

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 29, 2024

Jeremy A. Shelton, R.A
Dekker Perich Sabatini
7601 Jefferson St. NE
Albuquerque, NM 87109

Re: Netflix Studios/ Mill5/ 5650 Universty Blvd. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-09-22 (R16-DA3006AA)
Certification dated 03-22-24

Dear Mr. Shelton,

Based upon the information provided in your submittal received 03-25-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

March 22, 2024

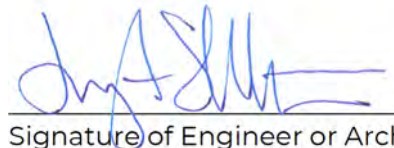
Transportation Inspector
City of Albuquerque
RE: Traffic Certification for Certificate of Occupancy Netflix Studios Expansion

To Whom It May Concern:

TRAFFIC CERTIFICATION

I, JEREMY SHELTON, NMRA NUMBER 4187, OF THE FIRM DEKKER PERICH SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED PR-2023-008842 AUGUST 15, 2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROLAND DELYSER OF THE FIRM DEKKER PERICH SABATINI. I FURTHER CERTIFY THAT MY DESIGNEE ROLAN DELYSER PERSONALLY VISITED THE PROJECT SITE, ON MY BEHALF, ON MARCH 21, 2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



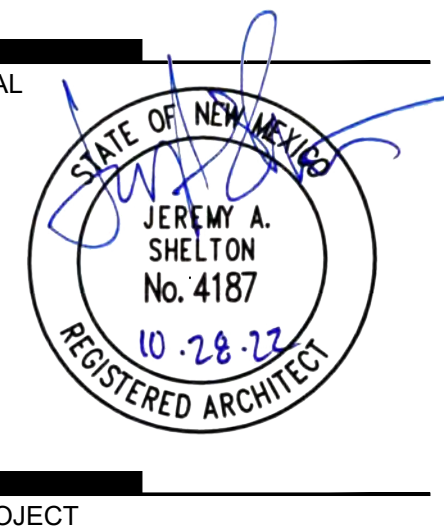
Signature of Engineer or Architect

Jeremy Shelton, AIA, CSI, LEED AP
Studio Leader / Principal
Dekker Perich Sabatini



