IN ON-SITE STORM PIPES AND CONNECTED TO THE PUBLIC PIPES IN UNIVERSITY BLVD. AND STRYKER RD. AS PLANNED. THE UNDEVELOPED EXISTING SITE DRAINED INTO A PLYA WITH NO DISCHARGE, AND THE DEVELOPED RETENTION POND WILL ALSO HAVE ZERO DISCHARGE. SO THERE IS NO INCREASE IN STORM WATER QUANTITY FROM THIS DEVELOPMENT

HYDROLOGY SUMMARY

DESIGN FLOWS FOR THIS SITE WERE DETERMINED IN THE 8-15-07 REPORT TO BE A PEAK 100 YEAR RATE OF 4.7 CFS/ACRE AND VOLUME OF 0.24 AC.FT./AC. TWO 24" PIPES WERE STUBBED TO THIS PROPERTY BY CITY PROJECT 775482 AS SUMMARIZED IN THE FOLLOWING TABLE.

	AREA	DESCRIPTION
10.72 cfs	2.28 ac	BUILDING A AND REAR PARKING
5.92 cfs	1.26 ac	PLAZA/PARK (90% IMP)

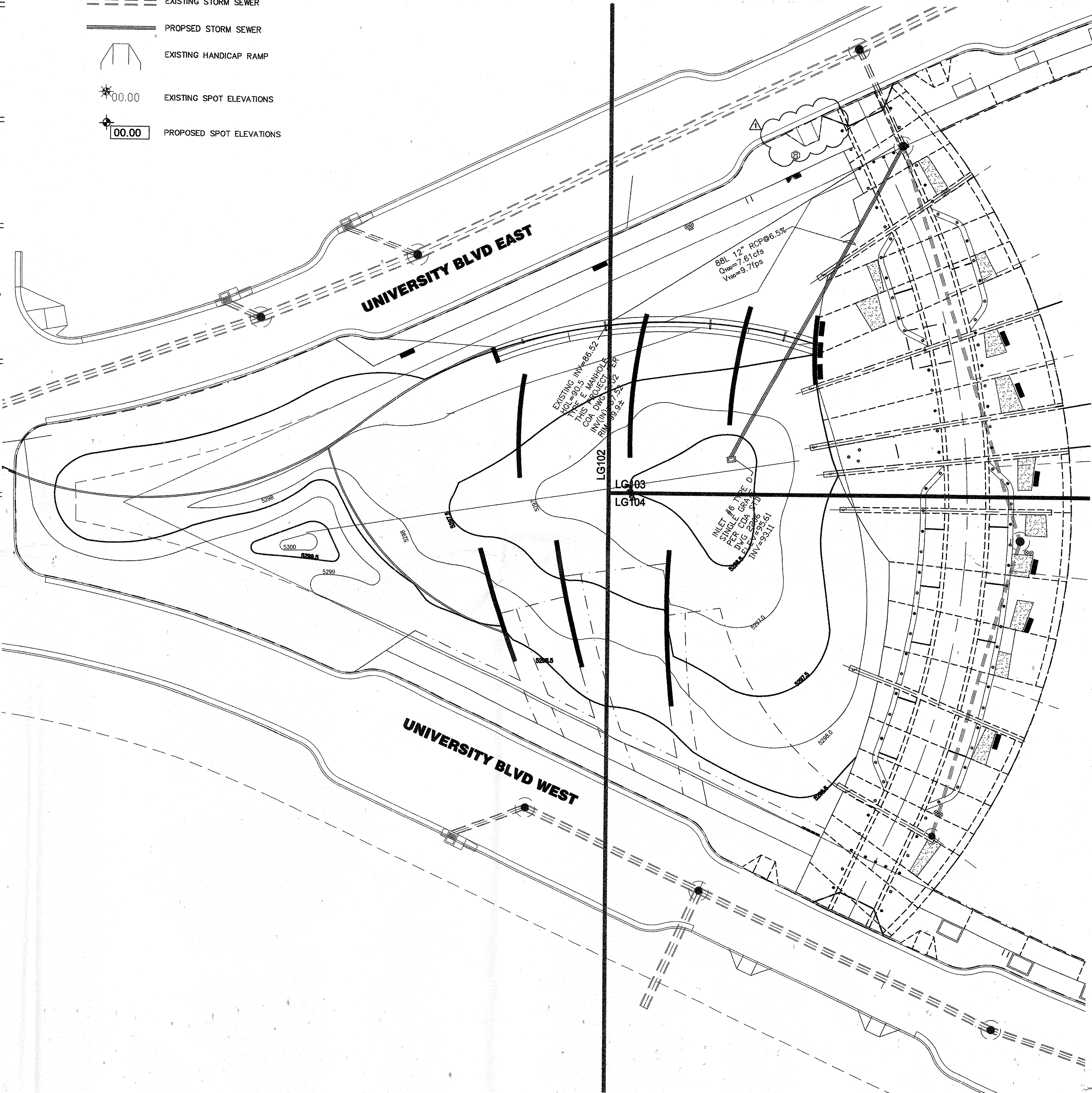
HYDRAULIC SUMMARY

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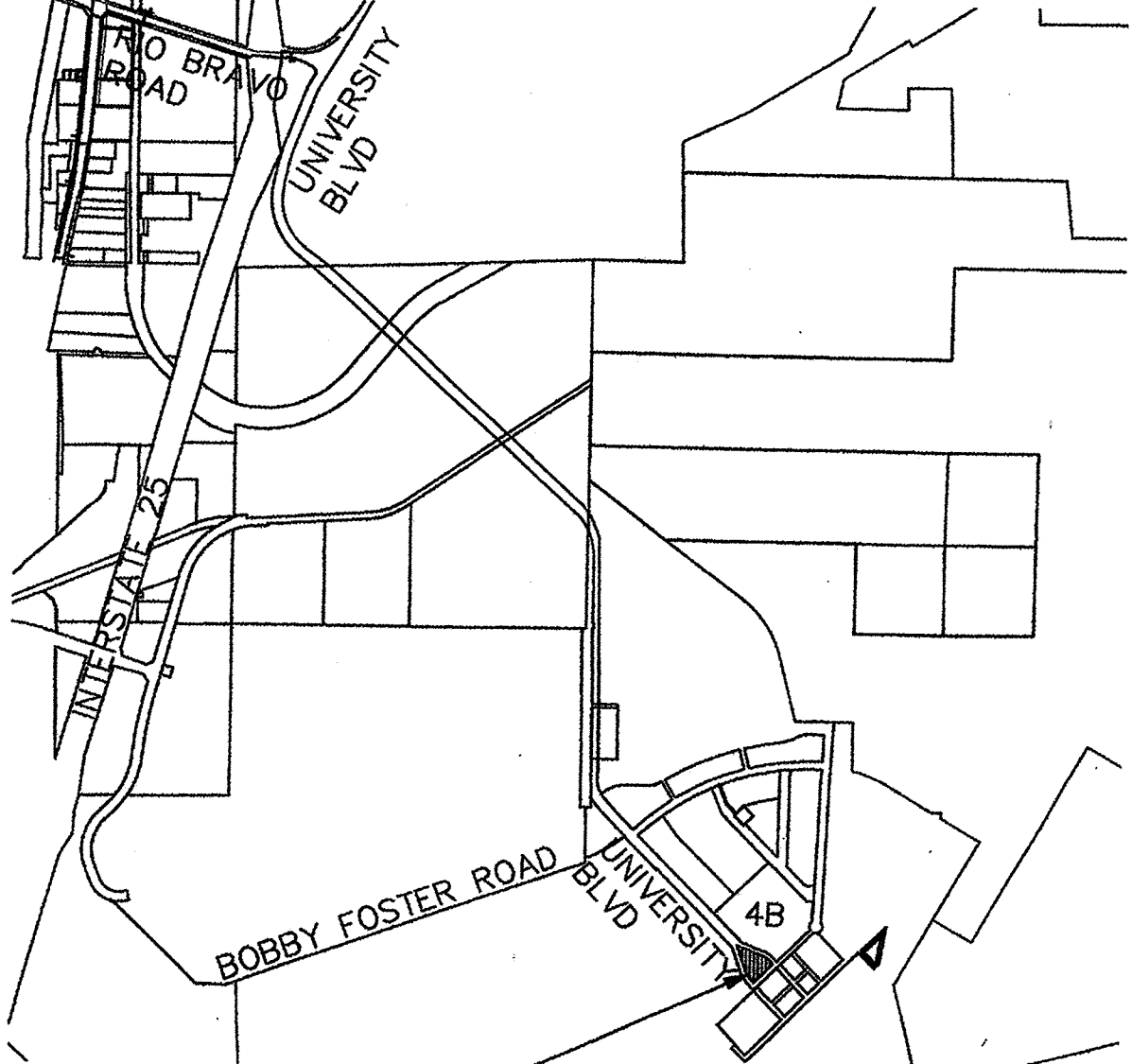
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NOTICE TO CONTRACTORS

