

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 23, 2024

Jeremy A. Shelton, R.A  
Dekker Perich Sabatini  
7601 Jefferson St. NE  
Albuquerque, NM 87109

**Re: Netflix Studios/ STAGE 12 & 14/ 5650 Universty Blvd. SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 12-09-22 (R16-DA3006AA)  
Certification dated 03-22-24

Dear Mr. Shelton,

Based upon the information provided in your submittal received 03-25-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

March 22, 2024

Transportation Inspector  
City of Albuquerque

RE: Traffic Certification for Certificate of Occupancy Netflix Studios Expansion – BP-2022-45075

To Whom It May Concern:

### TRAFFIC CERTIFICATION

I, JEREMY SHELTON, NMRA NUMBER 4187, OF THE FIRM DEKKER PERICH SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED PR-2023-008842 AUGUST 15, 2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROLAND DELYSER OF THE FIRM DEKKER PERICH SABATINI. I FURTHER CERTIFY THAT MY DESIGNEE ROLAN DELYSER PERSONALLY VISITED THE PROJECT SITE, ON MY BEHALF, ON MARCH 21, 2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

*EXCEPTIONS ARE NOTED ON THE ATTACHED SITE PLAN DRAWING.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

Jeremy Shelton, AIA, CSI, LEED AP  
Studio Leader / Principal  
Dekker Perich Sabatini



