

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 14, 2023

Jeremy Shelton, RA
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM

Re: Netflix Studios
5650 University Blvd SE- Mill-1
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-29-22 (R16-DA3006AA)
Certification dated 11-11-23

Dear Mr. Shelton,

Based upon the information provided in your submittal received 11-13-23, Transportation Development has no objection to a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Albuquerque

Sincerely,

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Alyssa Covarrubias-Powell, Laurie Elliot, Yvette Lucero

November 10, 2023

Transportation Inspector
City of Albuquerque
RE: Traffic Certification for Certificate of Occupancy Netflix Studios Expansion

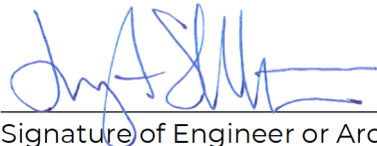
DEKKER
PERICH
SABATINI
Architecture
in Progress

To Whom It May Concern:

TRAFFIC CERTIFICATION

I, JEREMY SHELTON, NMRA NUMBER 4187, OF THE FIRM DEKKER PERICH SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED PR-2023-008842 AUGUST 15, 2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROLAND DELYSER OF THE FIRM DEKKER PERICH SABATINI. I FURTHER CERTIFY THAT MY DESIGNEE ROLAN DELYSER PERSONALLY VISITED THE PROJECT SITE, ON MY BEHALF, ON NOVEMBER 10, 2023 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



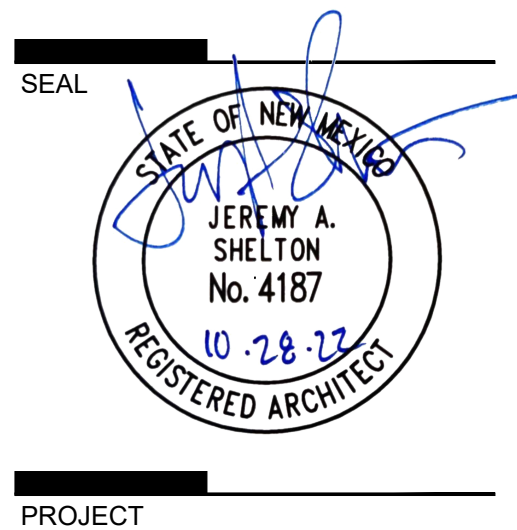
Signature of Engineer or Architect

Jeremy Shelton, AIA, CSI, LEED AP
Studio Leader / Principal
Dekker Perich Sabatini



