

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 15, 2024
Jeremy Shelton, RA
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM

Re: Netflix Studios-Production Office 1
5650 University Blvd SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Approved Plan dated 8-15-23 (R16DA3006AA)
Certification dated 3-12-24

Dear Mr. Shelton;

Based upon the information provided in your submittal received 3-12-24, Transportation Development has no objection to a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Albuquerque

Sincerely,

Curtis A Cherne

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, Wendi Alcala, James Broomfield,

March 12, 2024

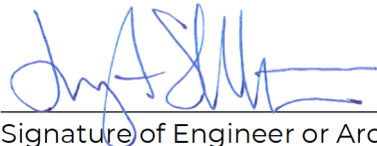
Transportation Inspector
City of Albuquerque
RE: Traffic Certification for Certificate of Occupancy Netflix Studios Expansion

To Whom It May Concern:

TRAFFIC CERTIFICATION

I, JEREMY SHELTON, NMRA NUMBER 4187, OF THE FIRM DEKKER PERICH SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED PR-2023-008842 AUGUST 15, 2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROLAND DELYSER OF THE FIRM DEKKER PERICH SABATINI. I FURTHER CERTIFY THAT MY DESIGNEE ROLAN DELYSER PERSONALLY VISITED THE PROJECT SITE, ON MY BEHALF, ON MARCH 11, 2024 AND HAS DETERMINED BY VISUAL INSPECTION THAT THE APPROVED SITE PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



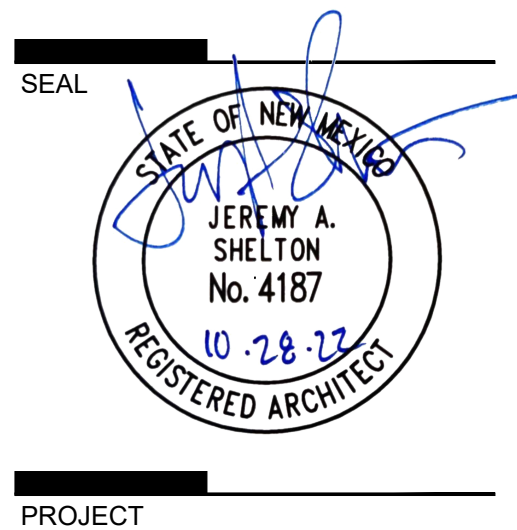
Signature of Engineer or Architect

Jeremy Shelton, AIA, CSI, LEED AP
Studio Leader / Principal
Dekker Perich Sabatini