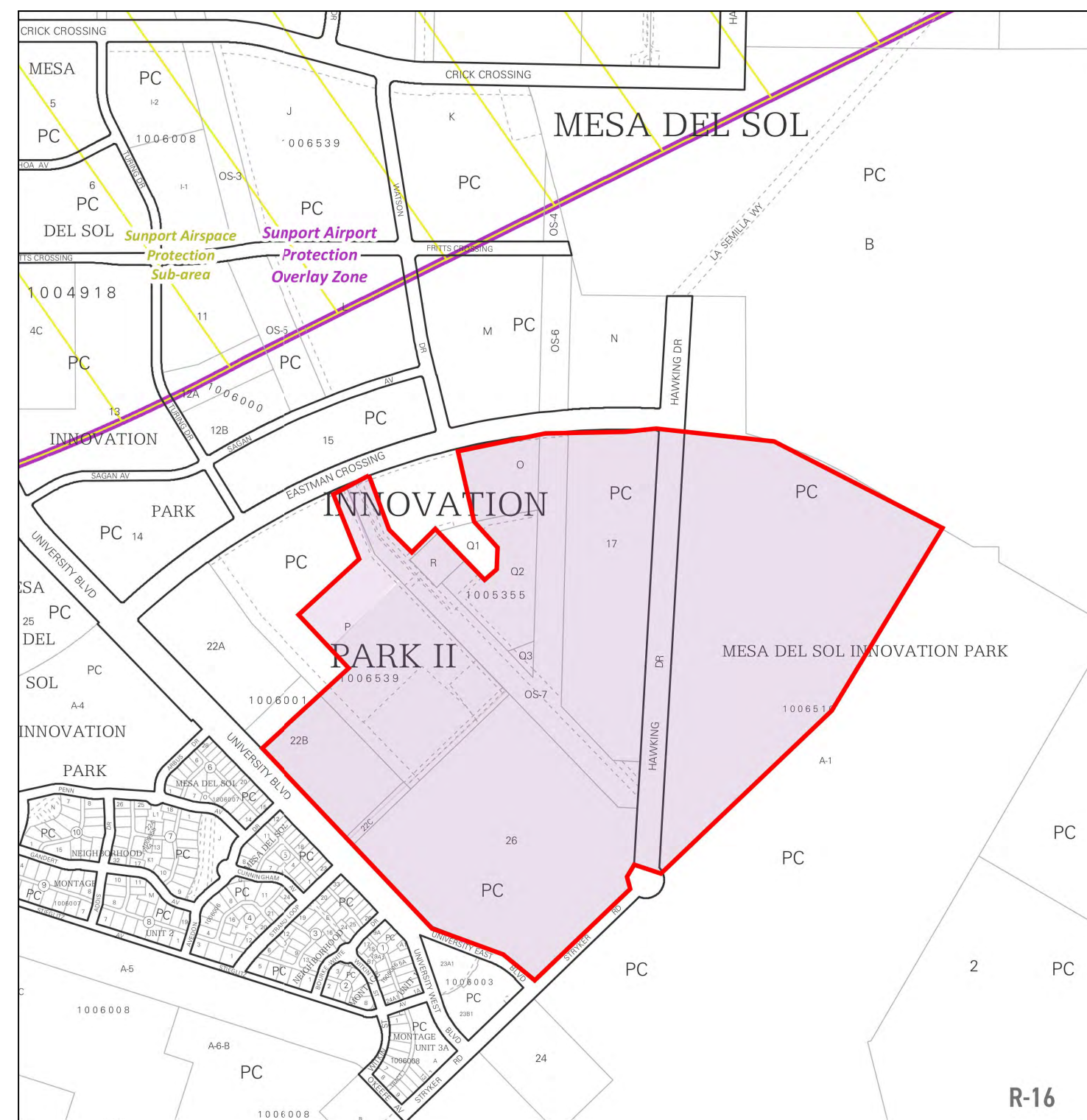
March 22, 2024

Date



## LOCATION MAP

N.T.S.  
SITE ADDRESS: 5650 UNIVERSITY BLVD SE  
ALBUQUERQUE, NM 87106



## ZONE ATLAS MAP

N.T.S.

## SHEET INDEX

AS100A	OVERALL SITE PLAN: FULL BUILDOUT
AS100B	OVERALL SITE DATA
AS100C	OVERALL SITE PLAN: ANNOTATED CHANGES
FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE M1S.4	
AS100	OVERALL SITE PLAN
AS101	SITE PLAN
AS102	SITE PLAN
AS103	SITE PLAN
AS104	SITE PLAN
AS105	SITE PLAN
AS106	SITE PLAN
AS107	SITE PLAN
AS108	SITE PLAN
AS109	SITE PLAN
AS110	SITE PLAN
AS111	SITE PLAN
AS112	SITE PLAN
AS113	SITE PLAN
AS114	SITE PLAN
AS115	SITE PLAN
AS116	SITE PLAN
AS117	SITE PLAN
AS118	SITE PLAN
AS119	SITE PLAN
AS401	SITE PLAN ENLARGEMENTS
AS402	SITE PLAN ENLARGEMENTS
AS403	SITE PLAN ENLARGEMENTS
AS404	SITE PLAN ENLARGEMENTS
AS501	SITE DETAILS
AS502	SITE DETAILS
C100	OVERALL GRADING PLAN
C101	GRADING PLAN
C102	GRADING PLAN
C103	GRADING PLAN
C104	GRADING PLAN
C105	GRADING PLAN
C106	GRADING PLAN
C107	GRADING PLAN
C108	GRADING PLAN
C109	GRADING PLAN
C110	GRADING PLAN
C111	GRADING PLAN
C112	GRADING PLAN
C113	GRADING PLAN
C114	GRADING PLAN
C115	GRADING PLAN
C116	GRADING PLAN
C117	GRADING PLAN
C118	GRADING PLAN
C119	GRADING DETAILS
C200	OVERALL UTILITY PLAN
C201	UTILITY PLAN
C202	UTILITY PLAN
C203	UTILITY PLAN
C204	UTILITY PLAN
C205	UTILITY PLAN
C206	UTILITY PLAN
C207	UTILITY PLAN
C208	UTILITY PLAN
C209	UTILITY PLAN
C210	UTILITY PLAN

C211	UTILITY PLAN
C212	UTILITY PLAN
C213	UTILITY PLAN
C214	UTILITY PLAN
C215	UTILITY PLAN
C216	UTILITY PLAN
C217	UTILITY PLAN
C218	UTILITY DETAILS
C219	LIFT STATION #1
C220	LIFT STATION #2
FOLLOWING PLANS ARE PART OF PERMIT SUBMITTAL PACKAGE SW.4	
AS100	OVERALL SITE PLAN
AS101	LAYOUT PLAN
AS102	LAYOUT PLAN
AS103	LAYOUT PLAN
AS104	LAYOUT PLAN
AS105	LAYOUT PLAN
AS106	LAYOUT PLAN
AS107	LAYOUT PLAN
AS108	LAYOUT PLAN
AS109	LAYOUT PLAN
AS110	LAYOUT PLAN
AS111	LAYOUT PLAN
AS501	SITE DETAILS

PROJECT NUMBER:	PR-2021-005573
Application Number:	SI-2023-01484
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

