



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: The International school Building Permit #: T201341903 City Drainage #: R16DA3009
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: 2660 Eastman Crossing SE Albuquerque NM Mesa Del Sol
City Address: 2660 Eastman Crossing SE Albuquerque NM

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: John.Dillander@dpsdesign.org

Architect: DPS Contact: John Dillander

Address: 7601 Jefferson Street NE Suite 100

Phone#: 761-9700 Fax#: 761-4222 E-mail: John.Dillander@dpsdesign.org

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

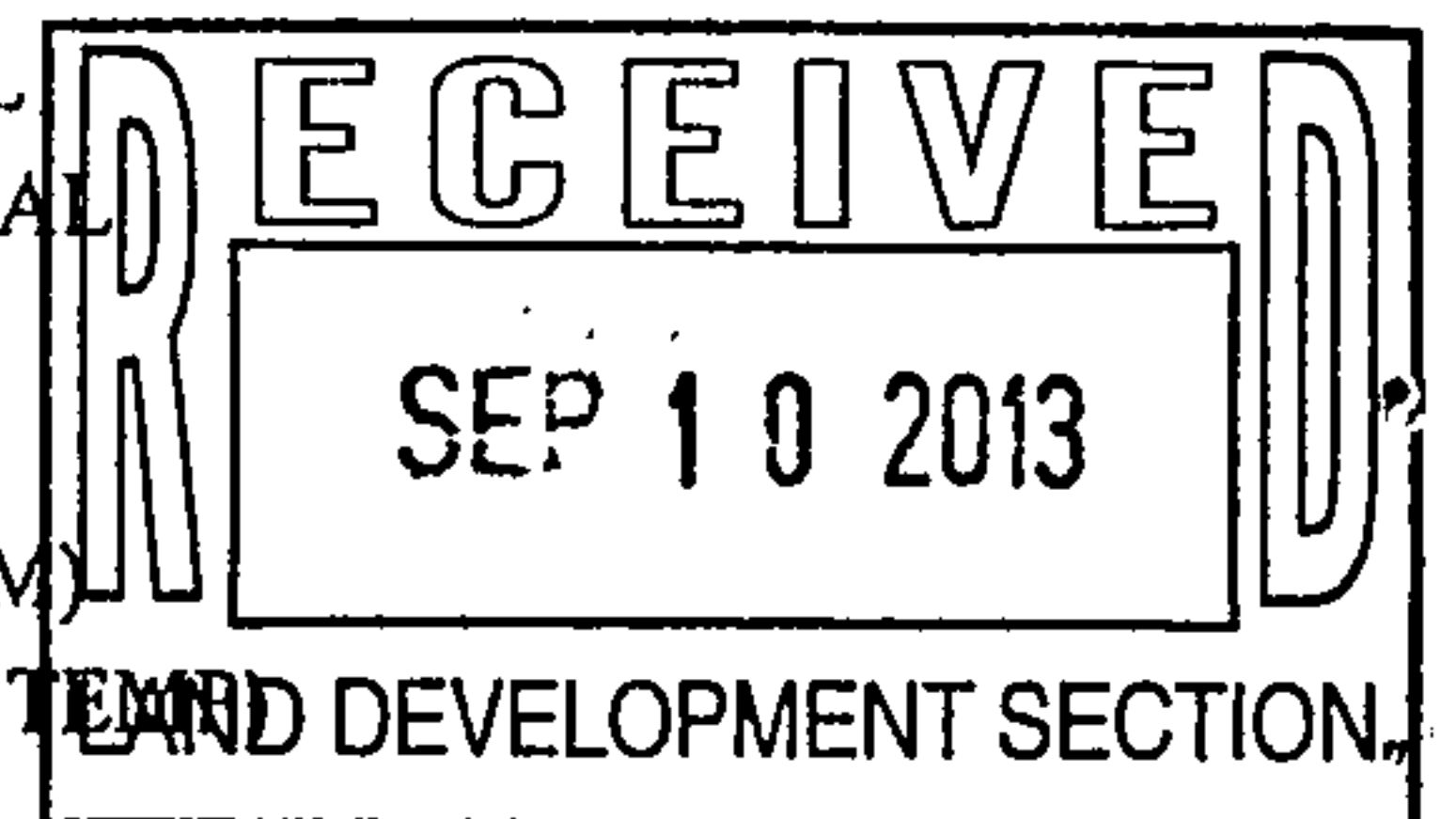
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 9/10/13

By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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9-13-13 Spoke w/ Benjamin Gardner (D/P/S) and Larry (Klinger) Re: need for MDS ARC-approved plan

September 10, 2013

Kristal D. Metro, P.E
Section Manager, Transportation Development
Development & Building Services Division
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, NM 87102

Re: As-Built Certification of Traffic Circulation Layout Plan
International School at Mesa del Sol

Dear Kristal:

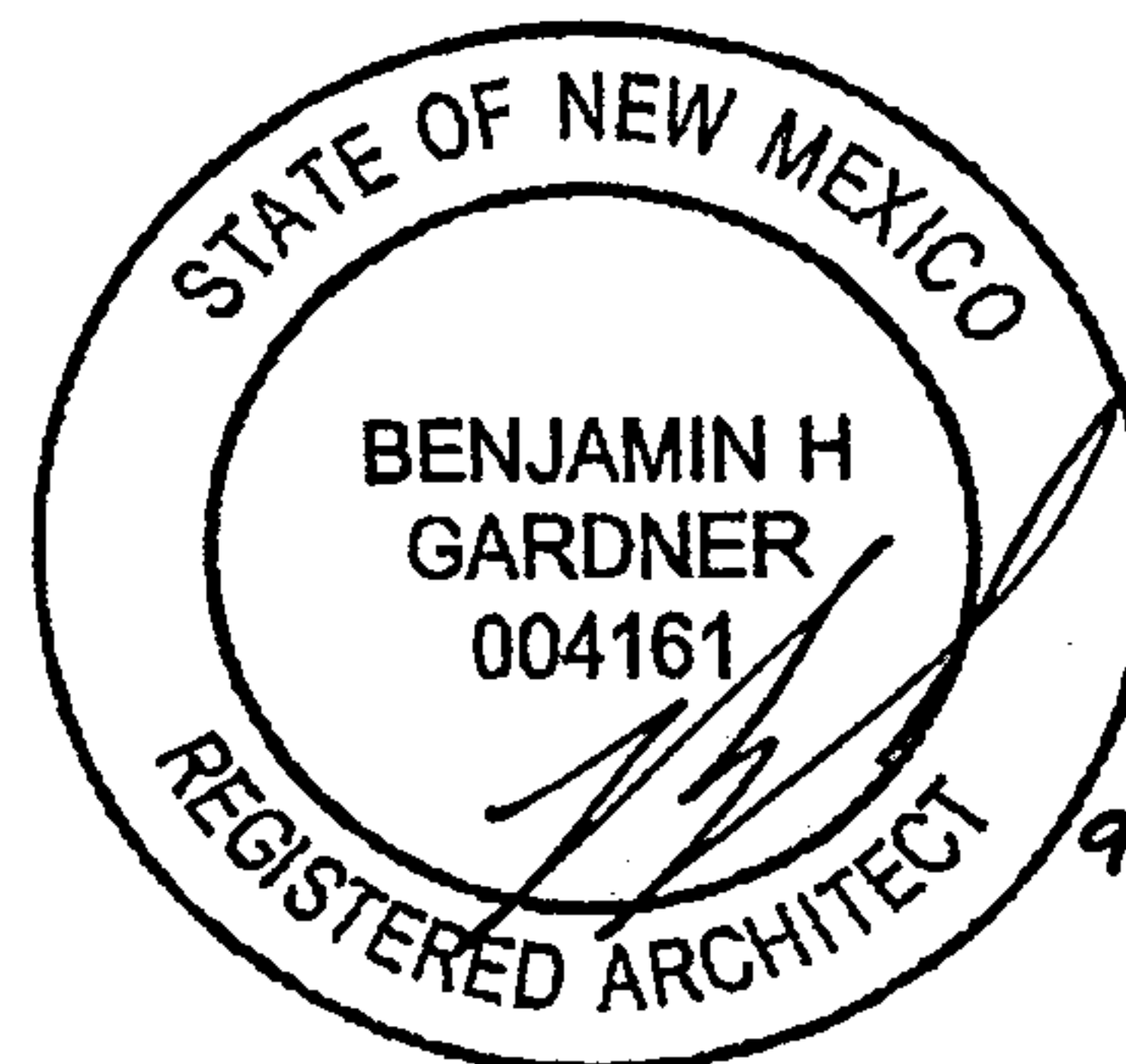
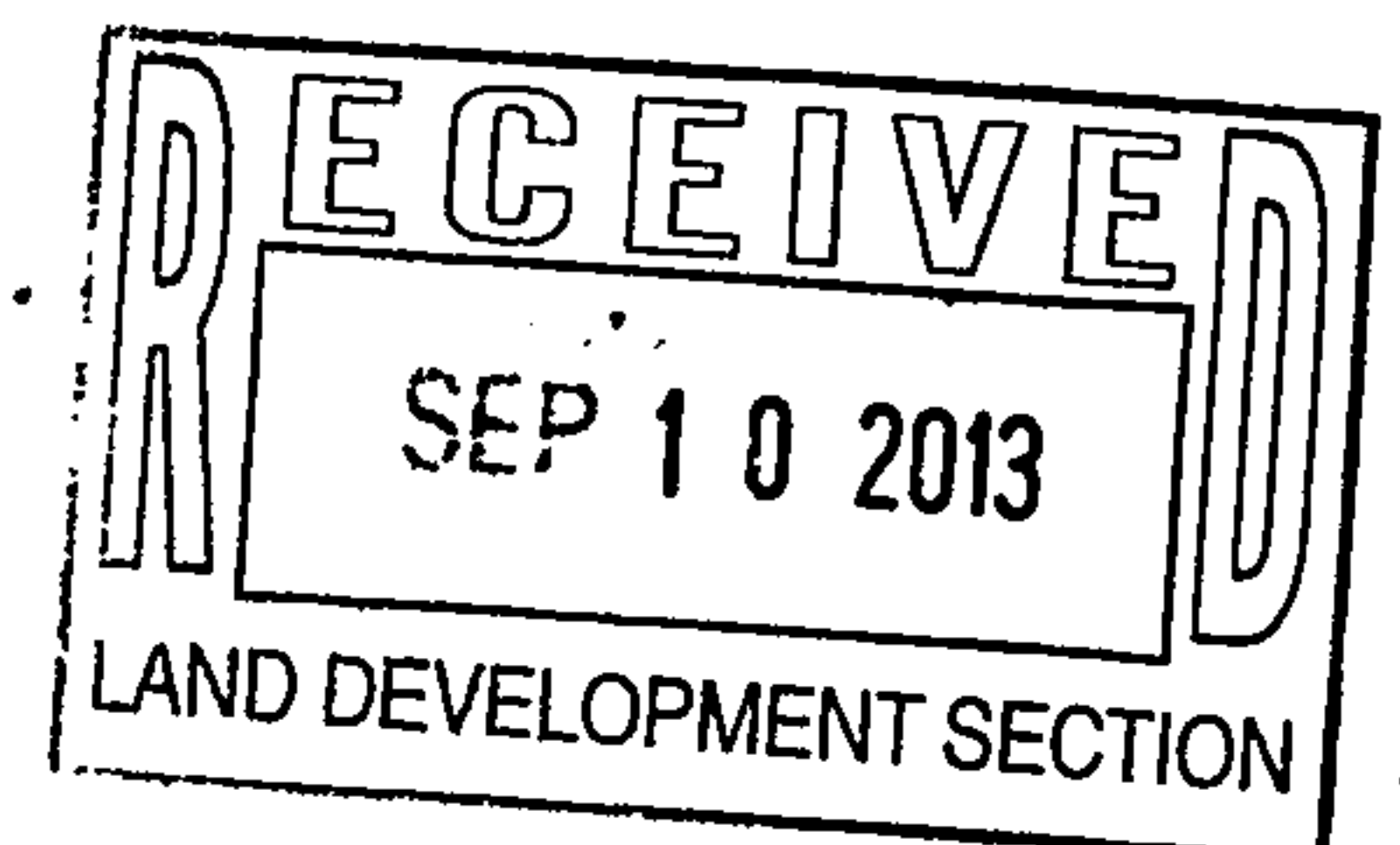
I, Benjamin H. Gardner, New Mexico Registered Architect 4161, of the firm Dekker/Perich/Sabatini hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plan dated 07-112-13. I further certify that I have personally visited the project site on 9/10/2013 and have determined by visual inspection that the construction provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Benjamin Gardner, AIA, LEED AP