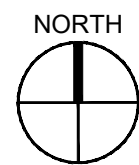
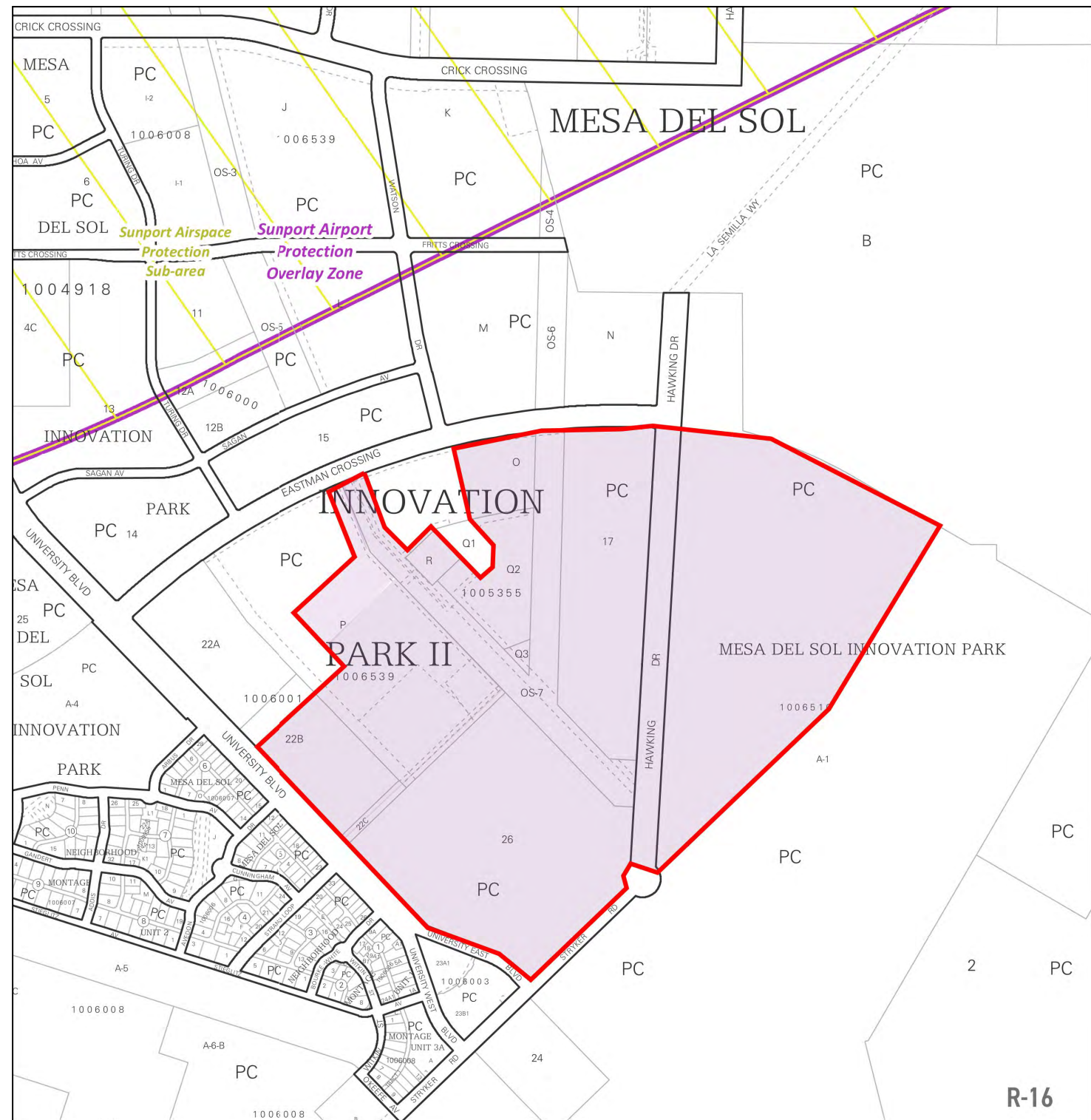
March 22, 2024

Date



LOCATION MAP

N.T.S.
SITE ADDRESS: 5650 UNIVERSITY BLVD SE
ALBUQUERQUE, NM 87106



ZONE ATLAS MAP

N.T.S.