### PROJECT TEAM

#### OWNER

NETFLIX STUDIOS, LLC  
5808 W. SUNSET BLVD  
LOS ANGELES, CA 80028

#### LANDSCAPE ARCHITECT/ARCHITECT/STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

#### CIVIL ENGINEER

BOHANNAN HUSTON  
7500 JEFFERSON ST NE  
ALBUQUERQUE, NM 87109  
PHONE: 800.877.5332

#### ELECTRICAL ENGINEER

BRIDGERS & PAXTON  
4600 C MONTGOMERY BLVD. NE  
ALBUQUERQUE, NM, 87109  
PHONE: 505.883.4111

# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2023-01209

**PROJECT #:** PR-2023-008842

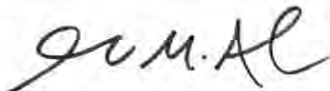
Alternative Landscape plan for the Albuquerque Studios Expansion; Action requests

to consolidate (2) previously approved site plans (north & east) into one, to comply

with ABCWUA's condition that both site plans be consolidated; Landscape areas

adjusted throughout site; Submittal meets IDO 14-16-5-6(C)(2)(a);

Submittal meets all criteria in IDO 14-16-5-6(C)(16); A buffer meeting the standards



Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@cabq.gov, c=US  
Date: 2023.10.06 10:57:11 -06'00'

