

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 18, 2025

Stephen Dunbar, AIA  
Modulus Architects, Inc.  
8220 San Pedro Dr. NE  
Albuquerque, NM 87113

**Re: Netflix Studios/ Vender Support BLDG 2**  
**5650 University Blvd SE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 10-28-22 (R16-DA3006A)  
Certification dated 01-14-2025

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 01-15-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per site visit there were parking spaces along the north side of Vender 2. Please show these parking spaces on the site plan, as it must accurately reflect existing site conditions.

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Once the As-built is completed, email it to [malnajjar@cabq.gov](mailto:malnajjar@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services





**Planning Department – Transportation & Hydrology**

City of Albuquerque  
600 2<sup>nd</sup> Street NW, Suite 201  
Albuquerque, NM 87102  
925.965.4475

January 14, 2025

**RE: Traffic Certification for Vendor Support Bldg, within Albuquerque Studios.**

To whom it may concern,

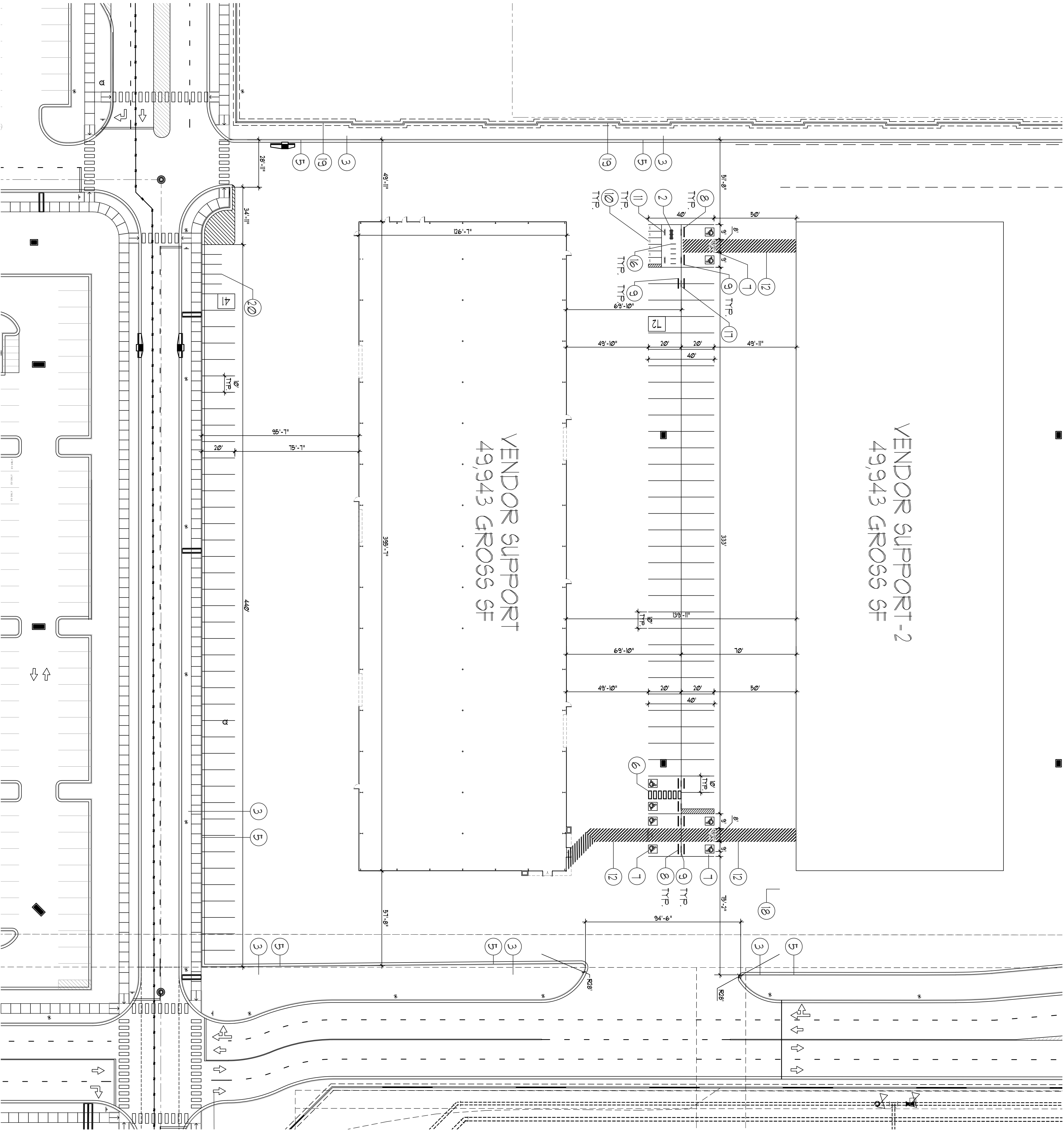
I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance and in accordance with the design intent of the Architectural Site Plan (PR-2023-008842), dated 10/6/2023. I further certify that I, personally visited the site on 1/08/2025 and has determined by visual inspection that the improvements installed to date are representative of actual site conditions with minor modification and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy, as indicated within the attached approval document.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