Date

9/10/13



9/19/13

September 10, 2013

Kristal D. Metro, P.E
Section Manager, Transportation Development
Development & Building Services Division
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, NM 87102

Re: As-Built Certification of Traffic Circulation Layout Plan
International School at Mesa del Sol

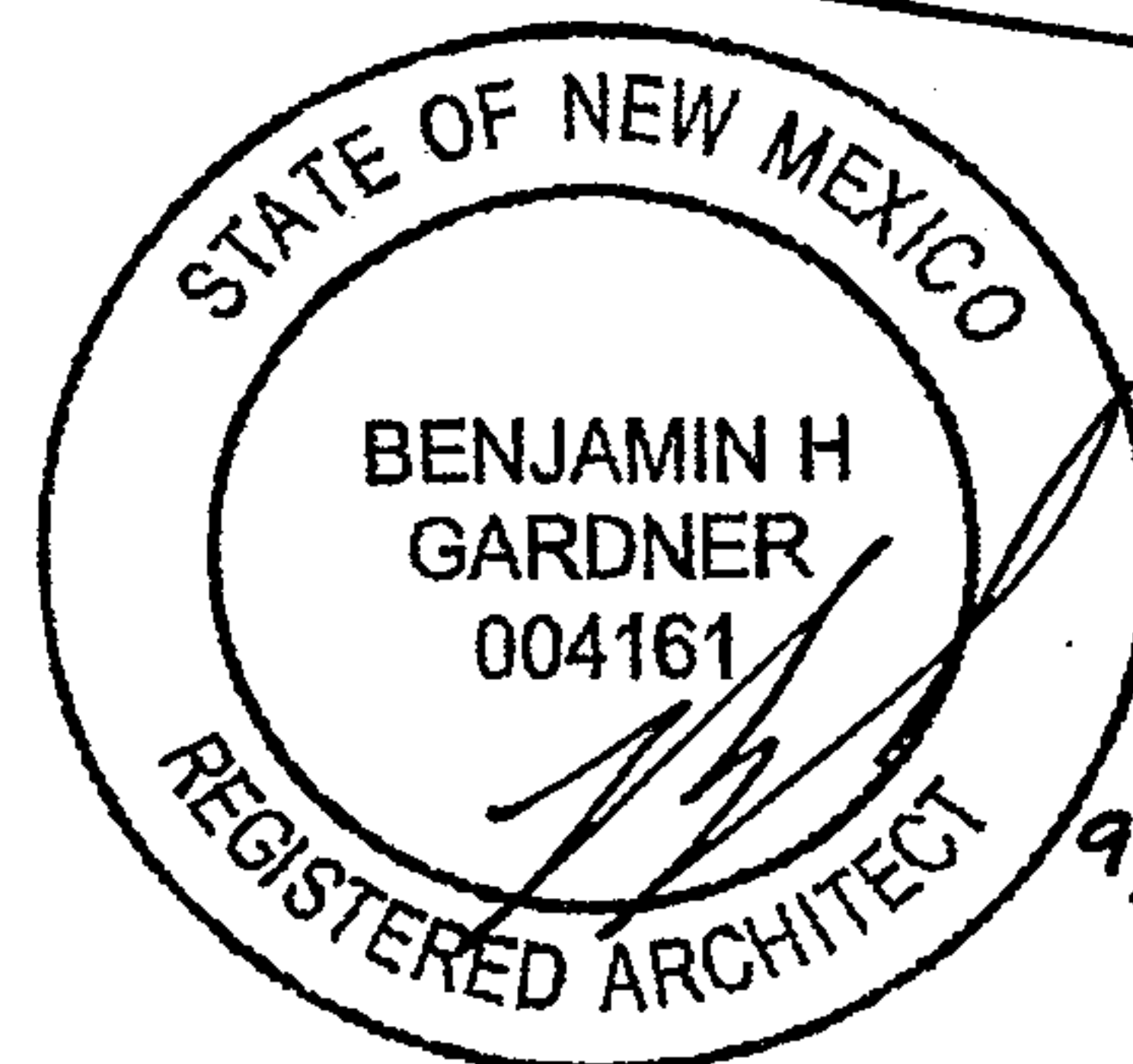
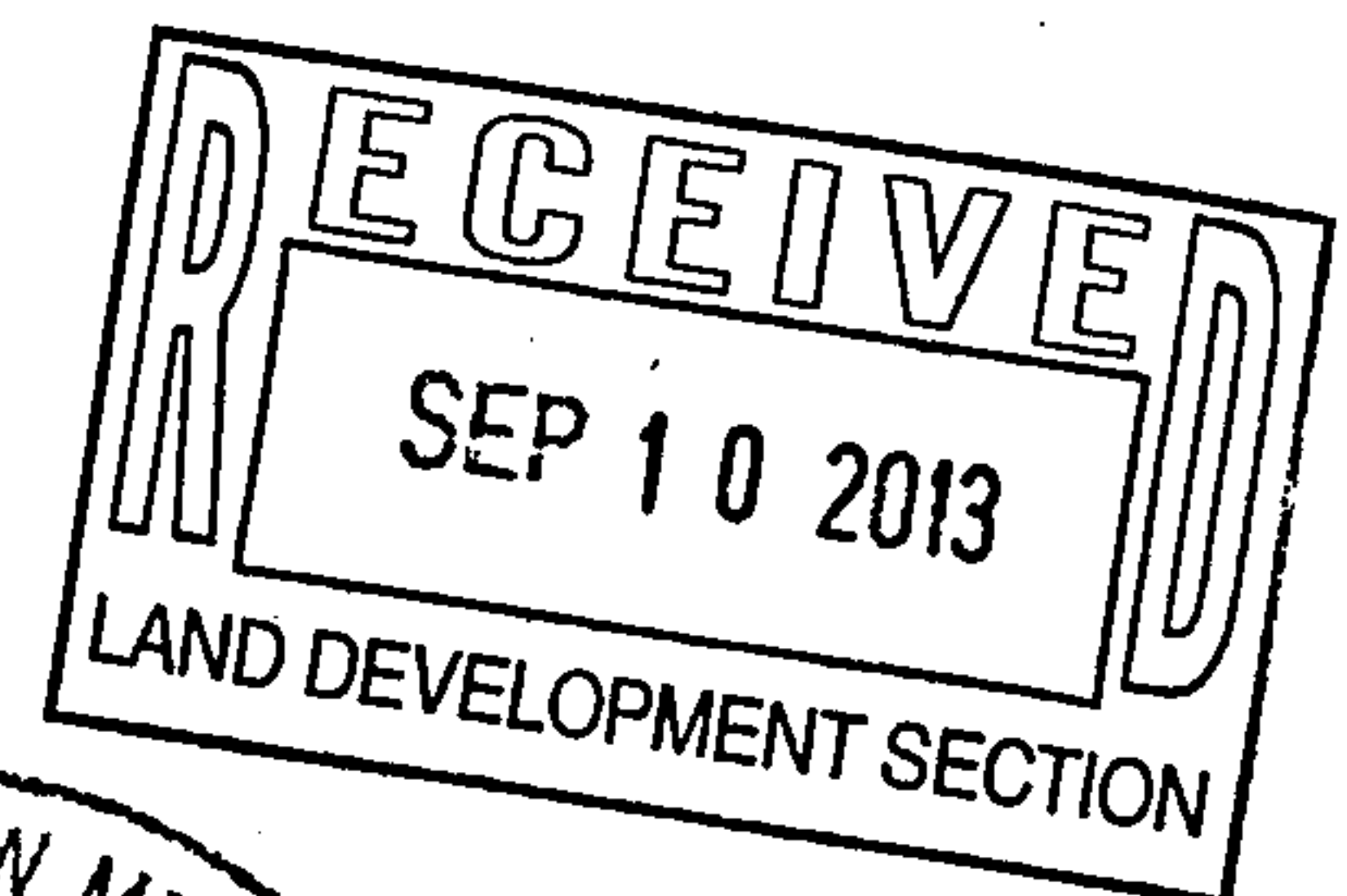
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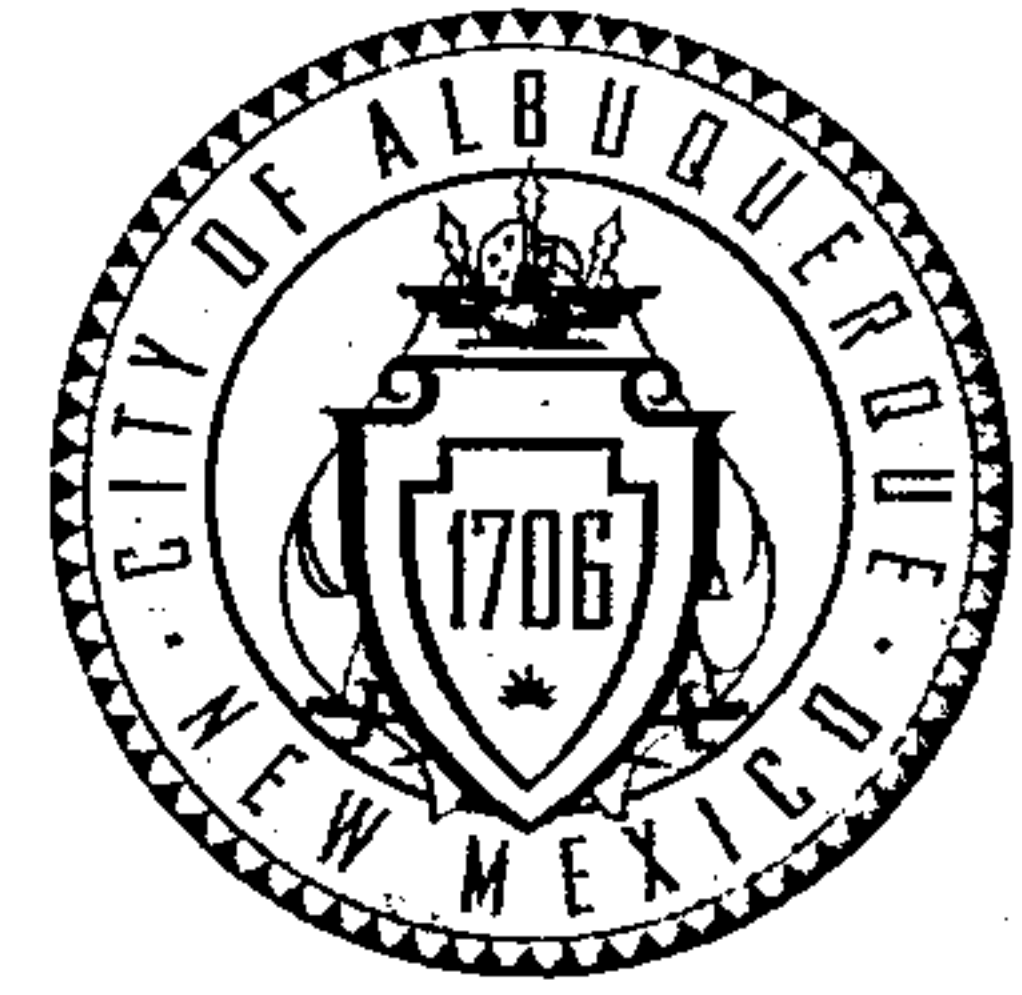
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Benjamin Gardner, AIA, LEED AP