- ALL WORK DETAILED THIS SHEET TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE No. 7, AMENDMENT #1. BOTH THE CONSTRUCTION SPECIFICATIONS FOR APPTURE PLAZA AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS APPLY AND WHERE THERE IS A CONFLICT BETWEEN THE TWO, THE COA SPECIFICATIONS SHALL APPLY.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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- DRIVE PADS SHALL BE PER DWG 2425 EXCEPT FLARES MODIFIED TO 8'@12:1 SLOPE.



801 University Blvd. SE, Suite 2
Albuquerque, NM
87106
Tel. 505 452 2600



PROJECT LOCATION
CITY ZONE ATLAS MAP #R-16

VICINITY MAP

1" = 2700'-0"

LEGAL DESCRIPTION

TRACK 23 OF THE BULK LAND PLAT FOR MESA DEL SOL INNOVATION PARK CONTAINING 3.3268 Ac. AS RECORDED 9/13/07, BOOK 2007C, Pg. 259.

EDAW | AECOM

1809 BLAKE STREET
SUITE 200
DENVER, COLORADO
80202
TEL 303 595 4522
FAX 303 595 4434
www.edaw.com

URS

ONE PARK SQUARE
6501 AMERICAS PARKWAY, NE
SUITE 900
ALBUQUERQUE, NM 87110
TEL (505) 855-7500
FAX (505) 855-7555

REV.	COMMENT	DATE
1	ADDENDUM #1	06/30/08
2	Roof Drain Added	6/10/09

SEAL:



DATE: MAY 29, 2008
JOB NO.:
DRAWN BY:
CHECKED BY:

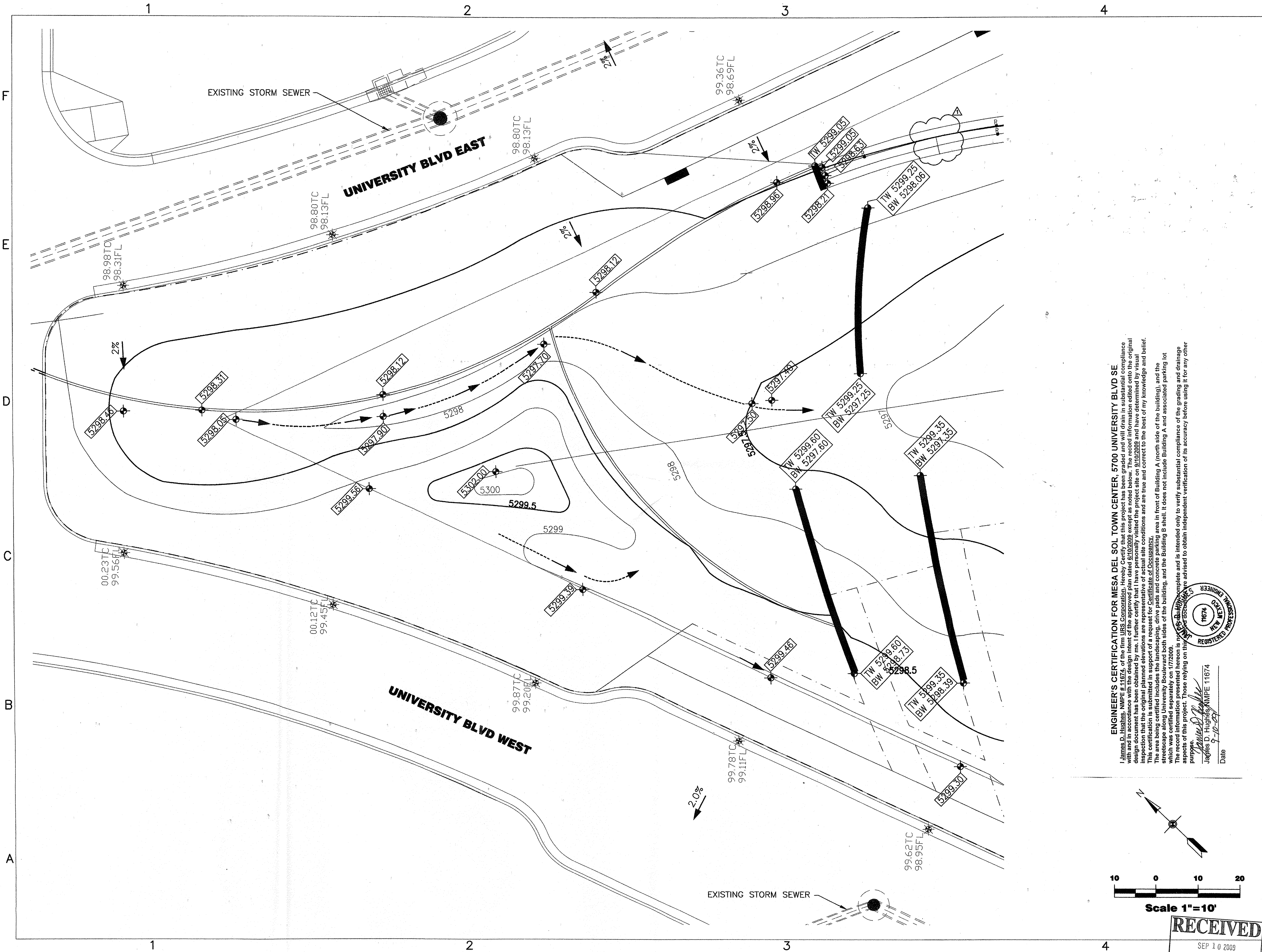
DRAWING TITLE:
GRADING
PLAN

SHEET NO.:

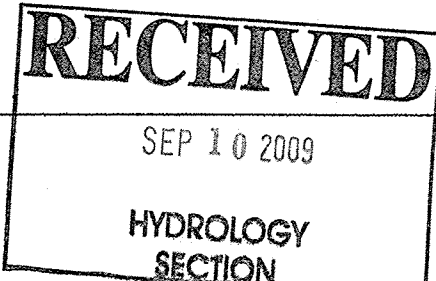
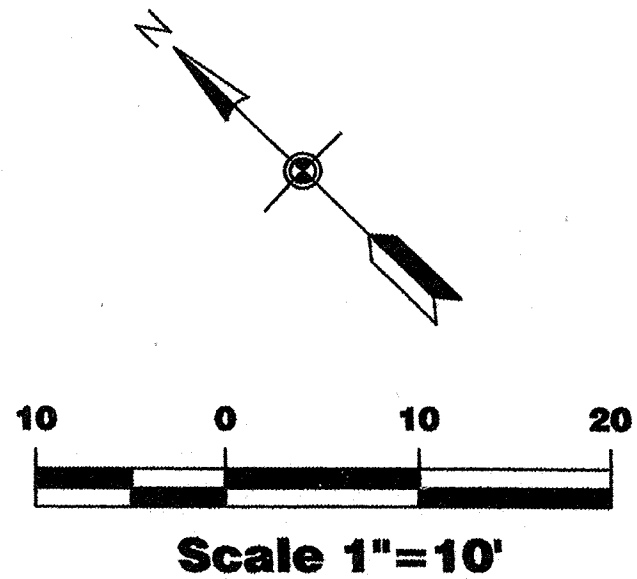
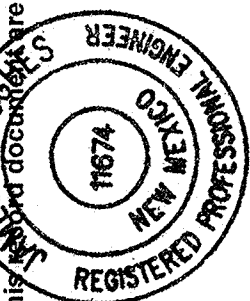
LG101