November 11, 2023

Date



ALBUQUERQUE STUDIOS SITE
DEVELOPMENT PACKAGE

SITE
DEVELOPMENT
PLAN SET

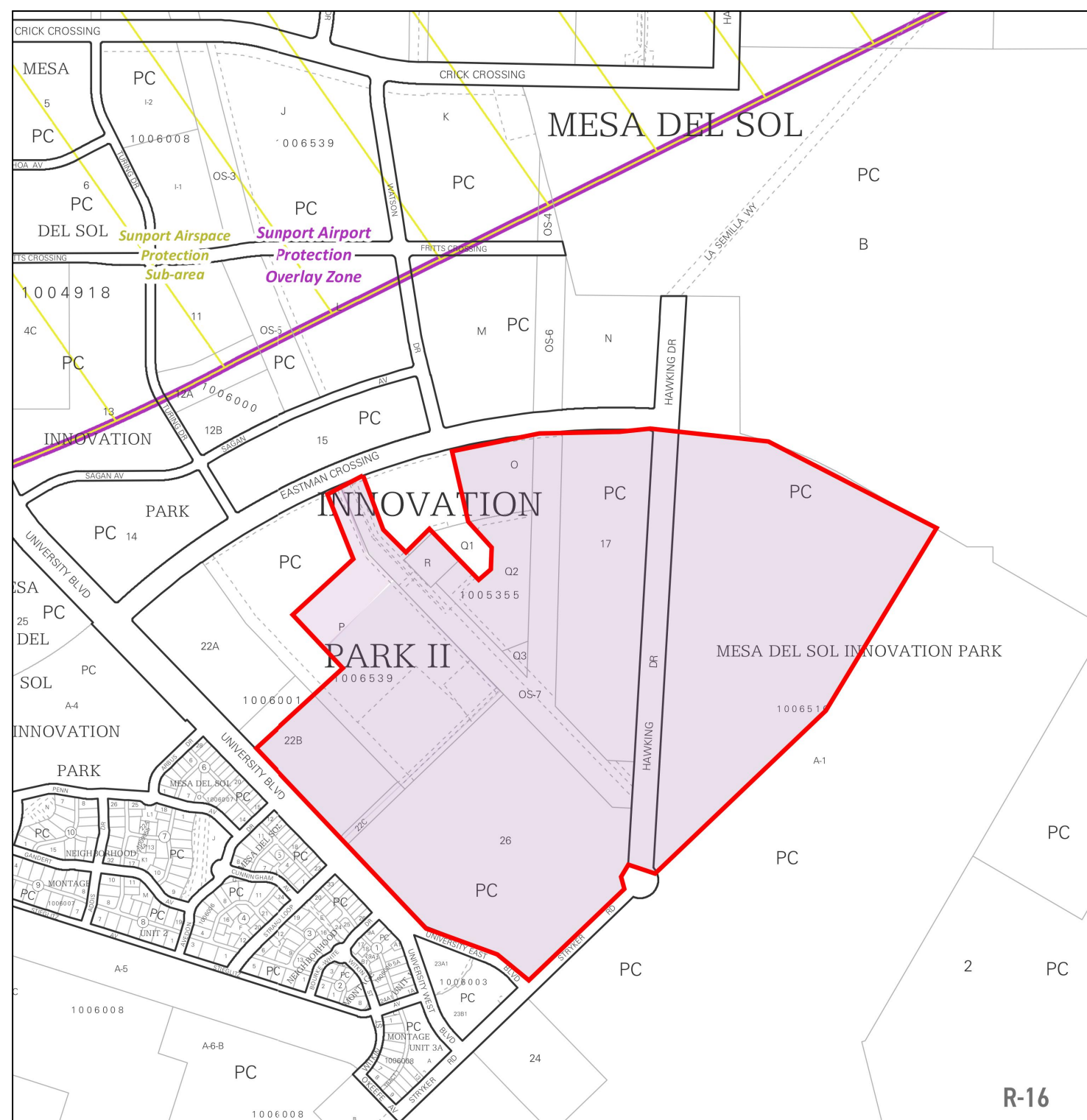
NOT FOR
CONSTRUCTION

08/15/2023
20-0072.008



LOCATION MAP

N.T.S.
SITE ADDRESS: 5650 UNIVERSITY BLVD SE
ALBUQUERQUE, NM 87106



ZONE ATLAS MAP

N.T.S.

SHEET INDEX

AS100A	OVERALL SITE PLAN: FULL BUILDOUT
AS100B	OVERALL SITE DATA
AS100C	OVERALL SITE PLAN: ANNOTATED CHANGES
FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE M1S.4	
AS100	OVERALL SITE PLAN
AS101	SITE PLAN
AS102	SITE PLAN
AS103	SITE PLAN
AS104	SITE PLAN
AS105	SITE PLAN
AS106	SITE PLAN
AS107	SITE PLAN
AS108	SITE PLAN
AS109	SITE PLAN
AS110	SITE PLAN
AS111	SITE PLAN
AS112	SITE PLAN
AS113	SITE PLAN
AS114	SITE PLAN
AS115	SITE PLAN
AS116	SITE PLAN
AS117	SITE PLAN
AS118	SITE PLAN
AS119	SITE PLAN
AS401	SITE PLAN ENLARGEMENTS
AS402	SITE PLAN ENLARGEMENTS
AS403	SITE PLAN ENLARGEMENTS
AS404	SITE PLAN ENLARGEMENTS
AS501	SITE DETAILS
AS502	SITE DETAILS
C100	OVERALL GRADING PLAN
C101	GRADING PLAN
C102	GRADING PLAN
C103	GRADING PLAN
C104	GRADING PLAN
C105	GRADING PLAN
C106	GRADING PLAN
C107	GRADING PLAN
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C114	GRADING PLAN
C115	GRADING PLAN
C116	GRADING PLAN
C117	GRADING PLAN
C118	GRADING PLAN
C119	GRADING DETAILS
C200	OVERALL UTILITY PLAN
C201	UTILITY PLAN
C202	UTILITY PLAN
C203	UTILITY PLAN
C204	UTILITY PLAN
C205	UTILITY PLAN
C206	UTILITY PLAN
C207	UTILITY PLAN
C208	UTILITY PLAN
C209	UTILITY PLAN
C210	UTILITY PLAN