10/6/2023

**APPROVED BY**

**DATE**

DEKKER  
PERICH  
SABATINI

ABQ Studios Expansion

5650 University Blvd SE  
Albuquerque, NM 87106

AS100A

GENERAL SHEET NOTES

LEGEND

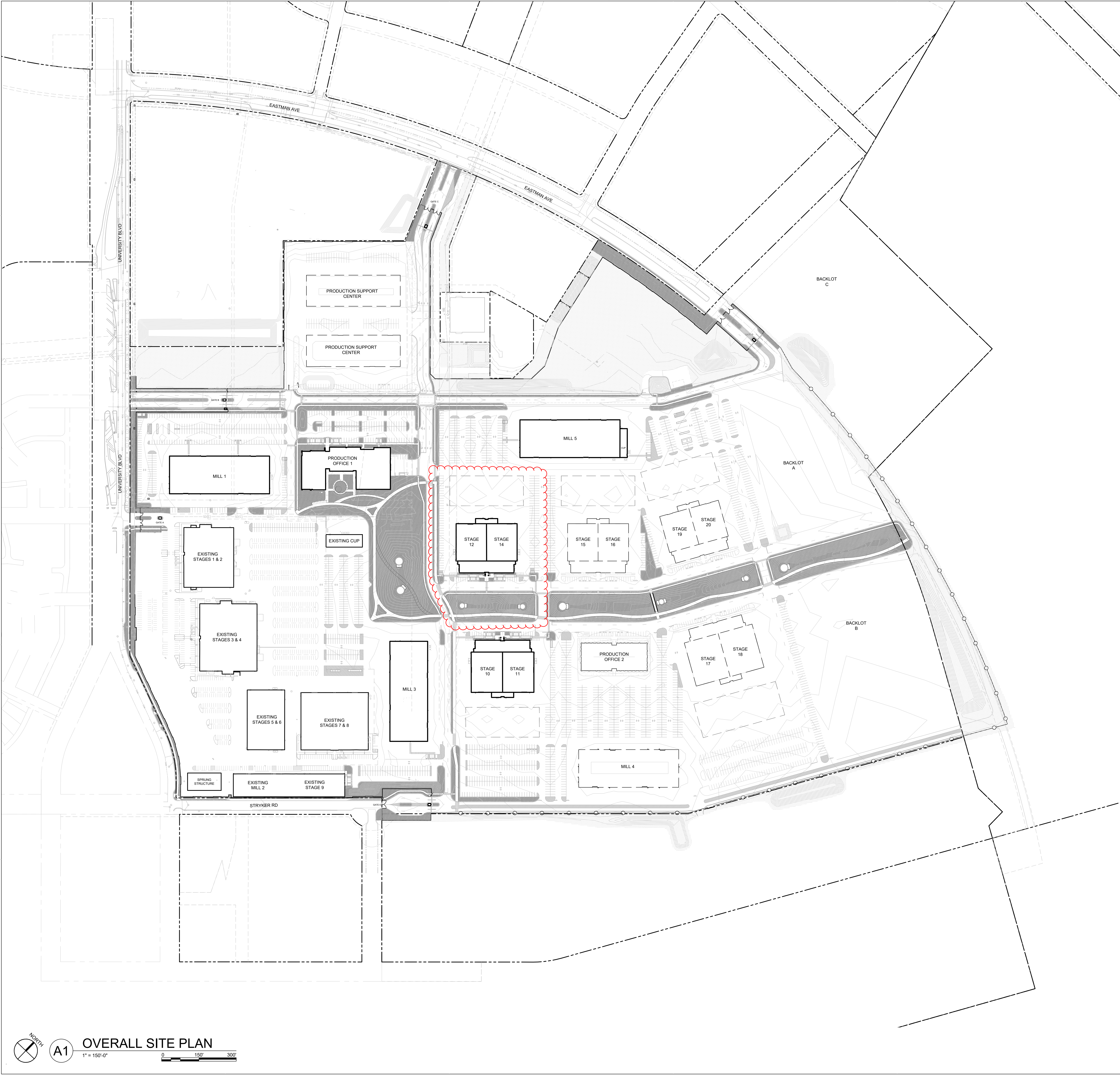
OVERALL SITE PLAN  
FULL BUILDOUT

REVISIONS

DRAWN BY: JD  
REVIEWED BY: D/P/S  
DATE: 08/15/2023  
PROJECT NO.: 20-0072.008  
DRAWING NAME: OVERALL SITE PLAN  
FULL BUILDOUT

SEAL

PROJECT



DEKKER  
PERICH  
SABATINI

SEAL

STATE OF NEW MEXICO

JEREMY A. SABLON

No. 4187

REGISTERED ARCHITECT

PROJECT

ABQ Studios Expansion  
MILL 1 & OVERALL SITE

5650 University Blvd SE  
Albuquerque, NM 87106

M1S.4

Foundation  
FOR PERMIT

REVISIONS

05/13/2022

ASI 006

06/01/2022

ASI 007

07/08/2022

ASI 011

08/03/2022

ASI 018

12/09/2022

ASI 027

02/01/2023

ASI 058R1

05/05/2023

ASI 097

03/13/2024

ASI 169

DRAWN BY

REVIEWED BY

DATE

06/13/2022

PROJECT NO.