© EDAW INC. ALL RIGHTS RESERVED

24342665 P: 07 Drawings 07 06 Working EDAW Civic Center Plaza\EDAW LG-102.dwg PLOTTED: 6/26/08 - 1:06pm ed_krause



ENGINEER'S CERTIFICATION FOR MESA DEL SOL TOWN CENTER, 5700 UNIVERSITY BLVD SE
I, James D. Hughes, NIMPE # 11674, of the firm URS Corporation, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/10/2009 except as noted below. The record information edited onto the original design document has been obtained by me. I further certify that I have personally visited the project site on 9/10/2009 and have determined by visual inspection that the original planned elevations are representative of actual site conditions and are true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.
The area being certified includes the landscaping, drive piers and concrete parking area in front of Building A (north side of the building), and the area between the existing concrete parking area and the building, and the Building B shell. It does not include Building A and associated parking lot which was certified on 6/10/2009.
The record information presented herein is not to be used for any purpose other than that for which it was prepared. I am not responsible for any other aspects of this project. Those relying on this record information are advised to obtain independent verification of its accuracy before using it for any other purpose.
James D. Hughes
James D. Hughes, NIMPE 11674
Date 9-10-09



Mesa del Sol
801 University Blvd. SE, Suite 2
Albuquerque, NM
87106
Tel. 505 452 2600

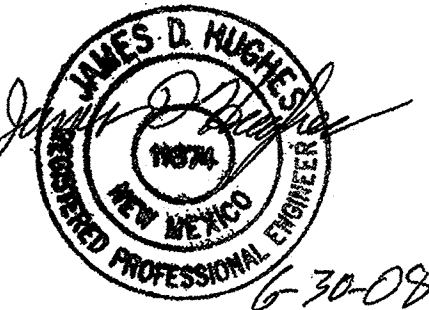
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SUITE 900
ALBUQUERQUE, NM 87110
TEL (505) 855-7500
FAX (505) 855-7555

REV.	COMMENT	DATE
1	ADDENDUM #1	06/30/08
2	Building B Drain Through Curb	06/10/09

SEAL:



DATE: MAY 29, 2008
JOB NO.:
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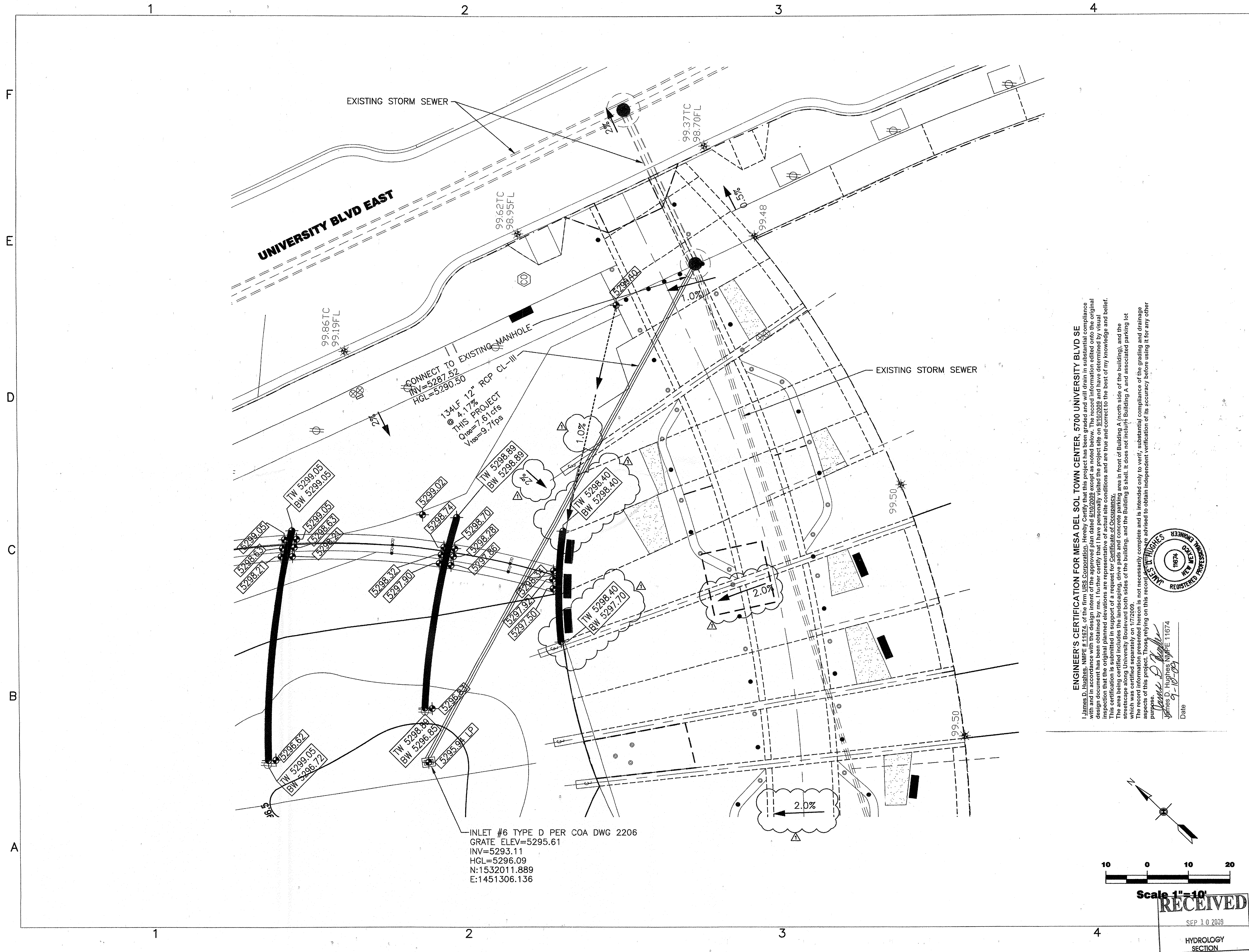
DRAWING TITLE:
**GRADING
PLAN**