C211	UTILITY PLAN
C212	UTILITY PLAN
C213	UTILITY PLAN
C214	UTILITY PLAN
C215	UTILITY PLAN
C216	UTILITY PLAN
C217	UTILITY PLAN
C218	UTILITY DETAILS
C219	LIFT STATION #1
C220	LIFT STATION #2
FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE SW.4	
AS100	OVERALL SITE PLAN
AS101	LAYOUT PLAN
AS102	LAYOUT PLAN
AS103	LAYOUT PLAN
AS104	LAYOUT PLAN
AS105	LAYOUT PLAN
AS106	LAYOUT PLAN
AS107	LAYOUT PLAN
AS108	LAYOUT PLAN
AS109	LAYOUT PLAN
AS110	LAYOUT PLAN
AS111	LAYOUT PLAN
AS501	SITE DETAILS

PROJECT NUMBER: PR-2021-005573

Application Number: SI-2023-01484

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

PROJECT TEAM

OWNER

NETFLIX STUDIOS, LLC
5808 W. SUNSET BLVD
LOS ANGELES, CA 80028

LANDSCAPE ARCHITECT/ARCHITECT/STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL ENGINEER

BOHANNAN HUSTON
7500 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 800.877.5332

ELECTRICAL ENGINEER

BRIDGERS & PAXTON
4600 C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM, 87109
PHONE: 505.883.4111

ADMINISTRATIVE AMENDMENT

FILE #: SI-2023-01209

PROJECT #: PR-2023-008842

Alternative Landscape plan for the Albuquerque Studios Expansion; Action requests

to consolidate (2) previously approved site plans (north & east) into one, to comply

with ABCWUA's condition that both site plans be consolidated; Landscape areas

adjusted throughout site; Submittal meets IDO 14-16-5-6(C)(2)(a);

Submittal meets all criteria in IDO 14-16-5-6(C)(16); A buffer meeting the standards



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2023.10.06 10:57:11 -06'00'

10/6/2023

APPROVED BY

DATE

DEKKER
PERICH
SABATINI

PROJECT

ABQ Studios Expansion

5650 University Blvd SE
Albuquerque, NM 87106

SEAL

STATE OF NEW MEXICO
JEREMY A. SHELTON
No. 4187
10.28.12
REGISTERED ARCHITECT

REVISIONS

△
△
△
△
△
△
△
△

DRAWN BY JD
REVIEWED BY D/P/S
DATE 08/15/2023
PROJECT NO. 20-0072.008
DRAWING NAME

OVERALL SITE PLAN
FULL BUILDOUT

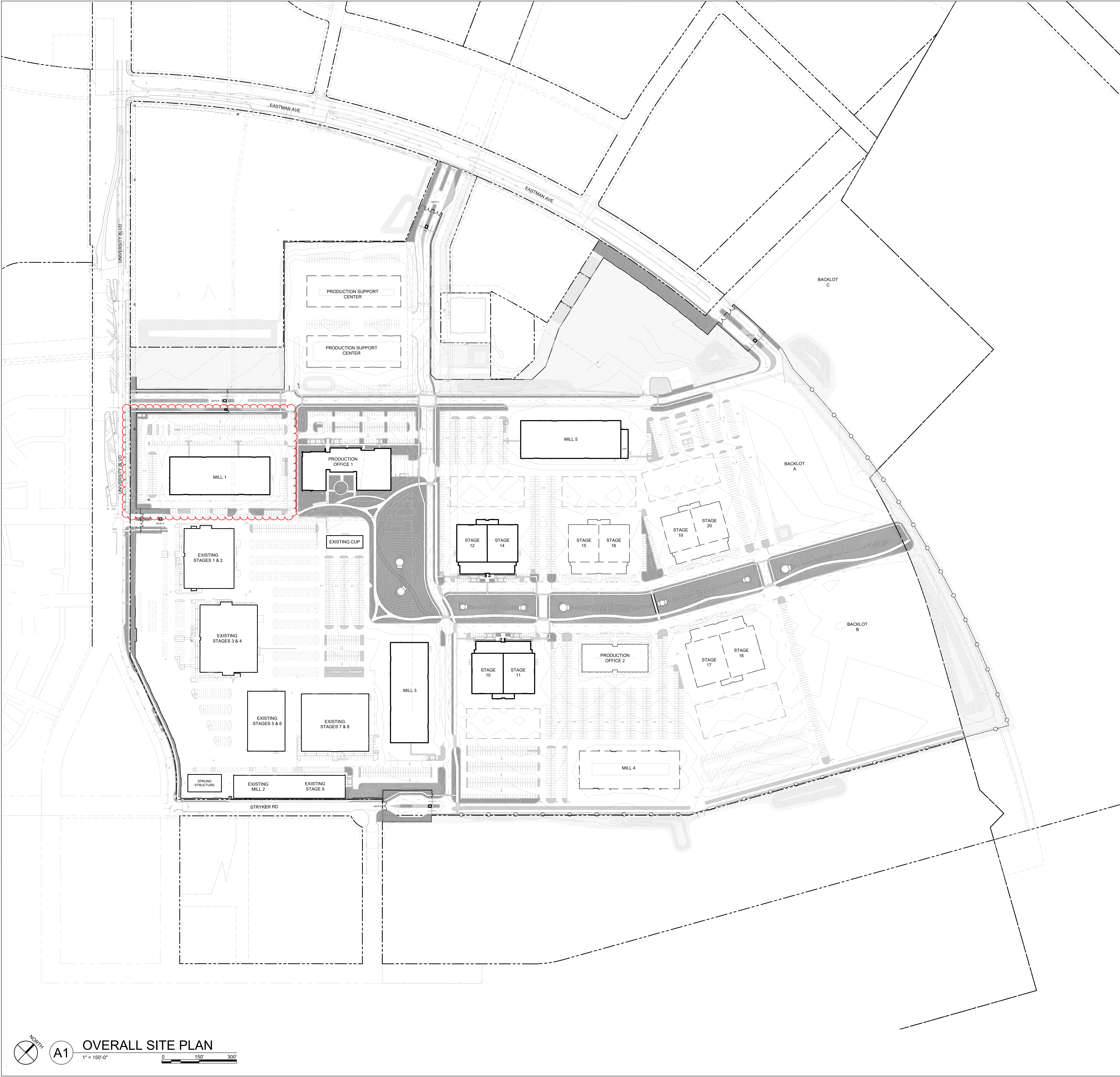
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AS100A