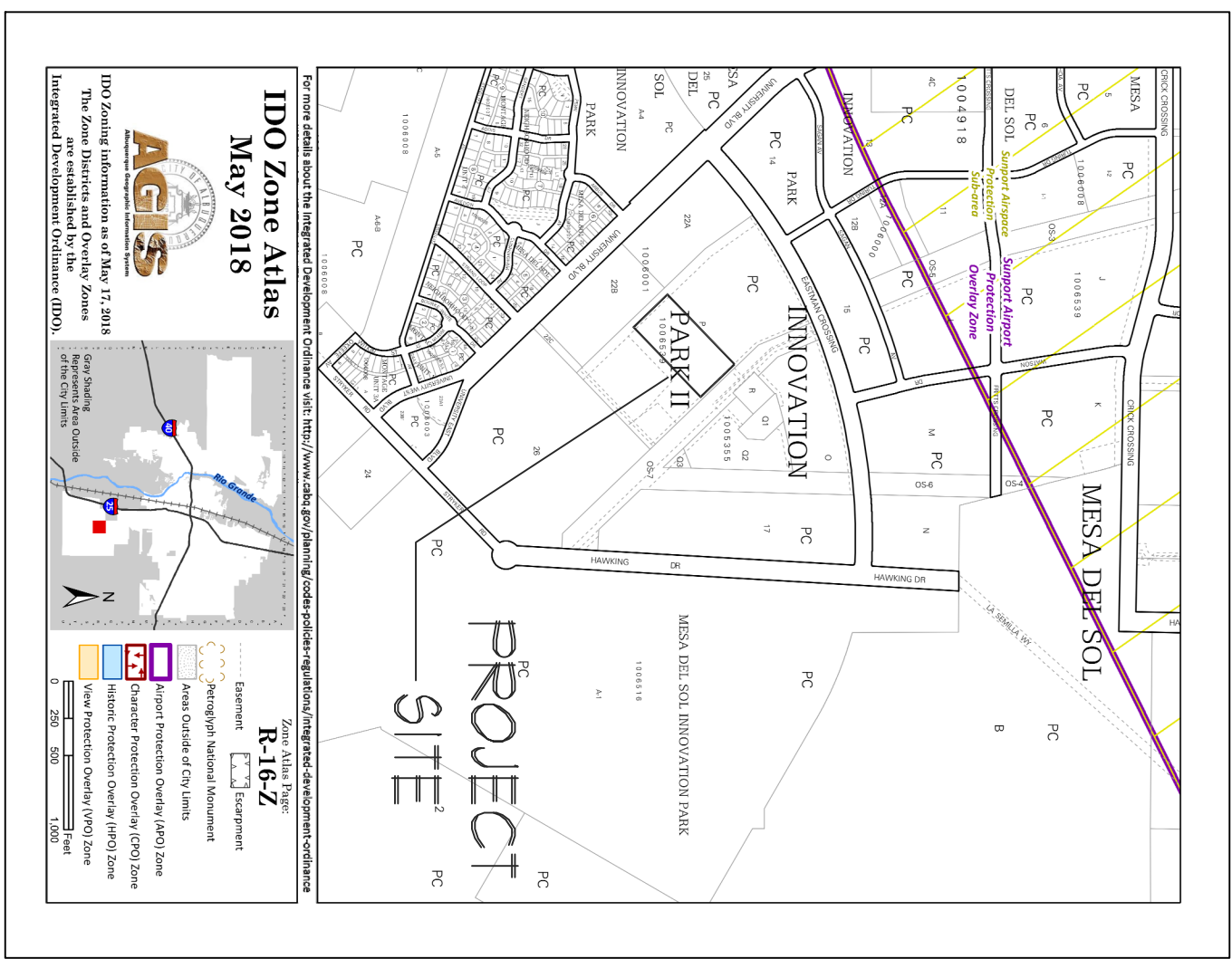
*Stephen A. Dunbar*  
Stephen Dunbar, AIA  
Principal in Charge  
**Modulus Architects, Inc.**  
8220 San Pedro Dr. NE, Suite 520  
Albuquerque, NM 87113  
(O) 505.338.1499