SHEET INDEX

AS100A	OVERALL SITE PLAN: FULL BUILDOUT	C211	UTILITY PLAN
AS100B	OVERALL SITE DATA	C212	UTILITY PLAN
AS100C	OVERALL SITE PLAN: ANNOTATED CHANGES	C213	UTILITY PLAN
FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE M1S.4		C214	UTILITY PLAN
AS100	OVERALL SITE PLAN	C215	UTILITY PLAN
AS101	SITE PLAN	C216	UTILITY PLAN
AS102	SITE PLAN	C217	UTILITY PLAN
AS103	SITE PLAN	C218	UTILITY DETAILS
AS104	SITE PLAN	C219	LIFT STATION #1
AS105	SITE PLAN	C220	LIFT STATION #2
AS106	SITE PLAN	FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE SW.4	
AS107	SITE PLAN	AS100	OVERALL SITE PLAN
AS108	SITE PLAN	AS101	LAYOUT PLAN
AS109	SITE PLAN	AS102	LAYOUT PLAN
AS110	SITE PLAN	AS103	LAYOUT PLAN
AS111	SITE PLAN	AS104	LAYOUT PLAN
AS112	SITE PLAN	AS105	LAYOUT PLAN
AS113	SITE PLAN	AS106	LAYOUT PLAN
AS114	SITE PLAN	AS107	LAYOUT PLAN
AS115	SITE PLAN	AS108	LAYOUT PLAN
AS116	SITE PLAN	AS109	LAYOUT PLAN
AS117	SITE PLAN	AS110	LAYOUT PLAN
AS118	SITE PLAN	AS111	LAYOUT PLAN
AS119	SITE PLAN	AS501	SITE DETAILS
AS401	SITE PLAN ENLARGEMENTS		
AS402	SITE PLAN ENLARGEMENTS		
AS403	SITE PLAN ENLARGEMENTS		
AS404	SITE PLAN ENLARGEMENTS		
AS501	SITE DETAILS		
AS502	SITE DETAILS		
C100	OVERALL GRADING PLAN		
C101	GRADING PLAN		
C102	GRADING PLAN		
C103	GRADING PLAN		
C104	GRADING PLAN		
C105	GRADING PLAN		
C106	GRADING PLAN		
C107	GRADING PLAN		
C108	GRADING PLAN		
C109	GRADING PLAN		
C110	GRADING PLAN		
C111	GRADING PLAN		
C112	GRADING PLAN		
C113	GRADING PLAN		
C114	GRADING PLAN		
C115	GRADING PLAN		
C116	GRADING PLAN		
C117	GRADING PLAN		
C118	GRADING PLAN		
C119	GRADING DETAILS		
C200	OVERALL UTILITY PLAN		
C201	UTILITY PLAN		
C202	UTILITY PLAN		
C203	UTILITY PLAN		
C204	UTILITY PLAN		
C205	UTILITY PLAN		
C206	UTILITY PLAN		
C207	UTILITY PLAN		
C208	UTILITY PLAN		
C209	UTILITY PLAN		
C210	UTILITY PLAN		

PROJECT NUMBER: PR-2021-005573
Application Number: SI-2023-01484

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

PROJECT TEAM

OWNER

NETFLIX STUDIOS, LLC
5808 W. SUNSET BLVD
LOS ANGELES, CA 80028

LANDSCAPE ARCHITECT/ARCHITECT/STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL ENGINEER

BOHANNAN HUSTON
7500 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 800.877.5332

ELECTRICAL ENGINEER

BRIDGERS & PAXTON
4600 C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM, 87109
PHONE: 505.883.4111

ADMINISTRATIVE AMENDMENT

FILE #: SI-2023-01209

PROJECT #: PR-2023-008842

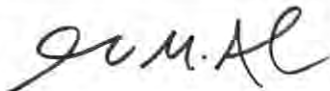
Alternative Landscape plan for the Albuquerque Studios Expansion; Action requests

to consolidate (2) previously approved site plans (north & east) into one, to comply

with ABCWUA's condition that both site plans be consolidated; Landscape areas

adjusted throughout site; Submittal meets IDO 14-16-5-6(C)(2)(a);

Submittal meets all criteria in IDO 14-16-5-6(C)(16); A buffer meeting the standards



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2023.10.06 10:57:11 -06'00'

10/6/2023

APPROVED BY

DATE

DEKKER
PERICH
SABATINI

SEAL

PROJECT

ABQ Studios Expansion

5650 University Blvd SE
Albuquerque, NM 87106

REVISIONS
▲
▲
▲
▲
▲
▲
▲
▲

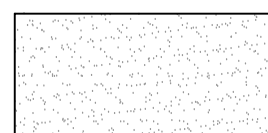
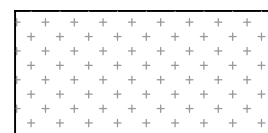
DRAWN BY JD
REVIEWED BY D/P/S
DATE 08/15/2023
PROJECT NO. 20-0072.008
DRAWING NAME
OVERALL SITE PLAN
FULL BUILDOUT