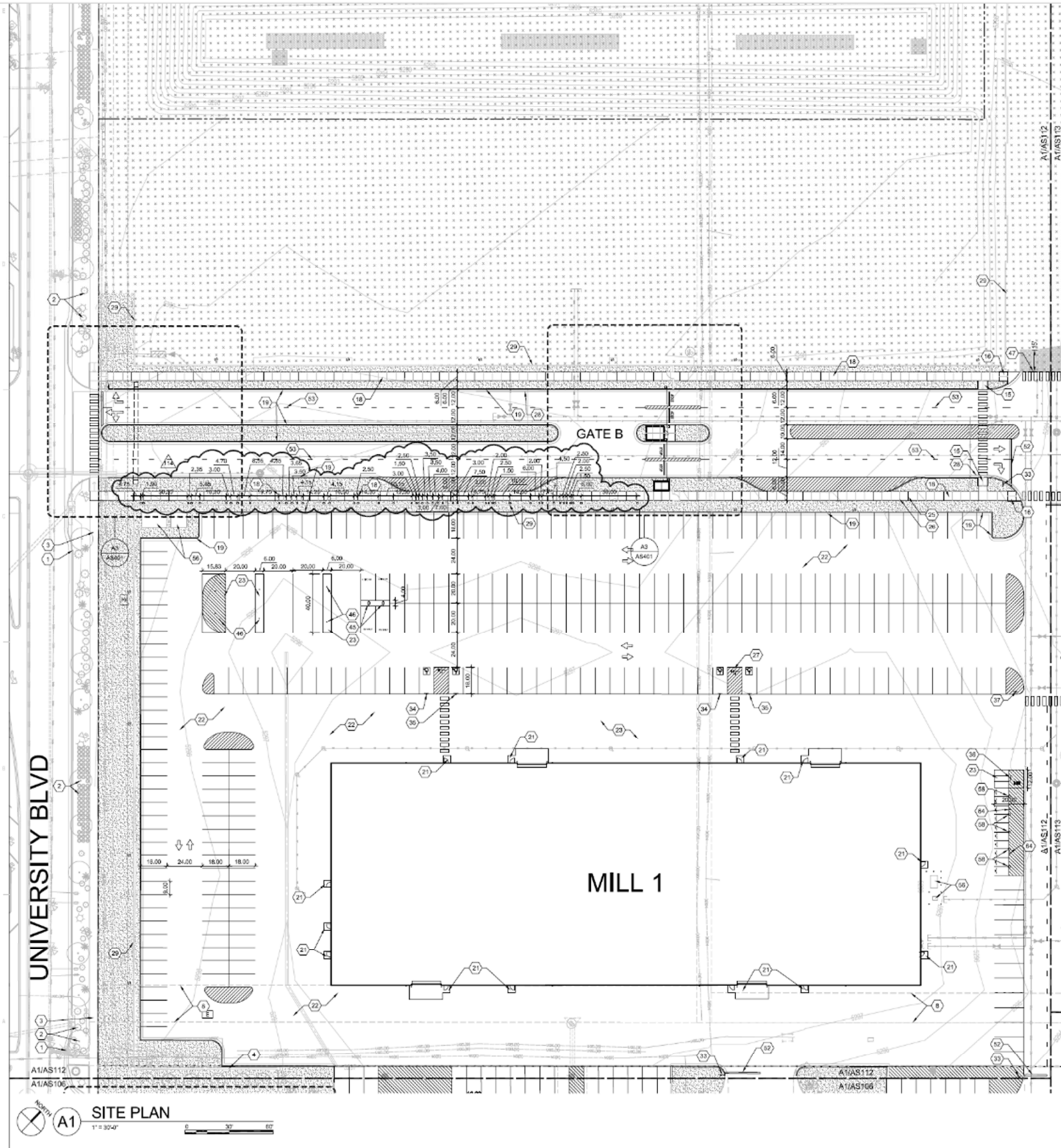
GENERAL SHEET NOTES

- A. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
B. REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
C. PAVING WORK OUTSIDE OF PROPERTY LINE BOUNDARY TO FOLLOW SEPARATE PUBLIC WORK ORDER PER CITY OF ALBUQUERQUE.
D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E. CURBS AND ACCESSIBLE RAMPS IN PUBLIC RIGHT OF WAY WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-6-8 OUTDOOR LIGHTING.
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. LANDSCAPE AND SIGNAGE IN PUBLIC RIGHT OF WAY WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
I. PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS/INFRASTRUCTURE LIST.

LEGEND

- PROPERTY LINE
- - - LEVEL B BOUNDARY
LANDSCAPE AREA, SEE LANDSCAPE
STABILIZATION AREA: GRAVEL, BASE COURSE OR NON-IRRIGATED SEED