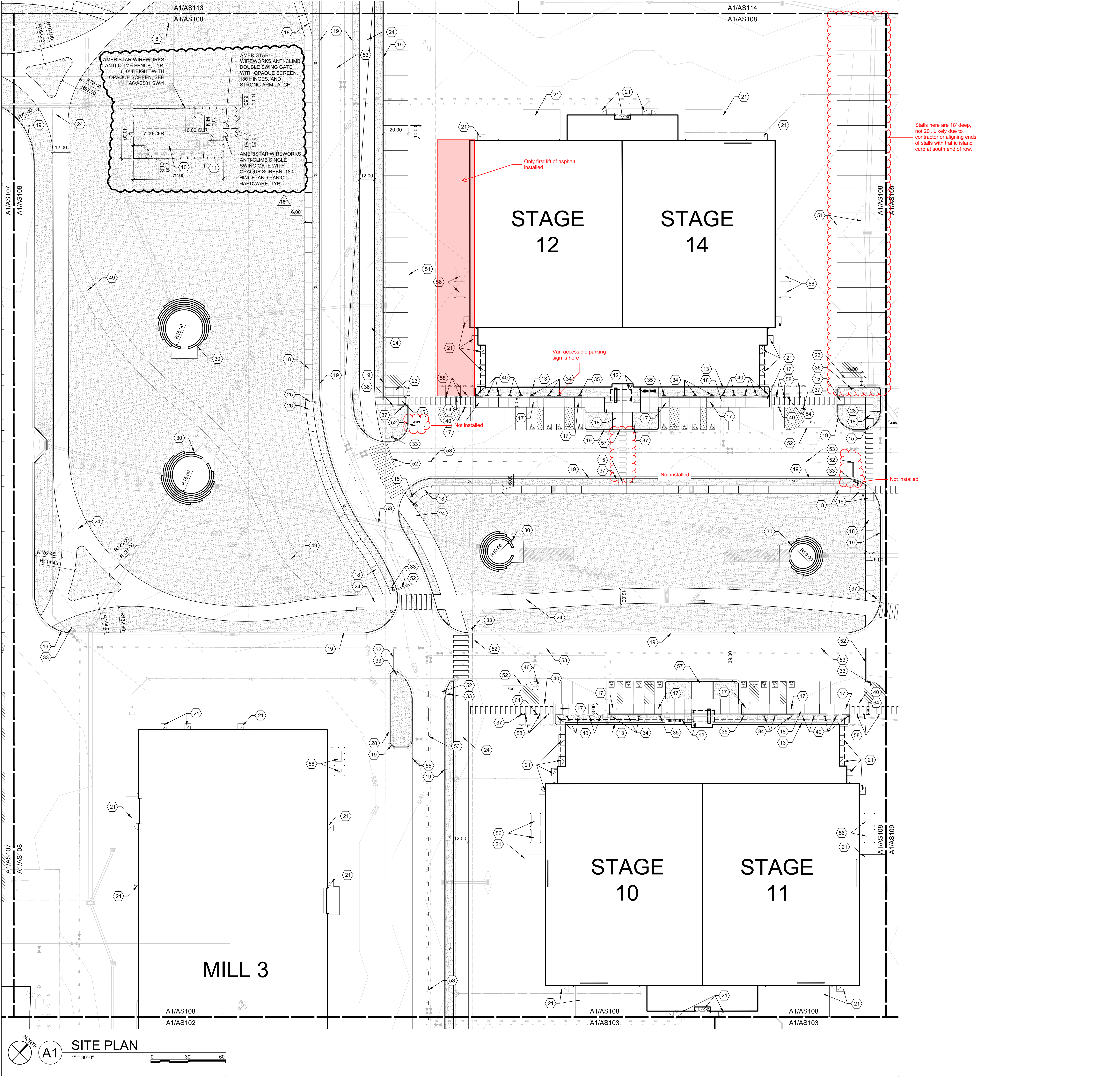
20-0072.008

DRAWING NAME

SITE PLAN

SHEET NO.