Date 9/10/13



CITY OF ALBUQUERQUE



September 16, 2013

Benjamin Gardner, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

**Re: International School at Mesa del Sol Phase V, 2660 Eastman Crossing SE
Permanent Certificate of Occupancy – Transportation Development
(R16-DA3009)
Certification dated 09-10-13**

Dear Mr. Gardner,

Based upon the information provided in your submittal received 09-10-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

CITY OF ALBUQUERQUE



September 09, 2013

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: International School at Mesa Del Sol-Phase 6
Request For Permanent C.O.
2660 Eastman Crossing SE, Albuquerque, NM 87105
Portion of Tract P, Mesa Del Sol Innovation Park II
Engineer's Stamp Date: 7/12/2013 (R16DA3009)
Certification Date: 09-06-13**

Dear Mr. Warren,

PO Box 1293

Based on the Certification received 9/06/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Albuquerque

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

www.cabq.gov

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk—Katrina Sigala
E-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

R16 DA 3009

Project Title: International School at Mesa Del Sol - Phase 6 Building Permit #: _____ City Drainage #: R-16-Z

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Portion of Tract P, Mesa Del Sol Innovation Park II

City Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105

Engineering Firm: Bohannon Huston Inc. Contact: Brian Warren

Address: 7500 Jefferson St. NE Albuquerque NM 87109

Phone#: 823-1000 Fax#: _____ E-mail: bwarren@bhinc.com

Owner: International School at Mesa Del Sol Contact: Joel Loes

Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105

Phone#: 217-8880 Fax#: _____ E-mail: _____

Architect: Dekker/Perich/Sabatini Contact: John Dillander

Address: 7601 Jefferson St. NE Albuquerque NM 87109

Phone#: 761-9700 Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

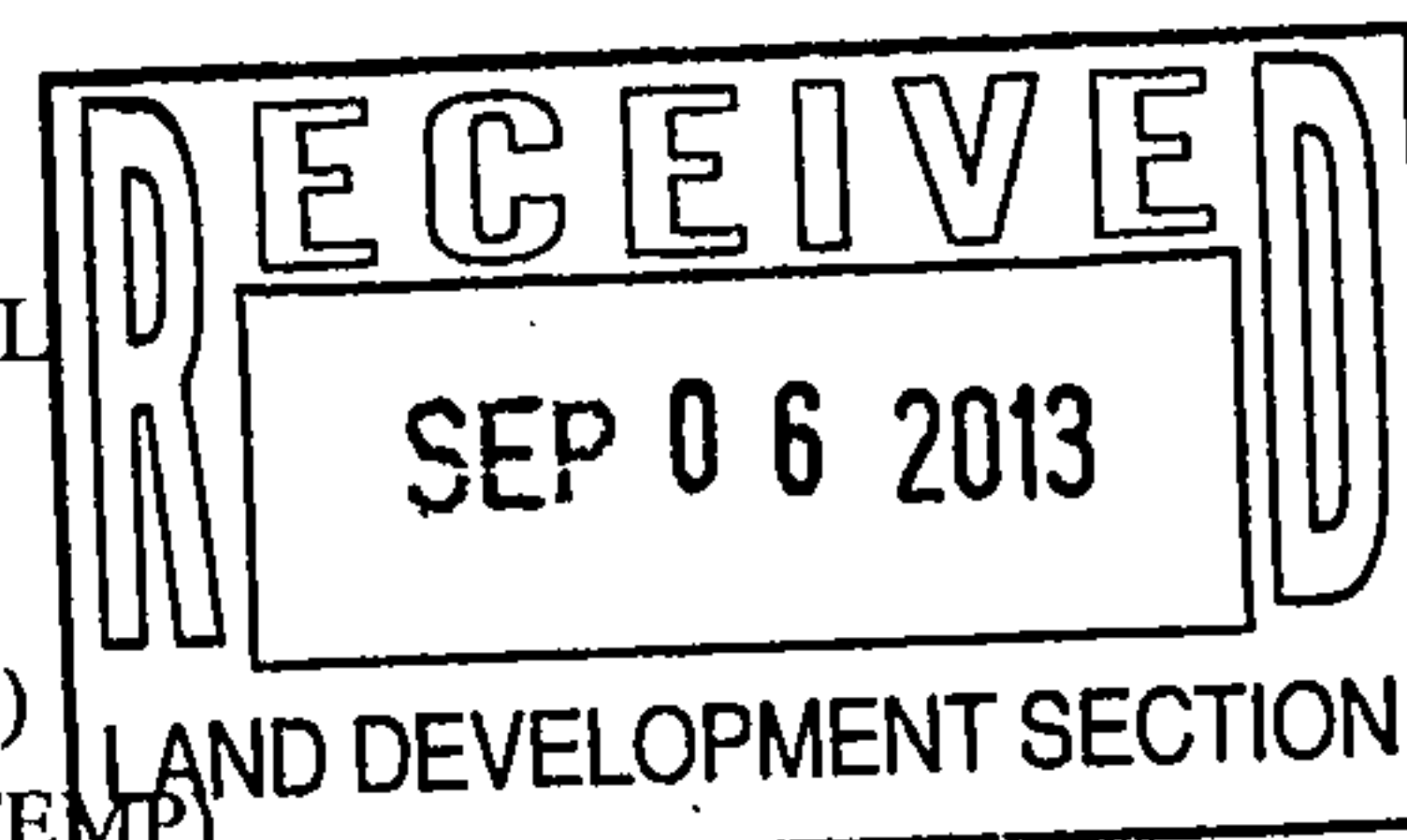
Phone#: _____ Fax#: _____ E-mail: _____

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- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
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- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
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- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 09/06/2013 By: Brian Warren