SHEET KEYNOTES

NOT ALL NOTES APPEAR ON THIS SHEET

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING LANDSCAPE TO REMAIN, SEE DEMOLITION PLAN AND TREE AND PLANT PROTECTION SPECIFICATION
3	EXISTING SIDEWALK
4	EXISTING WALL
5	EXISTING CONCRETE RAMP
6	EXISTING ASPHALT
7	EXISTING STORM DRAIN
8	EASEMENT, SEE CIVIL
9	EXISTING GUMBO BOOTH
10	EXISTING ELECTRICAL EQUIPMENT
11	EXISTING BOLLARD
12	BUILDING OVERHANG, SEE ARCHITECTURAL
13	CONCRETE BUILDING APRON, 10" DEPTH, SEE A1AS01
14	CONCRETE BUILDING APRON, 10" DEPTH, SEE A1AS01
15	CONCRETE ACCESSIBLE RAMP - A, SEE B1AS01
16	CONCRETE ACCESSIBLE RAMP - B, SEE B1AS01
17	CONCRETE ACCESSIBLE RAMP - C, SEE B1AS01
18	CONCRETE SIDEWALK, SEE A1AS01
19	CONCRETE CURB, SEE CIVIL FOR TYPE
20	PAVING WITHIN RIGHT-OF-WAY PART OF A SEPARATE PUBLIC WORK ORDER
21	CONCRETE PAD AT DOCK, SEE CIVIL FOR DETAIL AND ARCHITECTURAL FOR DIMENSIONS
22	ASPHALT PAVING, SEE CIVIL
23	REINFORCED CONCRETE, SEE CIVIL
24	ASPHALT TRAIL, SEE CIVIL
25	CONCRETE JOINT: EXPANSION, SEE A1AS01
26	CONCRETE JOINT: CONTROL, SEE A1AS01
27	CONCRETE MOV CURB, SEE B1AS01
28	FIRE LANE STRIPING, SEE C1AS01
29	PERIMETER WALL, SEE SW-4 PACKAGE
30	ENERGY DISSIPATOR, SEE C1AS02
31	COMPACTOR ENCLOSURE, SEE A1AS02
32	NOT USED
33	SITE SIGNAGE: STOP SIGN, SEE D1AS01
34	SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1AS01
35	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1AS01
36	SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1AS01
37	SITE SIGNAGE: YIELD TO PEDESTRIANS, SEE D1AS01
38	SITE SIGNAGE: EXPECTING MOTHERS ONLY, SEE D1AS01
39	SITE SIGNAGE: DROP OFF & PICK UP ONLY, SEE D1AS01
40	SITE SIGNAGE: POLE CONTRACTOR FURNISHED/INSTALLED, SIGN OWNER FURNISHED/INSTALLED, SEE D1AS01
41	OVERHEAD GATE ELEMENT, SEE SW-4 PACKAGE
42	PEDESTRIAN BRIDGE, DESIGN TBD
43	GUARD BOOTH FOUNDATION, SEE D1AS01
44	EV CHARGING STATION: COMMUTER, SEE E1AS02 AND ELECTRICAL
45	EV CHARGING STATION: FLEET, SEE E1AS02 AND ELECTRICAL
46	PPE BOLLARD, SEE B1AS02