VENDOR SUPPORT-2  
49,943 GROSS SF

VENDOR SUPPORT  
49,943 GROSS SF



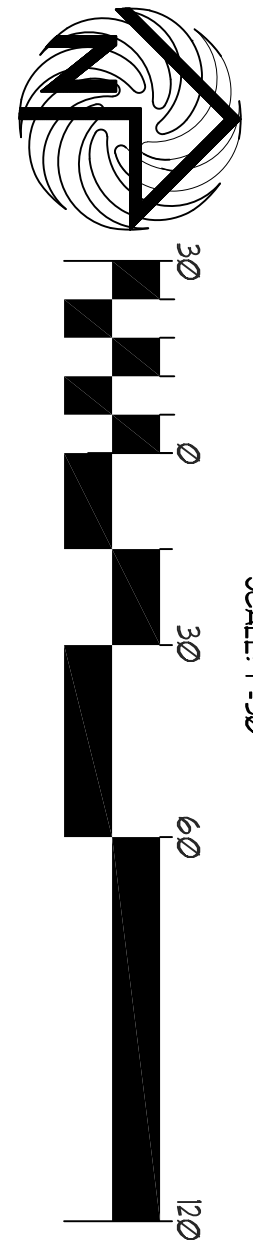
VICINITY MAP

SITE DATA TABLE		STORAGE
PROPOSED USES:		STORAGE USES
BUILDING SIZE:		49,943 SF
TOTAL PARKING REQ: 9 PLACES/2,000 SQ FT GFA		17 SPACES
TOTAL PARKING PROVIDED:		103 SPACES
HC PROVIDED:		6 SPACES
BIKE REQUIRED:		5 SPACES
BIKE SPACES PROVIDED:		2 SPACES
MOTORCYCLE SPACES PROVIDED:		1 SPACES
MOTORCYCLE SPACES REQUIRED:		1 SPACES

KEYED NOTE:

- INDICATES BIKE RACK LOCATION (3 BIKE CAPACITY)  
RE: DETAIL G4/I2
- BENCH LOCATION RE: DETAIL G4/5
- INDICATES LANDSCAPE PLANTING AREA
- DRIVE AISLE PAINT DETAIL RE: DET G4/1
- 6" HIGH CONC. ISLAND CURB  
RE: SITE GRADING PLAN FOR INFO
- HC PARKING STALL RE: DETAIL G4/3
- HC PARKING STALL RE: DETAIL G4/3
- WHEELSTOP RE: DETAIL G4/4
- HANDICAP SIGNAGE RE: DETAIL G4/I0
- INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
RE: SITE PLAN FOR LOCATIONS RE: DETAIL G4/I6
- MOTORCYCLE SIGNAGE RE: DETAIL G4/I/A
- PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN  
ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
- EXISTING CONCRETE SIDE WALK TO REMAIN
- INDICATES CLEAR SIGHT TRIANGLE:  
NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS,  
TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS REQUIRED  
VERTICALLY FROM ADJACENT GUTTER/PAV
- BOLLARD PAINTED SAFETY YELLOW  
RE: DETAIL G5/3
- STOP SIGN RE: DETAIL G4/3
- BIKE RACK 5 HOOPS REQ. : DETAIL G4/3
- EV CHARGING STATION (TWO PROVIDED)
- INDICATES EDGE OF PAVEMENT FOR CONSTRUCTION PHASE
- EXISTING SCREEN WALL BY OTHERS
- GOLF CART PARKING-CHARGING STATION (5 STALLS PROVIDED)

SITE PLAN FOR BUILDING PERMIT



DATE: 03/25/2024

SCALE: AS SHOWN

REV. SCALE

PROJECT TITLE: NETFLIX VENDOR SUPPORT

5650 UNIVERSITY BLVD. SE  
ALBUQUERQUE, NEW MEXICO 87106

PROJECT MANAGER: STEPHEN DUNBAR, AIA

JOB NO. NET-1

DRAWN BY: S

SHEET TITLE: SITE PLAN

STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
STEPHEN DUNBAR  
No. 4218

MODULUS ARCHITECTS  
AND LAND USE PLANNING

8220 SAN PEDRO DR. N.E. SUITE 520  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

REV	DATE	BY	REVISION
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