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Brian Warren

Date: September 6, 2013

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505) 924-3695

Job No.: 20130091

Job Name: Mesa del Sol - International School -
Phase 6

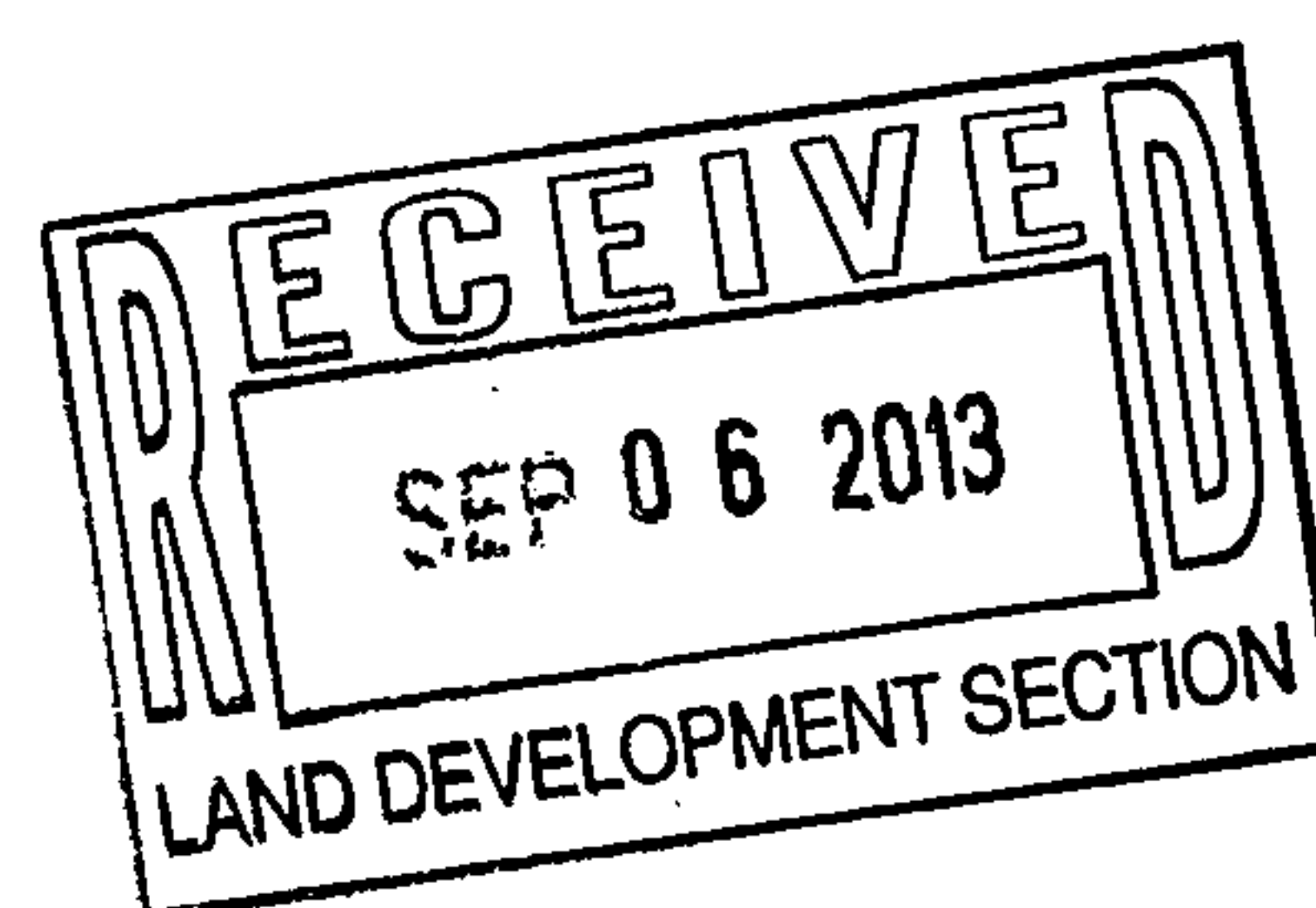
DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage Info Sheet
2	1	Grading Plan w/ Drainage Certification



COMMENTS / INSTRUCTIONS

Tim,
We are submitting this grading plan drainage certification for certificate of occupancy approval. Please call if you have any questions.
Thanks,
Brian

REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



August 16, 2013

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: International School at Mesa Del Sol-Phase 6
Grading and Drainage Plan, (R16DA3009)
Portion of Tract P, Mesa Del Sol Innovation Park II
Engineer's Stamp Date: 7/12/2013**

Dear Mr. Mulbery,

PO Box 1293

Based upon the information provided in your submittal received 7/12/2013, the grading and Drainage Plan is approved for Building Permit.

Albuquerque

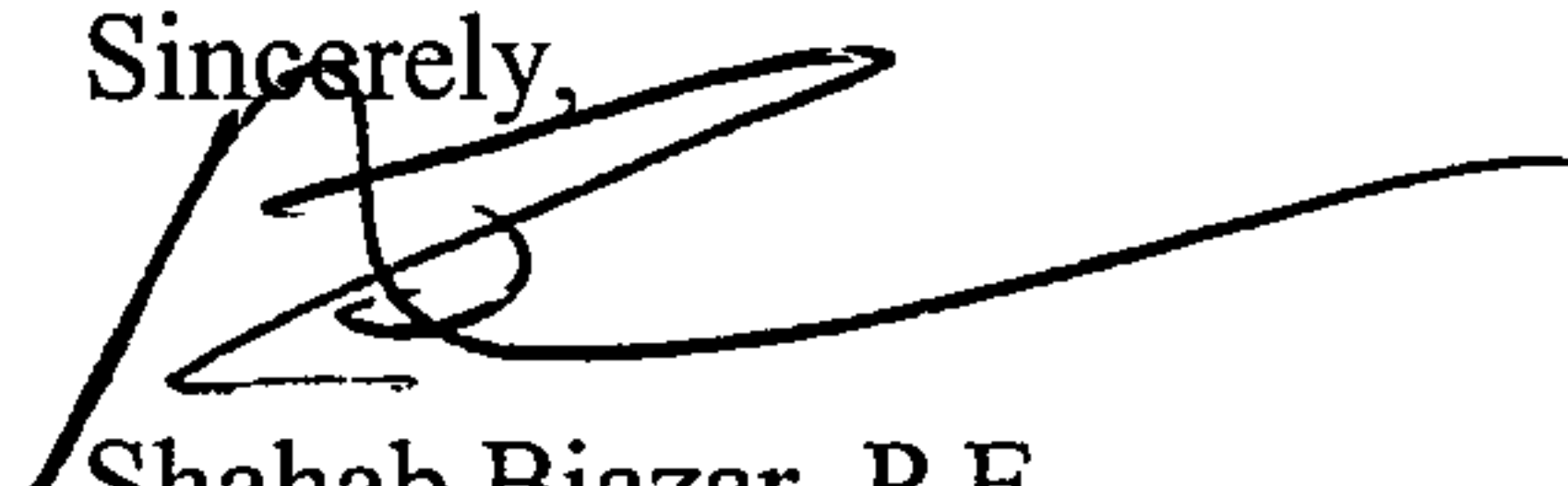
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

216DA3009

Project Title: International School at Mesa Del Sol - Phase 6 Building Permit #: _____ City Drainage #: R-16-Z

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Portion of Tract P, Mesa Del Sol Innovation Park II

City Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105

Engineering Firm: Bohannon Huston Inc. Contact: Brian Warren

Address: 7500 Jefferson St. NE Albuquerque NM 87109

Phone#: 823-1000 Fax#: _____ E-mail: bwarren@bhinc.com

Owner: International School at Mesa Del Sol Contact: Joel Loes

Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105

Phone#: 217-8880 Fax#: _____ E-mail: _____

Architect: Dekker/Perich/Sabatini Contact: John Dillander

Address: 7601 Jefferson St. NE Albuquerque NM 87109

Phone#: 761-9700 Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 7/12/2013 By: Brian Warren

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



August 17, 2012

Brian Warren, P.E.
Bohannon Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109

Re: International School at Mesa del Sol – Phase 4
Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated 7-11-12 (R-16/DA3009)
Certification dated 08-16-12

Dear Mr. Warren,

Based on the Certification received 08-16-12, the above site is approved for a release of a Permanent Certificate of Occupancy by Hydrology. If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk—Katrina Sigala
Email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol -- Phase 4 ZONE MAP/DRG. FILE # R-16-DA-3009
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Brian Warren
PHONE: (505) 823-1000
ZIP CODE: 87109
email: bwarren@bhinc.com

OWNER: International School at Mesa Del Sol
ADDRESS: 2660 Eastman Crossing SE
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas
PHONE: (505) 217-8880
ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: John Dillander
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
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☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

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☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL (ROUGH)
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Brian Warren DATE: 08/16/2012

RECEIVED
AUG 16 2012

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol – Phase 4 ZONE MAP/DRG. FILE # R-16-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Brian Warren
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: International School at Mesa Del Sol
ADDRESS: 2660 Eastman Crossing SE
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas
PHONE: (505) 217-8880
ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: John Dillander
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

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PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
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TYPE OF SUBMITTAL:

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- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

RECEIVED
AUG 16 2012

SUBMITTED BY: Brian Warren DATE: 08/16/2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Brian Warren

Date: August 16, 2012

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505) 924-3695

Job No.: 20130091

Job Name: Mesa del Sol - International School -
Phase 4

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	2	Drainage Info Sheet
2	2	Grading Plan w/ Drainage Certification

RECEIVED
AUG 16 2012

COMMENTS / INSTRUCTIONS

Tim,
We are submitting this grading plan drainage certification for certificate of occupancy permit approval. Please call if you have any questions.
Thanks,
Brian

REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲
SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol – Phase 4 ZONE MAP/DRG. FILE # R-16-~~2~~DA3009
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: International School at Mesa Del Sol
ADDRESS: 2660 Eastman Crossing SE
CITY, STATE: Albuquerque, NM

CONTACT: Joel Loes
PHONE: (505) 217-8880
ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Benjamin Gardner
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL (ROUGH)
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Jeff Mulbery DATE: 07/18/2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



July 26, 2012

Jeff Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

**Re: International School at Mesa Del Sol-Phase 4
Grading and Drainage Plan, (R16DA3009)
Portion of Tract P, Mesa Del Sol Innovation Park II, Received 7/18/2012**

Dear Mr. Mulbery,

Based upon the information provided in your submittal received with Engineer Stamp dates 07/11/2012 on the Grading and Drainage Plan and 07/18/2012 on the Drainage Management Plan, the grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge for disturbing one acre or more and a Topsoil Disturbance Permit for disturbing $\frac{3}{4}$ of an acre or more. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

CITY OF ALBUQUERQUE



June 23, 2010

Kevin J Murtagh, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**Re: International School at MDS Phase 2 Grading and Drainage Plan
Engineer's Stamp date 6-18-10 (R16/DA3009)**

Dear Mr. Murtagh,

Based upon the information provided in your submittal received 6-18-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

NM 87103

If you have any questions, you can contact me at 924-3695.