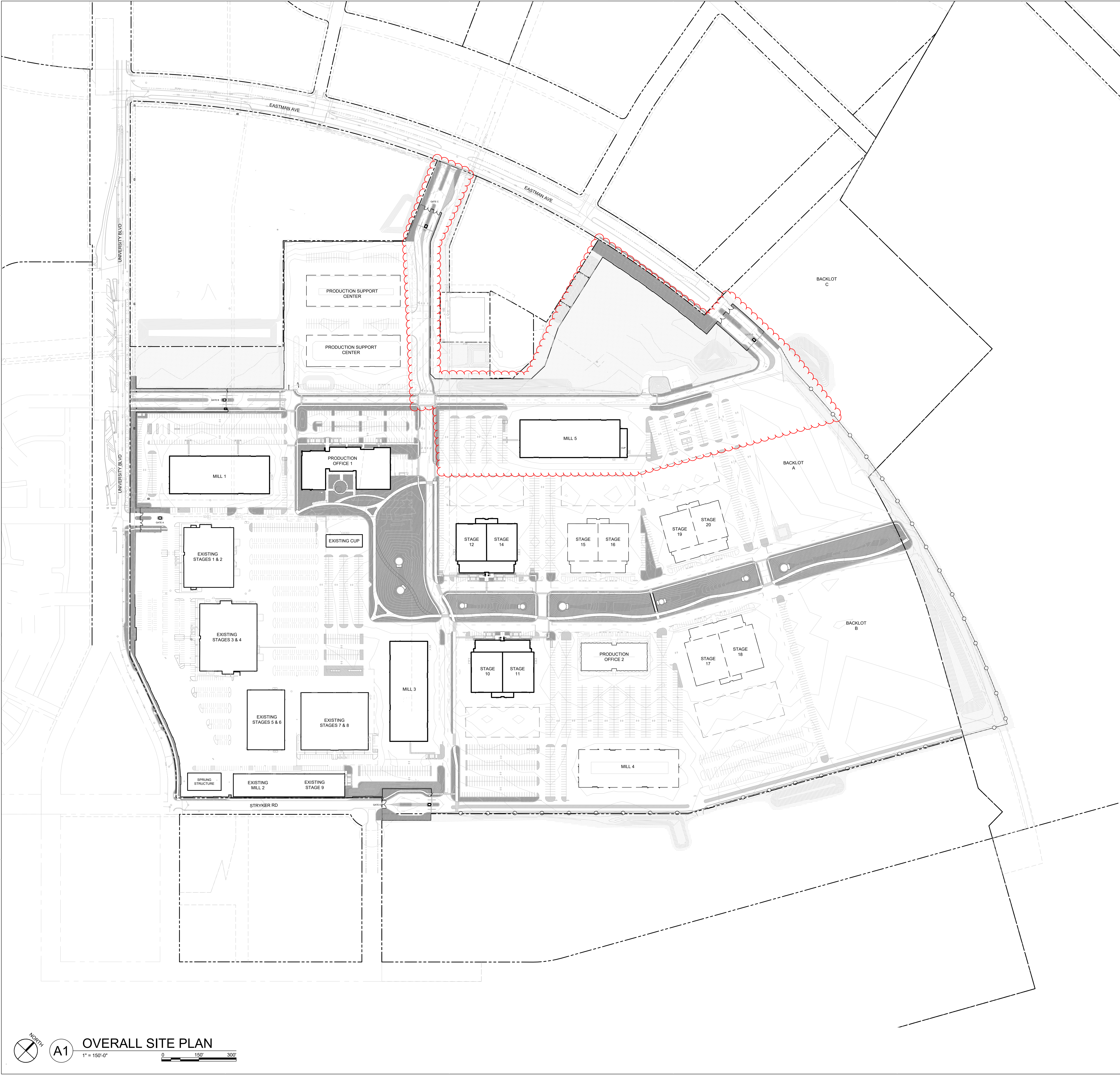
SHEET NO.
AS100A

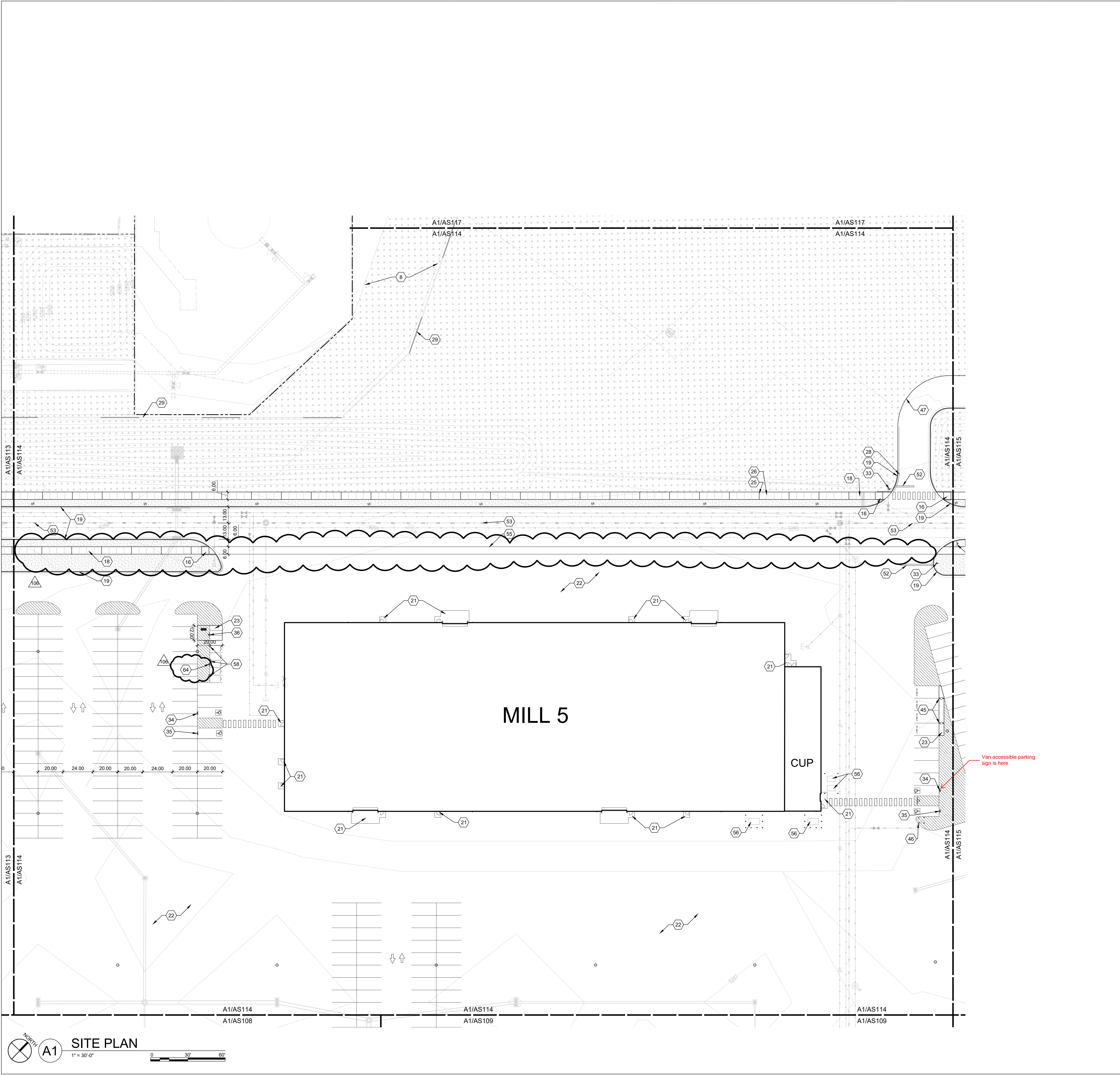
GENERAL SHEET NOTES

- A. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
B. REPAIR AREAS TO MATCH PRE-CONSTRUCTION CONDITION WHERE UTILITY WORK, GRADING AND/OR STAGING OCCURS, INCLUDING AREAS OUTSIDE OF LIMIT OF WORK BOUNDARY.
C. PAVING WORK OUTSIDE OF PROPERTY LINE BOUNDARY TO FOLLOW SEPARATE PUBLIC WORK ORDER PER CITY OF ALBUQUERQUE.
D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E. CURBS AND ACCESSIBLE RAMPS IN PUBLIC RIGHT OF WAY WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-6-8 OUTDOOR LIGHTING.
G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H. LANDSCAPE AND SIGNAGE IN PUBLIC RIGHT OF WAY WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
I. PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS/INFRASTRUCTURE LIST.

LEGEND

- PROPERTY LINE
- - - LEVEL B BOUNDARY
 LANDSCAPE AREA, SEE LANDSCAPE
 STABILIZATION AREA: GRAVEL, BASE COURSE OR NON-IRRIGATED SEED