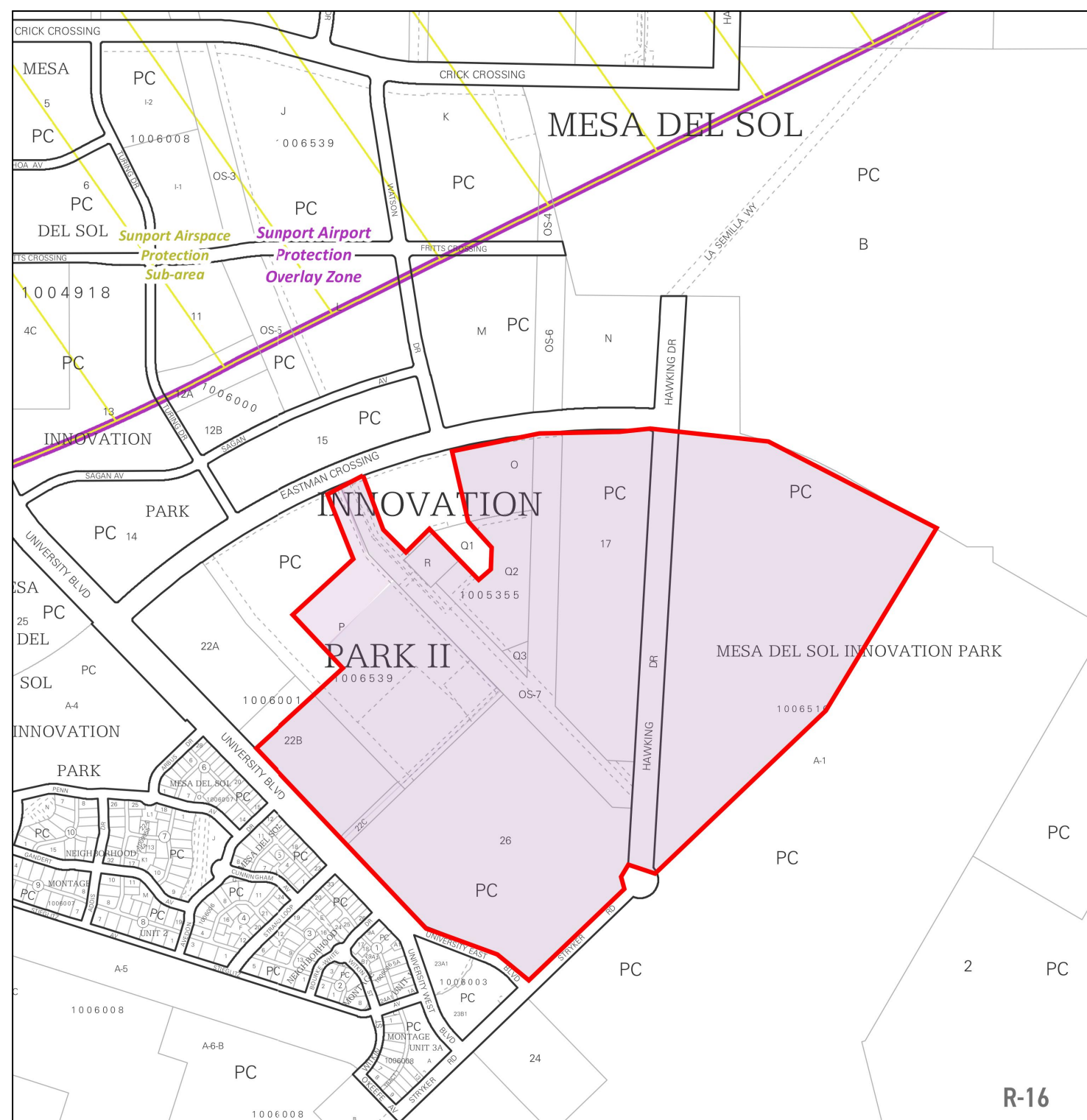
March 12, 2024

Date



LOCATION MAP

N.T.S.
SITE ADDRESS: 5650 UNIVERSITY BLVD SE
ALBUQUERQUE, NM 87106



ZONE ATLAS MAP

N.T.S.

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PROJECT NUMBER: PR-2021-005573

Application Number: SI-2023-01484

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

PROJECT TEAM

OWNER

NETFLIX STUDIOS, LLC
5808 W. SUNSET BLVD
LOS ANGELES, CA 80028

LANDSCAPE ARCHITECT/ARCHITECT/STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL ENGINEER

BOHANNAN HUSTON
7500 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
PHONE: 800.877.5332

ELECTRICAL ENGINEER

BRIDGERS & PAXTON
4600 C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM, 87109
PHONE: 505.883.4111

ADMINISTRATIVE AMENDMENT

FILE #: SI-2023-01209

PROJECT #: PR-2023-008842

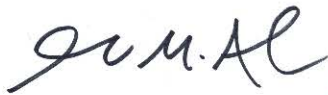
Alternative Landscape plan for the Albuquerque Studios Expansion; Action requests

to consolidate (2) previously approved site plans (north & east) into one, to comply

with ABCWUA's condition that both site plans be consolidated; Landscape areas

adjusted throughout site; Submittal meets IDO 14-16-5-6(C)(2)(a);

Submittal meets all criteria in IDO 14-16-5-6(C)(16); A buffer meeting the standards



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2023.10.06 10:57:11 -06'00'

10/6/2023

APPROVED BY

DATE

DEKKER
PERICH
SABATINI

ABQ Studios Expansion

5650 University Blvd SE
Albuquerque, NM 87106

AS100A

GENERAL SHEET NOTES

LEGEND

OVERALL SITE PLAN
FULL BUILDOUT

REVISIONS

DRAWN BY: JD
REVIEWED BY: D/P/S
DATE: 08/15/2023
PROJECT NO.: 20-0072.008
DRAWING NAME: OVERALL SITE PLAN
FULL BUILDOUT

SEAL

PROJECT