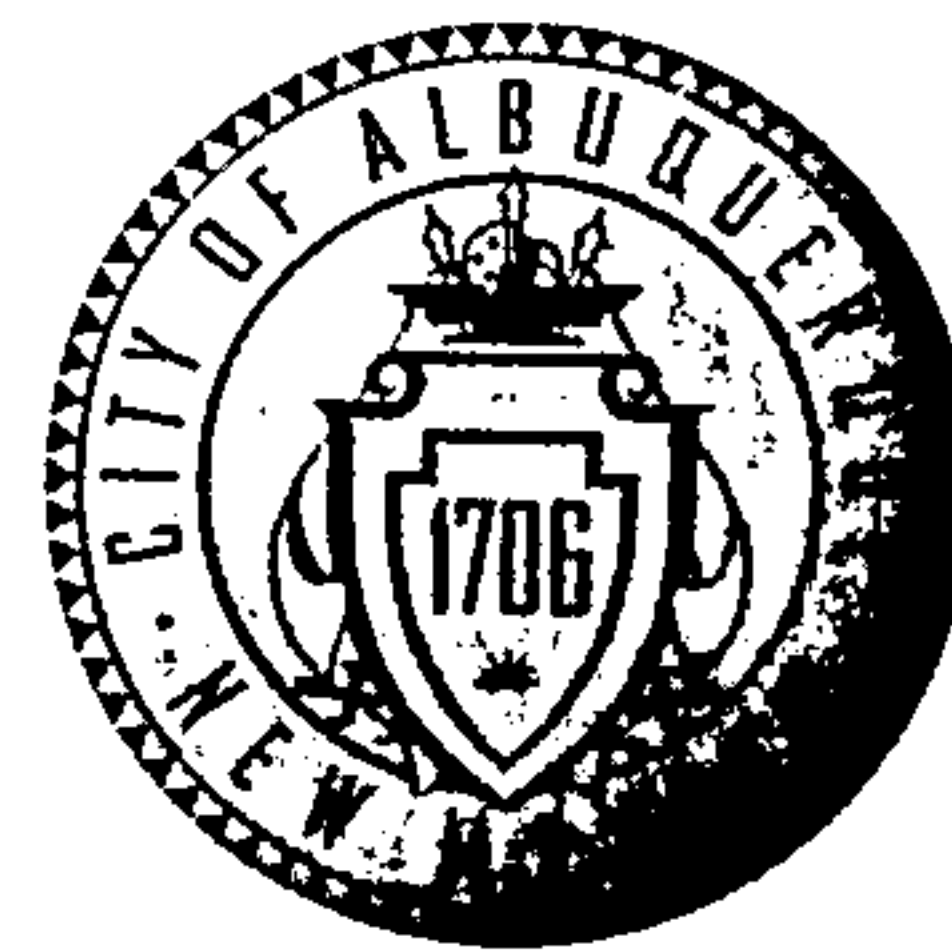
www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



September 2, 2010

Jeffery L. Mulbery, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**Re: The International School Ph II, 2660 Eastman Crossing SE,
Request for Permanent C.O.—Approved
Engineer's Stamp dated: 06-18-10 (R-16/DA3009)
Certification dated: 9-01-10**

Dear Mr. Mulberry,

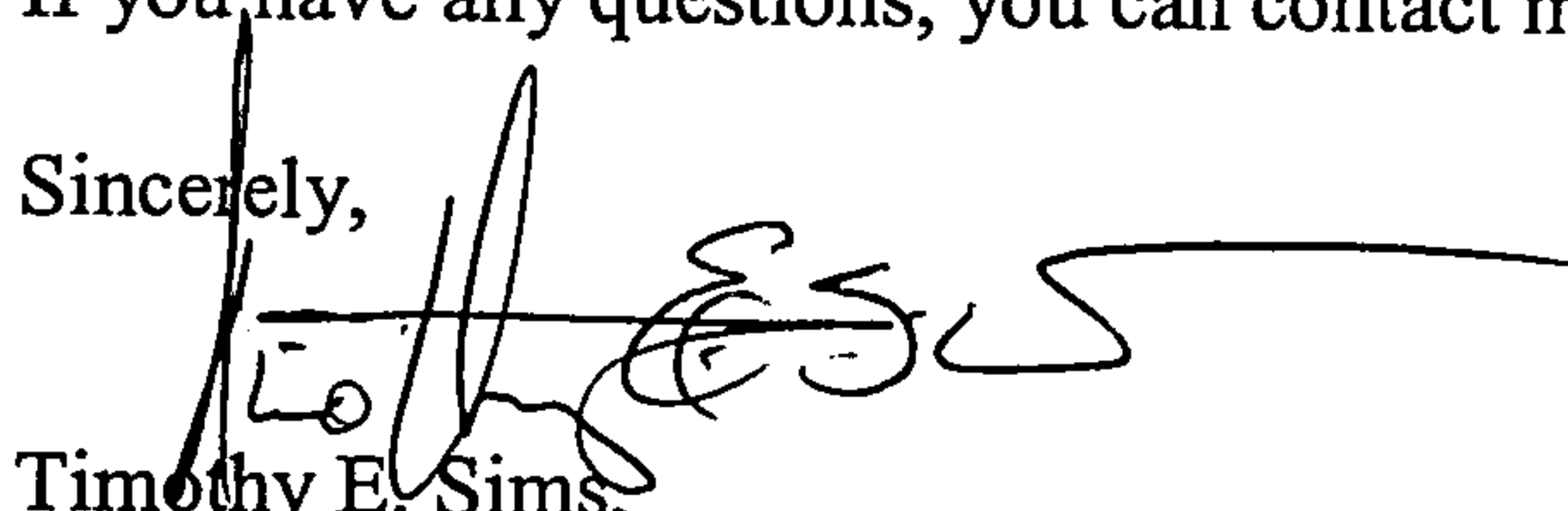
Based upon the information provided in the Certification received 9-01-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol – Phase 2 ZONE MAP/DRG. FILE # R-16-Z
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc. CONTACT: Jeff Mulbery
 ADDRESS: 7500 Jefferson NE PHONE: (505) 823-1000
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: International School at Mesa Del Sol CONTACT: Mark Maestas
 ADDRESS: 2660 Eastman Crossing SE PHONE: (505) 217-8880
 CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Will Gleason
 ADDRESS: 7601 Jefferson NE PHONE: (505) 761-9700
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER CERT (TCL)
- ☐ ENGINEER CERT (DRB SITE PLAN)
- ☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL (ROUGH)
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: Rudy Armijo DATE: 09/01/2010

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Rudy Armijo

Date: September 1, 2010

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505) 924-3695

Job No.: 20110059

Job Name: Mesa del Sol - International School -
Phase II

DELIVERY VIA

☐ Courier ☐ Federal Express
☐ Mail ☐ UPS
☒ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
-----------------	-----------------	--------------------

1	1	Drainage Info Sheet
2	1	Grading Plan, Sheet C-100, Certification date 09/01/2010

COMMENTS / INSTRUCTIONS

Tim,
Please find attached the as-built grading and drainage plan. We are submitting for drainage certification approval for permanent certificate of occupancy. Please call me with any questions.
Thanks,
Rudy

Rec: 9-1-10

REC'D BY: _____ **DATE:** _____ **TIME:** _____

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol – Phase 4 ZONE MAP/DRG. FILE # R-16-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: International School at Mesa Del Sol
ADDRESS: 2660 Eastman Crossing SE
CITY, STATE: Albuquerque, NM

CONTACT: Joel Loes
PHONE: (505) 217-8880
ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Benjamin Gardner
PHONE: (505) 761-9700
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL (ROUGH)
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

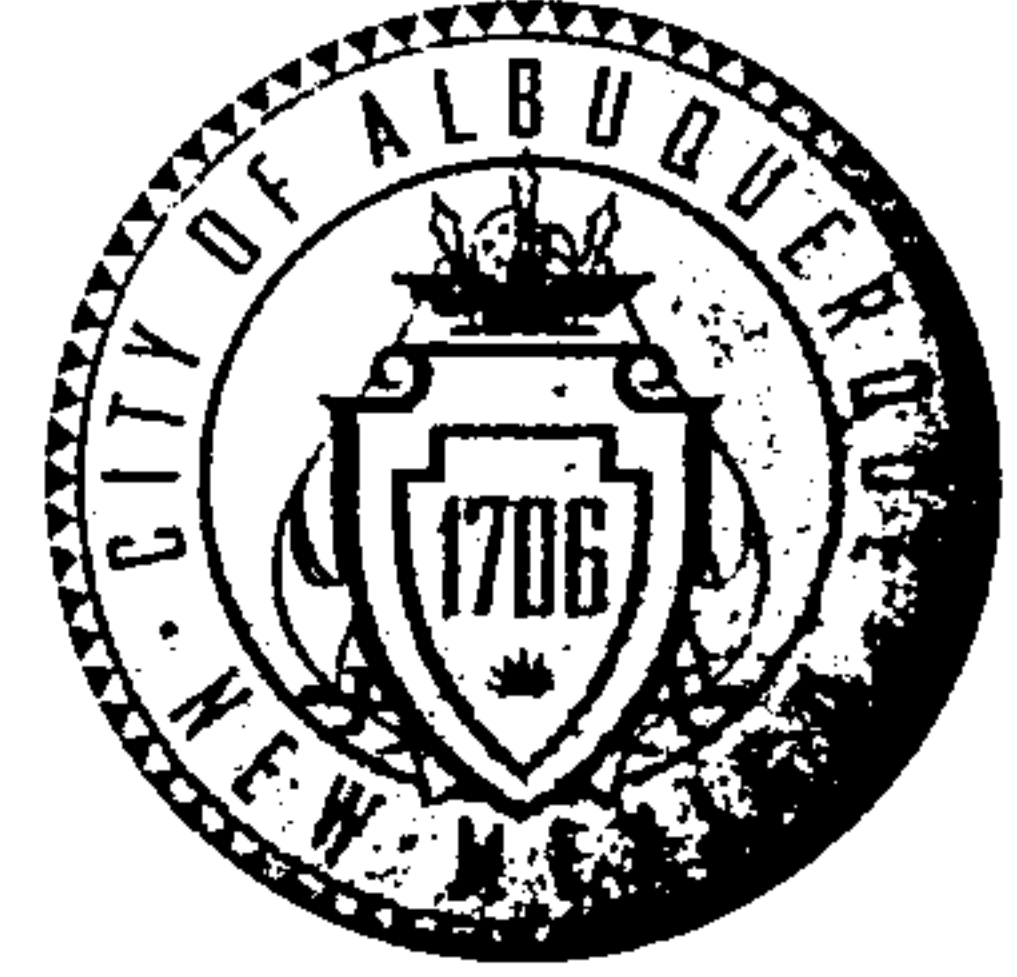
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Jeff Mulbery DATE: 07/18/2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



August 21, 2009

Jeffery L. Mulbery, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Re: International School @ Mesa del Sol, 2660 Eastman Crossings SE
Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated 7/17/07 (R16/DA3009)
Certification dated 8/20/09