47	EDGE OF NEW ASPHALT PAVING, SEE CIVIL
48	PEDESTRIAN GATE, SEE SW-4 PACKAGE
49	MAINTENANCE ACCESS, SEE LANDSCAPE
50	TRASH COMPACTOR 30 CY, SEE SPECIFICATIONS
51	ASPHALT MARKINGS: PARKING STRIPING, SEE C1AS01
52	ASPHALT MARKINGS: STOP BAR, SEE C1AS01
53	ASPHALT MARKINGS: CENTERLINE, SEE C1AS01
54	ASPHALT MARKINGS: NO PASSING CENTERLINE, SEE C1AS01
55	ASPHALT MARKINGS: LANE STRIPING, SEE C1AS01
56	ELECTRICAL EQUIPMENT WITH PROTECTIVE BOLLARDS WHERE SHOWN, SEE ELECTRICAL
57	FLUSH CONCRETE SIDEWALK, SEE A1AS01
58	CONCRETE PESTAL WITH ELECTRICAL CONDUIT, SEE C1AS02 AND ELECTRICAL
59	PROOF FREE HYDRANT, SEE C1AS02
60	FENCE WITH SCREEN, SEE SW-4 PACKAGE
61	GUARD BOOTH, SEE SPECIFICATIONS AND D1AS01
62	GUARD ARM GATE, DESIGN TBD
63	GATE, SEE SW-4 PACKAGE
64	SITE SIGNAGE: GOLF CART PARKING ONLY, SEE D1AS01
65	SITE SIGNAGE: TRAIL ENDS, SEE D1AS01

LEGEND

	STABILIZED CRUSHER FINES, SEE SPECS
	LANDSCAPE AREA, SEE LANDSCAPE
	STABILIZATION AREA, ROCK MULCH BASE COURSE OR SEEDING, SEE CIVIL AND SPECS
	INTEGRALLY COLORED CONCRETE WITH SALT FINISH, COLOR TBD, SEE SPECS
	MATCH LINE
	PROPERTY LINE
	LEVEL B BOUNDARY
	LIGHT POLE WITH CONCRETE BASE, SEE ELECTRICAL AND E1AS02
	LIGHT POLE FLUSH, SEE ELECTRICAL AND E1AS02
SITE FURNISHING (SEE SPECS)	
	LITTER RECEPTACLE (30 TOTAL) TBD
	BICYCLE RACK (15 TOTAL), MAGLIN MBH-030-0002, COLOR: GUNMETAL, INSTALL ON CONCRETE PAD, SEE B1AS01
	BENCH (7 TOTAL), VICTOR STANLEY RB-28, 6' LONG, COLOR: TBD
ASPHALT MARKINGS	
	TRAFFIC CONTROL STRIPING, SEE C1AS01
	ACCESSIBLE PARKING SYMBOL, SEE C1AS01
	WHITE LETTERING (GREEN FOR EV ONLY), 1'-0" HEIGHT
	PAINTED TEXT, 2'-0" HEIGHT FOR STOP LETTERING
	DIRECTIONAL ARROW, SEE C1AS01
	CROSSWALK, SEE D1AS01

KEYPLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	06/13/2022	AS112
2	06/13/2022	AS112
3	06/13/2022	AS112
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FOUNDATION FOR PERMIT

DRAWN BY	
REVIEWED BY	
DATE	06/13/2022
PROJECT NO.	20-0072.008
DRAWING NAME	SITE PLAN
SHEET NO.	AS112