SHEET NO.:

LG102

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ENGINEER'S CERTIFICATION FOR MESA DEL SOL TOWN CENTER, 5700 UNIVERSITY BLVD SE
I, James D. Hughes, N.M.P.E. #11674, of the firm URS Corporation, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/10/2009 except as noted below. The record information edited onto the original drawing is the property of URS Corporation and is not to be reproduced or used for any other project without the written consent of URS Corporation. This certification is submitted in support of a request for Certificate of Occupancy. The area being certified includes the landscaping, drive pads and concrete parking area in front of Building A (north side of the building), and the streetscape along University Boulevard both sides of the building, and the Building B shell. It does not include Building A and associated parking lot which was certified separately on 1/7/2009. The record information presented herein is not necessarily complete and is intended only to verify, substantial compliance of the grading and drainage of this project. Those relying on this record information are advised to obtain independent verification of its accuracy before using it for any other purpose.
James D. Hughes
James D. Hughes N.M.P.E. #11674
Date 9-10-09

REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
11674

Mesa del Sol
801 University Blvd. SE, Suite 2
Albuquerque, NM
87106
Tel. 505 452 2600

EDAW | AECOM
1809 BLAKE STREET
SUITE 200
DENVER, COLORADO
80202
TEL 303 595 4522
FAX 303 595 4434
www.edaw.com
URS
ONE PARK SQUARE
6501 AMERICAS PARKWAY, NE
SUITE 900
ALBUQUERQUE, NM 87110
TEL (505) 855-7500
FAX (505) 855-7555