Dear Mr. Mulbery,

Based upon the information provided in your submittal received 8/20/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol ZONE MAP/DRG. FILE # R-16-Z / DA3009
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc. CONTACT: Jeff Mulbery
ADDRESS: 7500 Jefferson NE PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: International School at Mesa Del Sol CONTACT: Mark Maestas
ADDRESS: 2660 Eastman Crossing SE PHONE: (505) 217-8880
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini CONTACT: Cara McCulloch
ADDRESS: 7601 Jefferson NE PHONE: (505) 923-3588
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL (ROUGH)
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Jeff Mulbery DATE: 08/20/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Jeff Mulbery

Date: August 20, 2009

Time Due: ☒ This A.M.
☐ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505) 924-3695

Job No.: 20100096

Job Name: Mesa del Sol - International School

DELIVERY VIA

☐ Courier ☐ Federal Express
☐ Mail ☐ UPS
☒ Other

PICK UP

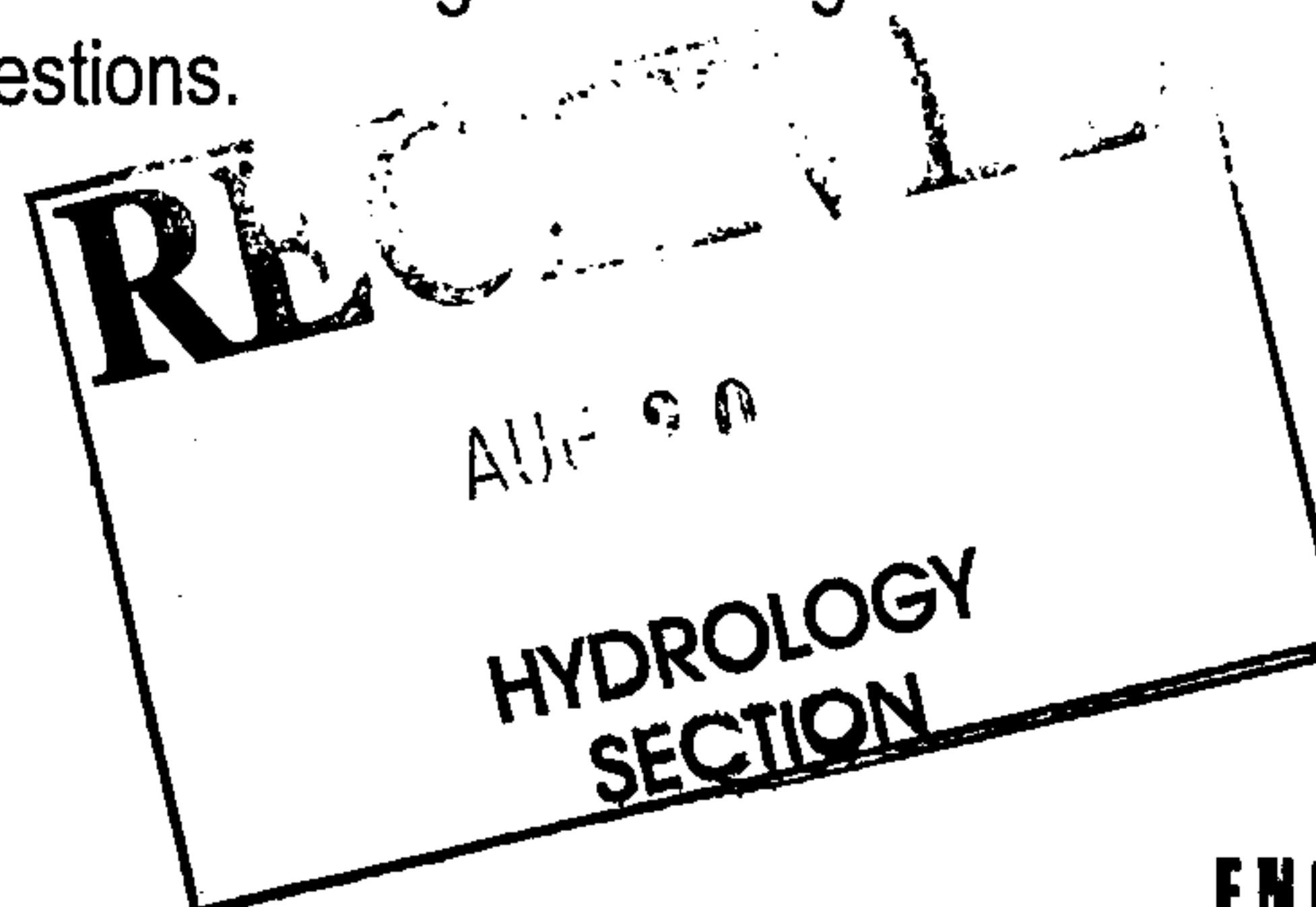
Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
-----------------	-----------------	--------------------

1	1	Drainage Info Sheet
2	1	Grading Plan, Sheets C-100, Certification date 08/20/09

COMMENTS / INSTRUCTIONS

Tim,
Please find attached the as-built grading and drainage plan. We are submitting for drainage certification approval for permanent certificate of occupancy. Please call me with any questions.
Thanks,
Jeff



REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: International School at Mesa Del Sol ZONE MAP/DRG. FILE # R-16-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract P, Mesa del Sol Innovation Park II

CITY ADDRESS: 2660 Eastman Crossing SE, Albuquerque, NM 87196

ENGINEERING FIRM: Bohannon Huston Inc.
ADDRESS: 7500 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Jeff Mulbery
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: International School at Mesa Del Sol
ADDRESS: 2660 Eastman Crossing SE
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas
PHONE: (505) 217-8880
ZIP CODE: 87106

ARCHITECT: Dekker/Perich/Sabatini
ADDRESS: 7601 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: Cara McCulloch
PHONE: (505) 923-3588
ZIP CODE: 87109

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER CERT (TCL)
☐ ENGINEER CERT (DRB SITE PLAN)
☐ OTHER (REVISED G&D PLAN)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
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☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL (ROUGH)
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

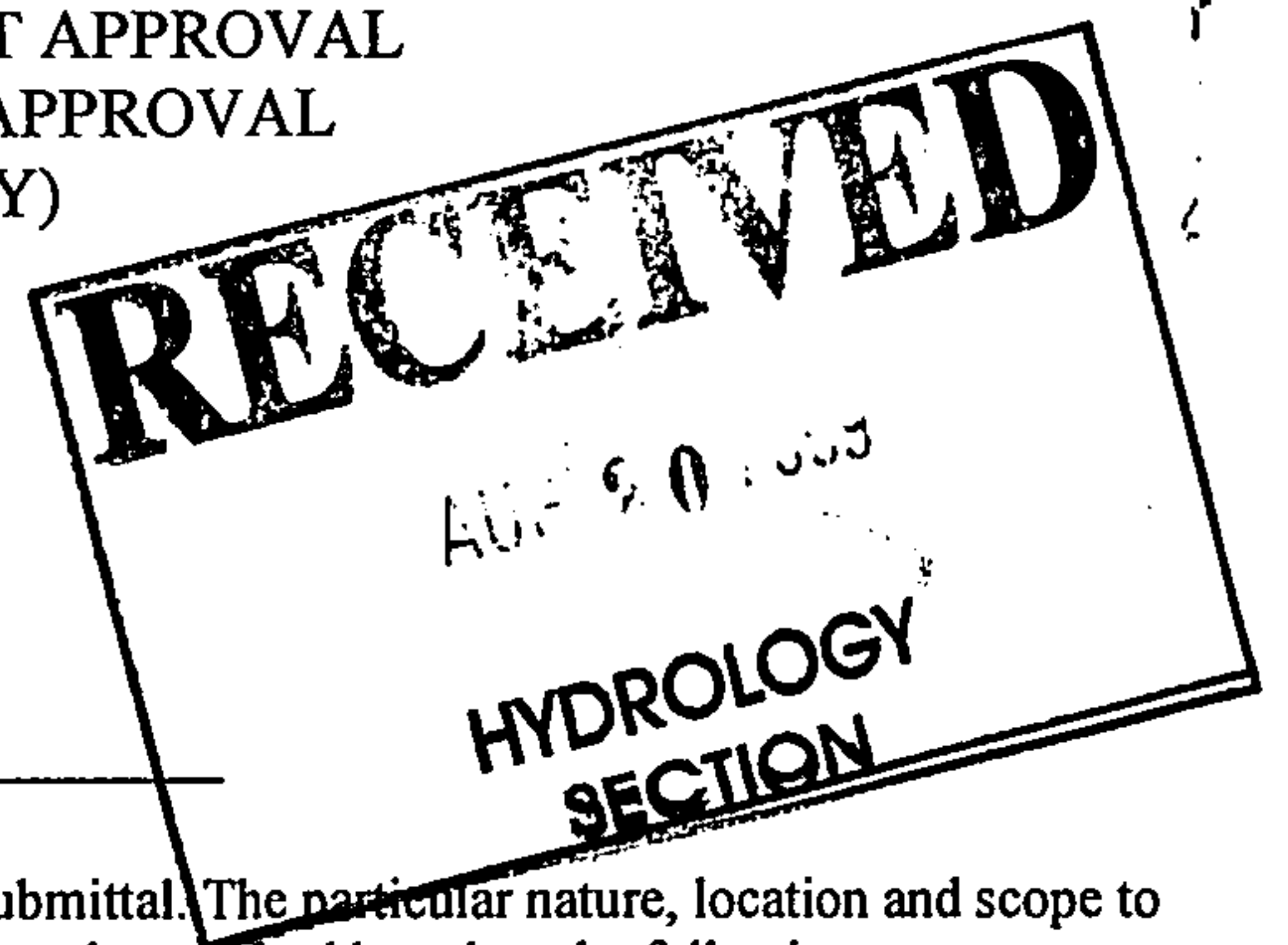
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