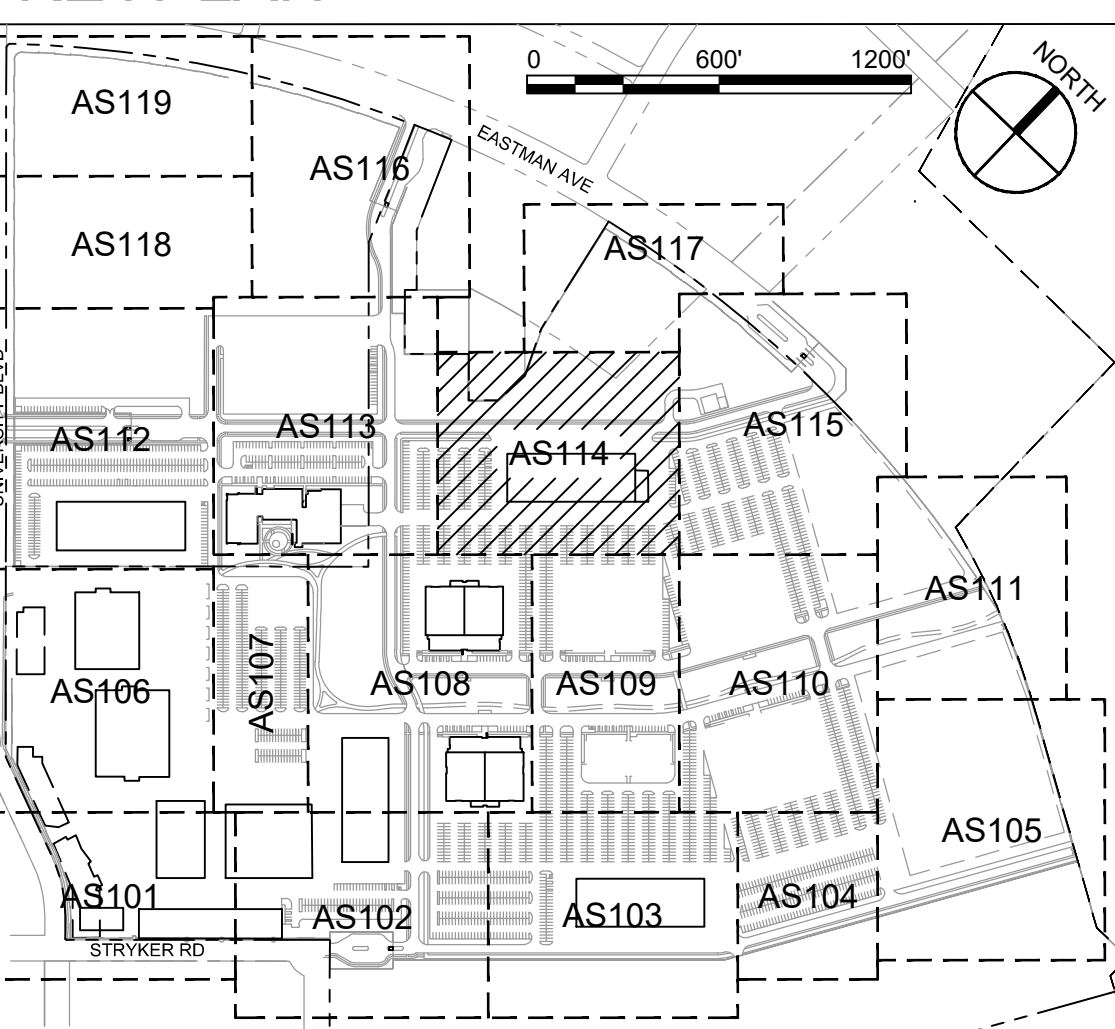
SHEET KEYNOTES

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING LANDSCAPE TO REMAIN, SEE DEMOLITION PLAN AND TREE AND PLANT PROTECTION SPECIFICATION
3	EXISTING SIDEWALK
4	EXISTING WALL
5	EXISTING CONCRETE RAMP
6	EXISTING ASPHALT
7	EXISTING STORM DRAIN
8	EASEMENT, SEE CIVIL
9	EXISTING GUARD BOOTH
10	EXISTING ELECTRICAL EQUIPMENT
11	EXISTING BOLLARD
12	BUILDING OVERHANG, SEE ARCHITECTURAL
13	CONCRETE BUILDING APRON, 10" DEPTH, SEE A1/AS501
14	CONCRETE BUILDING APRON, 18" DEPTH, SEE A1/AS501
15	CONCRETE ACCESSIBLE RAMP - A, SEE B1/AS501
16	CONCRETE ACCESSIBLE RAMP - B, SEE B2/AS501
17	CONCRETE ACCESSIBLE RAMP - C, SEE B3/AS501
18	CONCRETE SIDEWALK, SEE A2/AS501
19	CONCRETE CURB, SEE CIVIL FOR TYPE
20	PAVING WITHIN RIGHT-OF-WAY PART OF A SEPARATE PUBLIC WORK ORDER
21	CONCRETE PAD AT DOORS, SEE CIVIL FOR DETAIL AND ARCHITECTURAL FOR DIMENSIONS
22	ASPHALT PAVING, SEE CIVIL
23	REINFORCED CONCRETE, SEE CIVIL
24	ASPHALT TRAIL, SEE CIVIL
25	CONCRETE JOINT: EXPANSION, SEE A6/AS501
26	CONCRETE JOINT: CONTROL, SEE A5/AS501
27	CONCRETE MOW CURB, SEE B5/AS501
28	FIRE LANE STRIPING, SEE D3/AS501
29	PERIMETER WALL, SEE SW 4 PACKAGE
30	ENERGY DISSIPATER, SEE C5/AS502
31	COMPACTOR ENCLOSURE, SEE A1/AS502
32	NOT USED
33	SITE SIGNAGE: STOP SIGN, SEE D1/AS501
34	SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/AS501
35	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/AS501