AS108



SHEET KEYNOTES

NOT ALL NOTES APPEAR ON THIS SHEET

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING LANDSCAPE TO REMAIN, SEE DEMOLITION PLAN AND TREE AND PLANT PROTECTION SPECIFICATION
3	EXISTING SIDEWALK
4	EXISTING WALL
5	EXISTING CONCRETE RAMP
6	EXISTING ASPHALT
7	EXISTING STORM DRAIN
8	EASEMENT, SEE CIVIL
9	EXISTING GUARD BOOTH
10	EXISTING ELECTRICAL EQUIPMENT
11	EXISTING BOLLARD
12	BUILDING OVERHANG, SEE ARCHITECTURAL
13	CONCRETE BUILDING APRON, 10" DEPTH, SEE A1/AS501
14	CONCRETE BUILDING APRON, 18" DEPTH, SEE A1/AS501
15	CONCRETE ACCESSIBLE RAMP - A, SEE B1/AS501
16	CONCRETE ACCESSIBLE RAMP - B, SEE B2/AS501
17	CONCRETE ACCESSIBLE RAMP - C, SEE B3/AS501
18	CONCRETE SIDEWALK, SEE A2/AS501
19	CONCRETE CURB, SEE CIVIL FOR TYPE
20	PAVING WITHIN RIGHT-OF-WAY PART OF A SEPARATE PUBLIC WORK ORDER
21	CONCRETE PAD AT DOORS, SEE CIVIL FOR DETAIL AND ARCHITECTURAL FOR DIMENSIONS
22	ASPHALT PAVING, SEE CIVIL
23	REINFORCED CONCRETE, SEE CIVIL
24	ASPHALT TRAIL, SEE CIVIL
25	CONCRETE JOINT, EXPANSION, SEE A6/AS501
26	CONCRETE JOINT, CONTROL, SEE A5/AS501
27	CONCRETE MOW CURB, SEE B5/AS501
28	FIRE LANE STRIPING, SEE D3/AS501
29	PERIMETER WALL, SEE SW.4 PACKAGE
30	ENERGY DISSIPATER, SEE C5/AS502
31	COMPACTOR ENCLOSURE, SEE A1/AS502
32	NOT USED
33	SITE SIGNAGE: STOP SIGN, SEE D1/AS501
34	SITE SIGNAGE: ACCESSIBLE PARKING, SEE D1/AS501
35	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE D1/AS501
36	SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE D1/AS501
37	SITE SIGNAGE: YIELD TO PEDESTRIANS, SEE D1/AS501
38	SITE SIGNAGE: EXPECTING MOTHERS ONLY, SEE D1/AS501
39	SITE SIGNAGE: DROP OFF & PICK UP ONLY, SEE D1/AS501
40	SITE SIGNAGE: POLE CONTRACTOR FURNISHED/INSTALLED, SIGN OWNER FURNISHED/INSTALLED, SEE D1/AS501
41	OVERHEAD GATE ELEMENT, DESIGN TBD
42	PEDESTRIAN BRIDGE, DESIGN TBD
43	GUARD BOOTH FOUNDATION, SEE D5/AS501
44	EV CHARGING STATION: COMMUTER, SEE E4/AS502 AND ELECTRICAL
45	EV CHARGING STATION: FLEET, SEE E4/AS502 AND ELECTRICAL
46	PIPE BOLLARD, SEE B1/AS502
47	EDGE OF NEW ASPHALT PAVING, SEE CIVIL
48	PEDESTRIAN GATE, SEE SW.4 PACKAGE
49	MAINTENANCE ACCESS, SEE LANDSCAPE
50	TRASH COMPACTOR 30 CY, SEE SPECIFICATIONS
51	ASPHALT MARKINGS: PARKING STRIPING, SEE C5/AS501
52	ASPHALT MARKINGS: STOP BAR, SEE C3/AS501
53	ASPHALT MARKINGS: CENTERLINE, SEE C5/AS501
54	ASPHALT MARKINGS: NO PASSING CENTERLINE, SEE C5/AS501
55	ASPHALT MARKINGS: LANE STRIPING, SEE C5/AS501
56	ELECTRICAL EQUIPMENT WITH PROTECTIVE BOLLARDS WHERE SHOWN, SEE ELECTRICAL
57	FLUSH CONCRETE SIDEWALK, SEE A2/AS501
58	CONCRETE PEDESTAL WITH ELECTRICAL CONDUIT, SEE C3/AS502 AND ELECTRICAL
59	FROST FREE HYDRANT, SEE C1/AS502
60	FENCE WITH SCREEN, SEE SW.4 PACKAGE
61	GUARD BOOTH, SEE SPECIFICATIONS AND D5/AS501
62	GUARD ARM GATE, DESIGN TBD
63	GATE, SEE SW.4 PACKAGE
64	SITE SIGNAGE: GOLF CART PARKING ONLY, SEE D1/AS501

LEGEND

STABILIZED CRUSHER FINES, SEE SPECS

LANDSCAPE AREA, SEE LANDSCAPE

STABILIZATION AREA, ROCK MULCH/BASE COURSE OR SEEDING, SEE CIVIL AND SPECS

INTEGRALLY COLORED CONCRETE WITH SALT FINISH, COLOR TBD, SEE SPECS

MATCH LINE

PROPERTY LINE

LEVEL B BOUNDARY

LIGHT POLE WITH CONCRETE BASE, SEE ELECTRICAL AND E1/AS502

LIGHT POLE FLUSH, SEE ELECTRICAL AND E1/AS502

SITE FURNISHING (SEE SPECS):

LITTER RECEPTACLE (20 TOTAL), TBD

BICYCLE RACK (15 TOTAL), MAGLIN MBR-0350-00002, COLOR: GUNMETAL, INSTALL ON CONCRETE PAD, SEE B6/AS501

BENCH (7 TOTAL), VICTOR STANLEY RB-28, 6' LONG, COLOR TBD

ASPHALT MARKINGS

TRAFFIC CONTROL STRIPING, SEE C5/AS501

ACCESSIBLE PARKING SYMBOL, SEE C2/AS501

WHITE LETTERINGS (GREEN FOR 'EV ONLY'), 1'-0" HEIGHT

PAINTED TEXT, 2'-0" HEIGHT FOR 'STOP' LETTERING

DIRECTIONAL ARROW, SEE C4/AS501

CROSSWALK, SEE D4/AS501

KEYPLAN

0 600' 1200'

NORTH

AS119 AS116 EASTMAN AVE AS117

AS118 AS113 AS114 AS115

AS112 AS110 AS111

AS106 AS107 AS108 AS109 AS110

AS101 AS102 AS103 AS104

AS105