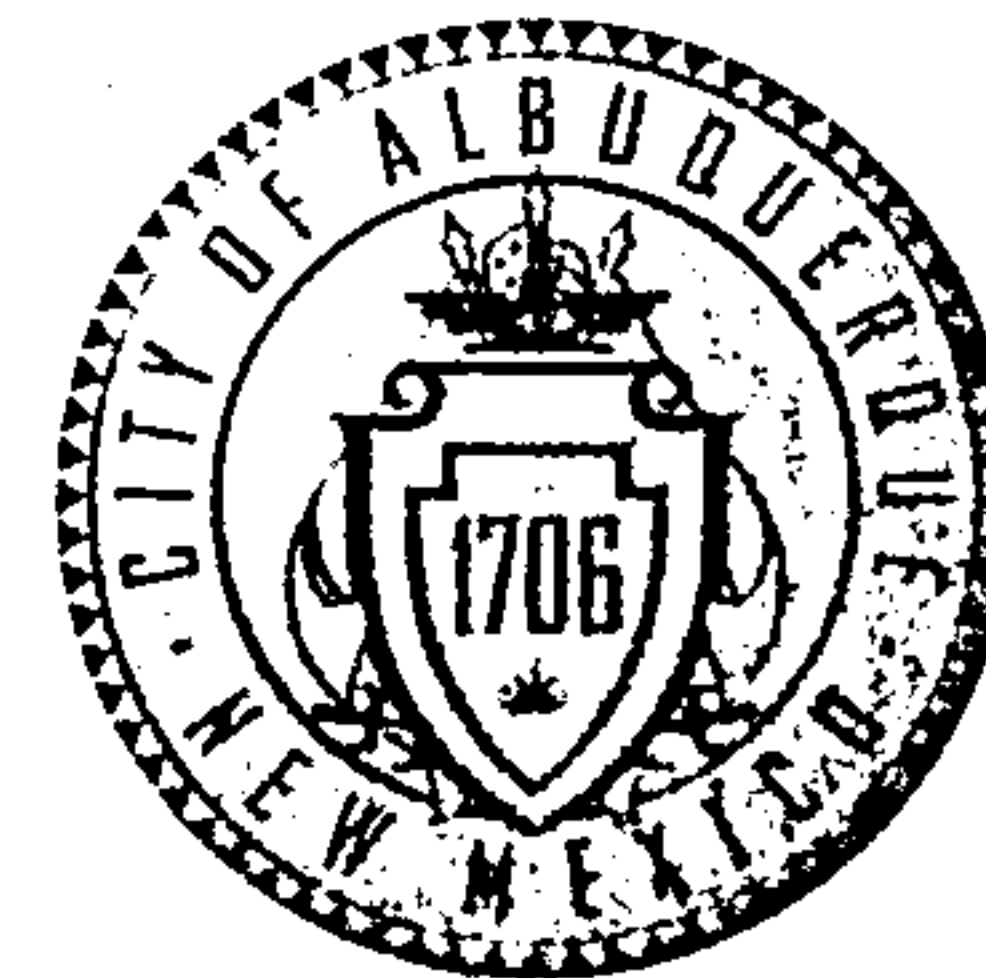
SUBMITTED BY: Jeff Mulbery DATE: 08/20/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



July 1, 2009

Jeffrey L. Mulbery, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

Re: International School Grading and Drainage Plan
Engineer's Stamp date 6-23-09 (R16/DA3009)

Dear Mr. Mulberry,

Based upon the information provided in your submittal received 6-23-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

The plan diverts runoff, altering the existing flow condition. Upon permanent site development, this site will accept off site flows, if any, rather than diverting them around the site.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

ARCHITECTURAL REVIEW COMMITTEE

MESA DEL SOL

July 19, 2013

Mr. Joel Loes
Project Manager
Klinger Constructors
8701 Washington Street NE
Albuquerque, NM 87113

Re: Expansion of The International School at Mesa del Sol
Final Approval of Plans

Dear Mr. Loes:

The Mesa del Sol Employment Center Architectural Review Committee ("ARC") has approved the site development expansion plans for the above referenced Project (the "Plans"). While the Mesa del Sol Level B Community Master Plan does not allow for permanent temporary buildings, the ARC acknowledges that the addition of three additional temporary portables is necessary as a means to increase student enrollment until such time as the permanent facility is built on a different site.

While the ARC is approving this set of plans, we are requiring that The International School provide the ARC with documentation on an anticipated timeframe for the school to build a permanent facility at Mesa del Sol. Please provide a letter to the ARC outlining the strategy and timeline for transitioning from the temporary site to a permanent campus. In addition, should the school seek approval from the ARC for additional temporary portables; the ARC will require additional landscaping and fenced-in play areas.

- 1) Please submit the ARC approved Plans, along with a copy of this approval letter to the City Planning Director. The Planning Director has the discretion to send a project to either the City's Development Review Board (DRB) or straight to Building Permit. I have provided two additional sets of the approved plans for your records.
- 2) Please forward a copy of your building permit to the ARC for our records.
- 3) Any changes to the Plans, whether at the Owner's election or mandated by the City, must be submitted, reviewed and approved by the ARC.
- 4) Upon completion of all improvements, any building, and prior to occupancy, the Owner or its Representative shall certify, in writing, that the Project has been completed in accordance with the approved Plans.

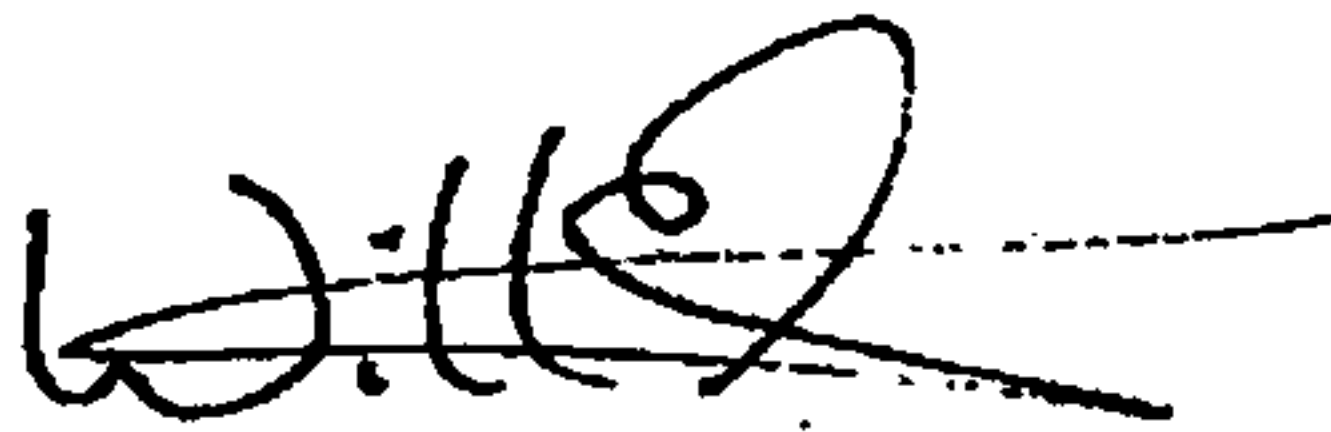
5700 UNIVERSITY WEST BLVD. SE, SUITE 310
ALBUQUERQUE, NM 87106
TELEPHONE: (505) 452-2600 FACSIMILE: (505) 452-1900

Page Two
Mr. Joel Loes
July 19, 2013

An approval by the ARC does not constitute a representation or warranty as to quality or compliance with building codes, nor shall the ARC be responsible for any defects in the Plans. In addition, an approval by the ARC does not assure approval by any governmental agencies that require permits for construction.

If you have questions, please feel free to contact Carrie Biesiot at (505) 452-2600 or email her at cbiesiot@fcmds.com. Thank you.

Sincerely,
Mesa del Sol Architectural Review Committee

A handwritten signature in black ink, appearing to read "Will Gleason", with a stylized flourish at the end.

Will Gleason, Chairman

Enclosures

Cc: Sean Joyce, The International School at Mesa del Sol

ARCHITECTURAL REVIEW COMMITTEE

MESA DEL SOL

July 19, 2012

Mr. Joel Loes
Project Manager
Klinger Constructors
8701 Washington Street NE
Albuquerque, NM 87113

Re: Expansion of The International School at Mesa del Sol
Final Approval of Plans

Dear Mr. Loes:

The Mesa del Sol Employment Center Architectural Review Committee ("ARC") has approved the site development expansion plans for the above referenced Project (the "Plans"). While the Level B plans do not allow for permanent temporary buildings, the ARC acknowledges that the addition of four single temporary portables is necessary due to the increase in the student population until such time as the permanent facility is built on a different site.

While the ARC is approving the plans, we are requiring that The International School provide the ARC with documentation on an anticipated timeframe that the school will build a permanent facility at Mesa del Sol. In addition, should the school seek approval from the ARC for additional temporary portables, the ARC will require additional landscaping and fenced in play areas.

- 1) Please submit the ARC approved Plans, along with a copy of this approval letter to the City Planning Director. The Planning Director has the discretion to send a project to either the City's Development Review Board (DRB) or straight to Building Permit. I have provided two additional sets of the approved plans for your records.
- 2) Please forward a copy of your building permit to the ARC for our records.
- 3) Any changes to the Plans, whether at the Owner's election or mandated by the City, must be submitted, reviewed and approved by the ARC.
- 4) Upon completion of all improvements, any building, and prior to occupancy, the Owner or its Representative shall certify, in writing, that the Project has been completed in accordance with the approved Plans.

An approval by the ARC does not constitute a representation or warranty as to quality or compliance with building codes, nor shall the ARC be responsible for any defects in the Plans. In addition, an approval by the ARC does not assure approval by any governmental agencies that require permits for construction.

5700 UNIVERSITY WEST BLVD. SE, SUITE 310
ALBUQUERQUE, NM 87106
TELEPHONE: (505) 452-2600 FACSIMILE: (505) 452-1900

Page Two
Mr. Joel Loes
July 19, 2012

If you have questions, please feel free to contact me at (505) 452-2600, or email cbiesiot@fcmds.com. Thank you.

Sincerely,
Mesa del Sol Architectural Review Committee



Carrie Biesiot
Administrator

Enclosures

Cc: Sean Joyce, The International School at Mesa del Sol
Chris Anderson, Mesa del Sol

ARCHITECTURAL REVIEW COMMITTEE

MESA DEL SOL

July 19, 2012

Ms. Suzanne Lubar
Planning Director
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

RE: Expansion of The International School at Mesa del Sol

Dear Ms. Lubar:

The Architectural Review Committee ("ARC") has reviewed the expansion plans for the International School at Mesa del Sol. The school will be adding four additional single temporary buildings to accommodate the increase in student population at the school. While the Mesa del Sol Level B Plan does not specifically address the issue of accommodating portable classrooms, the ARC has allowed the International School to use portables while it gathers resources for a permanent facility.

In July 2009, the ARC approved the initial phase of portables with a provision to create a permanent campus within three years. This timeframe assumed that residential development would begin in 2010 and increase over the next two years. However, with the downturn in the economy, the residential development has just begun in 2012, with the first permanent residents moving into their homes in July of 2012.