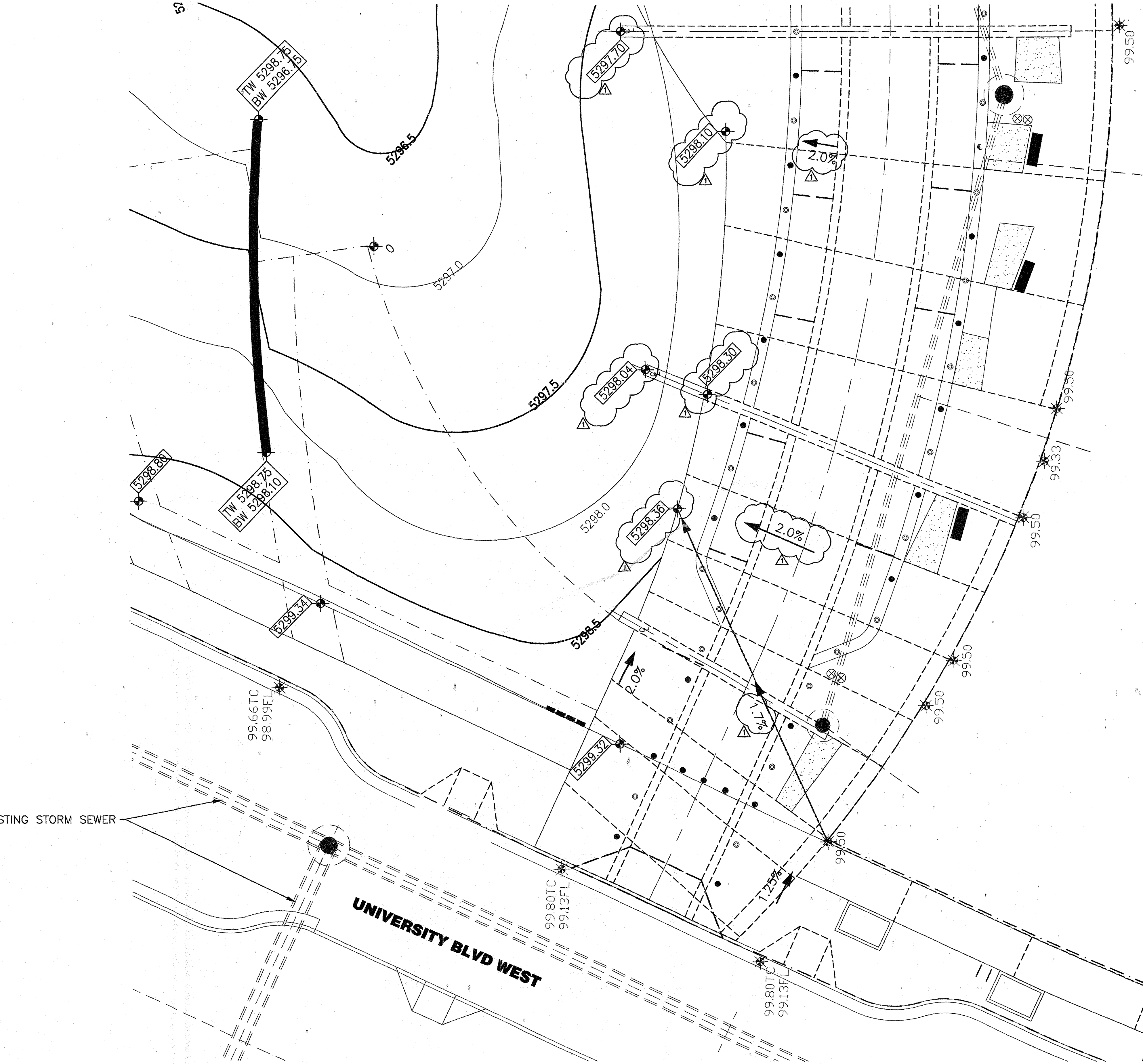
REV.	COMMENT	DATE
1	ADDENDUM #1	06/30/08
2	Building B Restroom Through Curb Added	06/10/09

SEAL:
JAMES D. HUGHES
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
11674
6-30-08

DATE: MAY 29, 2008
JOB NO.:
DRAWN BY:
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DRAWING TITLE:
GRADING PLAN
SHEET NO.:
LG103
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F
E
D
C
B
A



Scale 1"=10'

10 0 10 20

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HYDROLOGY SECTION

ENGINEER'S CERTIFICATION FOR MESA DEL SOL TOWN CENTER, 5700 UNIVERSITY BLVD SE

I, James D. Hughes, NMPE #11674, of the firm URS Corporation, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6/10/2009 except as noted below. The record information edited onto the original design document has been obtained by me. I further certify that I have personally visited the project site on 9/10/2009 and have determined by visual inspection that the original planned elevations are representative of actual site conditions and are true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The area being certified includes the landscaping, drive piers and concrete parking area in front of Building A (north side of the building), and the streetscape area including the sidewalks, drive piers and concrete parking area in front of Building B (south side of the building), and the streetscape area including the sidewalks, drive piers and concrete parking area in front of Building C (south side of the building).

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

James D. Hughes
James D. Hughes, NMPE #11674
Date 9-10-09



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SUITE 200
DENVER, COLORADO 80202
TEL 303 595 4522
FAX 303 595 4434
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ONE PARK SQUARE
6501 AMERICAS PARKWAY, NE
SUITE 900
ALBUQUERQUE, NM 87110
TEL (505) 855-7500
FAX (505) 855-7555

REV.	COMMENT	DATE
1	ADDENDUM #1	06/30/08
2	Building B, Roof Drain Through Curb Added	06/10/09

SEAL:

James D. Hughes
James D. Hughes, NMPE #11674
Date 6-30-08

DATE: MAY 29, 2008

JOB NO.:

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