36	SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/AS501
37	SITE SIGNAGE: YIELD TO PEDESTRIANS, SEE D1/AS501
38	SITE SIGNAGE: EXPECTING MOTHERS ONLY, SEE D1/AS501
39	SITE SIGNAGE: DROP OFF & PICK UP ONLY, SEE D1/AS501
40	SITE SIGNAGE: POLE CONTRACTOR FURNISHED/INSTALLED, SIGN OWNER FURNISHED/INSTALLED, SEE D1/AS501
41	OVERHEAD GATE ELEMENT, SEE SW 4 PACKAGE
42	PEDESTRIAN BRIDGE, DESIGN TBD
43	GUARD BOOTH FOUNDATION, SEE D5/AS501
44	EV CHARGING STATION: COMMUTER, SEE E4/AS502 AND ELECTRICAL
45	EV CHARGING STATION: FLEET, SEE E4/AS502 AND ELECTRICAL
46	PIPE BOLLARD, SEE B1/AS502
47	EDGE OF NEW ASPHALT PAVING, SEE CIVIL
48	PEDESTRIAN GATE, SEE SW 4 PACKAGE
49	MAINTENANCE ACCESS, SEE LANDSCAPE
50	TRASH COMPACTOR 30 CY, SEE SPECIFICATIONS
51	ASPHALT MARKINGS: PARKING STRIPING, SEE C5/AS501
52	ASPHALT MARKINGS: TOP BAR, SEE C3/AS501
53	ASPHALT MARKINGS: CENTERLINE, SEE C5/AS501
54	ASPHALT MARKINGS: NO PASSING CENTERLINE, SEE C5/AS501
55	ASPHALT MARKINGS: LANE STRIPING, SEE C5/AS501
56	ELECTRICAL EQUIPMENT WITH PROTECTIVE BOLLARDS WHERE SHOWN, SEE ELECTRICAL
57	FLUSH CONCRETE SIDEWALK, SEE A2/AS501
58	CONCRETE PEDESTAL WITH ELECTRICAL CONDUIT, SEE C3/AS502 AND ELECTRICAL
59	FROST FREE HYDRANT, SEE C1/AS502
60	FENCE WITH SCREEN, SEE SW 4 PACKAGE
61	GUARD BOOTH, SEE SPECIFICATIONS AND D5/AS501
62	GUARD ARM GATE, DESIGN TBD
63	GATE, SEE SW 4 PACKAGE
64	SITE SIGNAGE: GOLF CART PARKING ONLY, SEE D1/AS501
65	SITE SIGNAGE: TRAIL ENDS, SEE D1/AS501

LEGEND

	STABILIZED CRUSHER FINES, SEE SPECS
	LANDSCAPE AREA, SEE LANDSCAPE
	STABILIZATION AREA, ROCK MULCH/BASE COURSE OR SEEDING, SEE CIVIL AND SPECS
	INTEGRALLY COLORED CONCRETE WITH SALT FINISH, COLOR TBD, SEE SPECS
	MATCH LINE
	PROPERTY LINE
	LEVEL B BOUNDARY
	LIGHT POLE WITH CONCRETE BASE, SEE ELECTRICAL AND E1/AS502
	LIGHT POLE FLUSH, SEE ELECTRICAL AND E1/AS502
SITE FURNISHING (SEE SPECS):	
	LITTER RECEPTACLE (20 TOTAL) TBD
	BICYCLE RACK (15 TOTAL), MAGLIN MBR-0350-00002, COLOR: GUNMETAL. INSTALL ON CONCRETE PAD, SEE B6/AS501
	BENCH (7 TOTAL), VICTOR STANLEY RB-28, 6' LONG, COLOR TBD
ASPHALT MARKINGS	
	TRAFFIC CONTROL STRIPING, SEE C5/AS501
	ACCESSIBLE PARKING SYMBOL, SEE C2/AS501
	WHITE LETTERINGS (GREEN FOR 'EV ONLY'), 1'-0" HEIGHT
	PAINTED TEXT, 2'-0" HEIGHT FOR 'STOP' LETTERING
	DIRECTIONAL ARROW, SEE C4/AS501
	CROSSWALK, SEE D4/AS501

KEYPLAN



ABQ Studios Expansion MILL 1 & OVERALL SITE

5650 University Blvd SE
Albuquerque, NM 87106

M1S.4

Foundation
FOR PERMIT

REVISIONS	
	06/01/2022 ASI 007
	07/08/2022 ASI 011
	08/03/2022 ASI 018
	09/30/2022 ASI 032
	12/09/2022 ASI 027
	02/01/2023 ASI 025BR1
	05/05/2023 ASI 097

DRAWN BY	
REVIEWED BY	
DATE	06/13/2022
PROJECT NO.	20-0072.008
DRAWING NAME	SITE PLAN

SHEET NO.
AS114