This approval does carry some conditions. The International School must provide the ARC with documentation that they will provide us with a plan for a future building. Within the coming year, the school will be expanding to add a 7th grade. With three kindergarten classes and each subsequent class moving on to the next grade level, the school has been a great success. In addition, should the school decide to expand on their existing site in addition to what they are planning now, the ARC will require additional landscaping and fenced in play areas for the children.

The ARC has found the expansion plans satisfactory and has provided the General Contractor with a letter of approval for the City approval process. Please don't hesitate to call me if you have any questions.

Sincerely,

Mesa del Sol Architectural Review Committee



Will Gleason, Chairman

Cc: Sean Joyce, The International School at Mesa del Sol
Chris Anderson, Mesa del Sol
Joel Loes, Klinger Constructors

5700 UNIVERSITY WEST BLVD. SE, SUITE 310
ALBUQUERQUE, NM 87106
TELEPHONE: (505) 452-2600 FACSIMILE: (505) 452-1900

ARCHITECTURAL REVIEW COMMITTEE

MESA DEL SOL

August 2, 2011

Mr. Chris Youngblood
President/CEO Principal Structural Engineer
Chavez-Grieves
4700 Lincoln Road NE, Suite 102
Albuquerque, NM 87109

RE: The International School at Mesa del Sol - Final Approval of Plans

Dear Mr. Youngblood:

The Mesa del Sol Employment Center Architectural Review Committee ("ARC") has approved the International School's expansion which consists of replacing the current single portable classroom with a double portable in the same location that was previously approved by the ARC.

- 1) Please submit the ARC approved Plans, along with a copy of this approval letter to the City Planning Director. The Planning Director has the discretion to send a project to either the City's Development Review Board (DRB) or straight to Building Permit.
- 2) Forward a copy of your building permit to the ARC for our records.
- 3) Any changes to the Plans, whether at the Owner's election or mandated by the City, must be submitted, reviewed and approved by the ARC.
- 4) Upon completion of all improvements, any building, and prior to occupancy, the Owner or its Representative shall certify, in writing, that the Project has been completed in accordance with the approved Plans.

An approval by the ARC does not constitute a representation or warranty as to quality or compliance with building codes, nor shall the ARC be responsible for any defects in the Plans. In addition, an approval by the ARC does not assure approval by any governmental agencies that require permits for construction.

Please provide me with the aforementioned revisions as soon as possible. If you have questions, please feel free to contact me at (505) 452-2600, or email cbiesiot@fcmads.com. Thank you.

Sincerely,

Mesa del Sol Architectural Review Committee



Carrie Biesiot
Administrator

Cc: Architectural Review Committee

5700 UNIVERSITY WEST BLVD. SE, SUITE 310
ALBUQUERQUE, NM 87106
TELEPHONE: (505) 452-2600 FACSIMILE: (505) 452-1900

ARCHITECTURAL REVIEW COMMITTEE

MESA DEL SOL

July 2, 2010

Mr. Mark Maestas
Governing Council President
The International School at Mesa del Sol
PO Box 4584
Albuquerque, NM 87196

Re: The International School - Mesa del Sol Employment Center, Albuquerque, NM
Final Approval of Plans - Phase II

Dear Mr. Maestas:

The Mesa Del Sol Employment Center Architectural Review Committee ("ARC") has approved the site development plans for the above referenced Project (the "Plans"). Being that The International School will be occupying land on a temporary basis until such time as the permanent facilities will be built (in approximately two years), the criteria which is detailed in the Employment Center Design Standards does not necessarily apply to temporary facilities.

- 1) Please submit the ARC approved Plans, along with a copy of this approval letter to the City Planning Director. The Planning Director has the discretion to send a project to either the City's Development Review Board (DRB) or straight to Building Permit. I have provided two additional sets of the approved plans for your records.
- 2) Please forward a copy of your building permit to the ARC for our records.
- 3) Any changes to the Plans, whether at the Owner's election or mandated by the City, must be submitted, reviewed and approved by the ARC.
- 4) Upon completion of all improvements, any building, and prior to occupancy, the Owner or its Representative shall certify, in writing, that the Project has been completed in accordance with the approved Plans.

An approval by the ARC does not constitute a representation or warranty as to quality or compliance with building codes, nor shall the ARC be responsible for any defects in the Plans. In addition, an approval by the ARC does not assure approval by any governmental agencies that require permits for construction. If you have questions, please feel free to contact me at (505) 452-2600, or email cbiesiot@fcmds.com. Thank you.

Sincerely,
Mesa del Sol Architectural Review Committee



Carrie Biesiot
Administrator

5700 UNIVERSITY WEST BLVD. SE, SUITE 310
ALBUQUERQUE, NM 87106
TELEPHONE: (505) 452-2600 FACSIMILE: (505) 452-1900

Architectural Review Committee

July 21, 2009

Mr. Richard Dineen
Planning Director, City of Albuquerque
Plaza del Sol
Albuquerque, NM 87102

Dear Richard:

The Architectural Review Committee has reviewed the plans for The International School at Mesa del Sol. The International School, proposed to be built near Albuquerque Studios on Eastman Avenue, is the first step in creating educational facilities at Mesa del Sol. The school has been approved as a charter school with a mandate to operate within the boundaries of Mesa del Sol. While there are no permanent residents yet at Mesa del Sol, there are approximately 2,000 people working in the area on a daily basis. This has created a demand for a school in the area.

Since The International School will be occupying land on a temporary basis until such time as the permanent facilities will be built (in approximately two years), the ARC has reviewed the plans differently than for a permanent building. The ARC reviewed the plans with the intent of ensuring safety while minimizing improvements that would not be able to be moved to a new, permanent facility. For instance, the ARC is allowing the use of manufactured portable buildings at the school site. This allows the school to become operational without the investment of permanent structures.

The ARC has reviewed the plans and finds them satisfactory, given the temporary nature of the facilities. It has imposed a deadline of three years for the school to relocate to a new location with permanent facilities. The terms of the lease for the land are for two years with one option to extend an additional year. This also coincides with anticipated development of the first phase of residential at Mesa del Sol, which would help increase the demand for a permanent school.

Please feel free to call with any questions. Thank you.

Sincerely,



Will Gleason, Chairman
Architectural Review Committee

5700 University W. Blvd. SE, Suite 310, Albuquerque, NM 87106
Telephone: (505) 452-2600 Facsimile: (505) 452-1900

COA Zoning Department
600 2nd Street
Albuquerque, NM 87102

August 20, 2012

Subject: The International School at Mesa del Sol – Certificate of Occupancy for August 21, 2012 start date.

To Whom It May Concern,

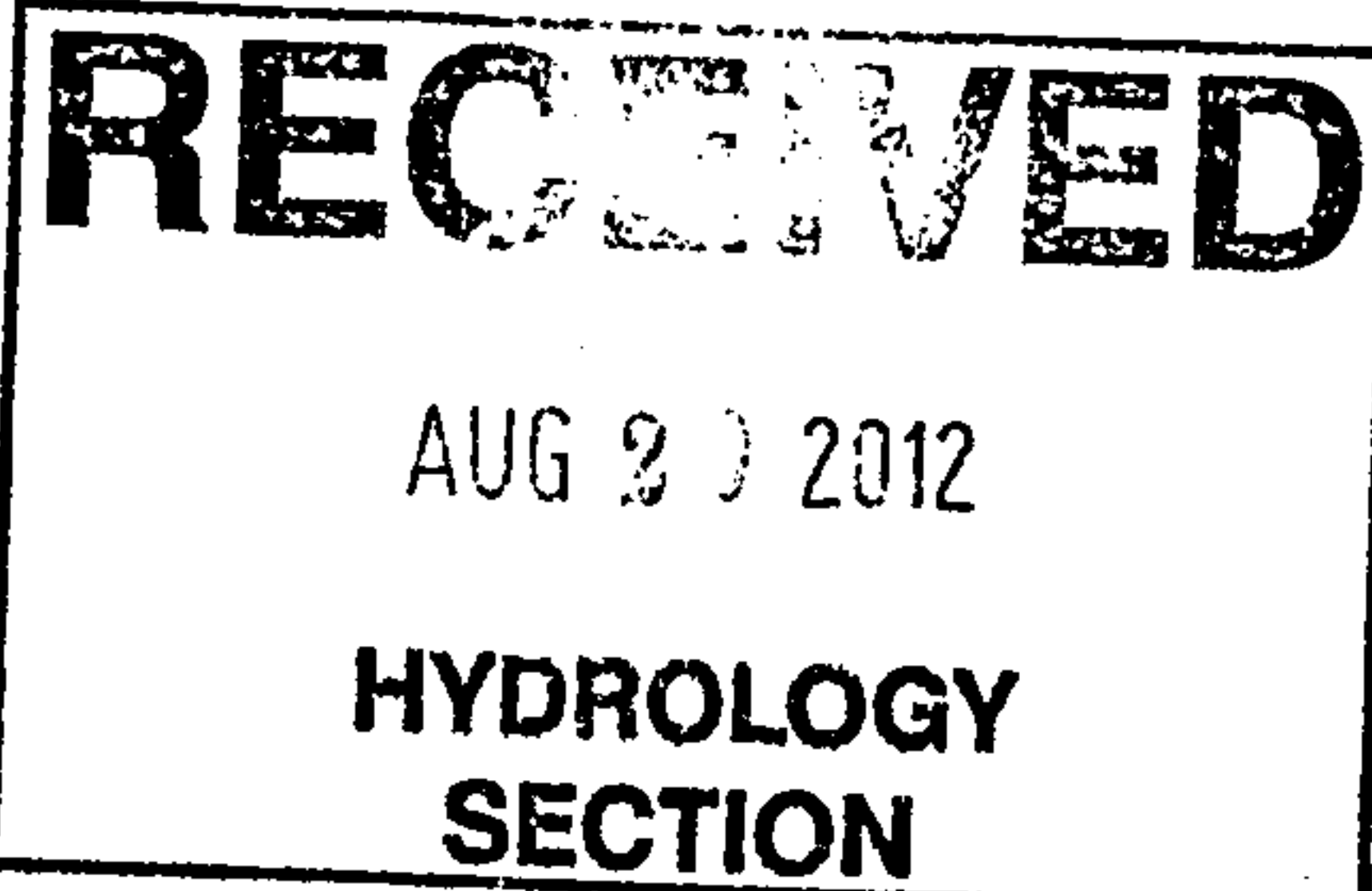
This letter is to document the understanding about the parking surface located at The International School at 2660 Eastman Crossing. Upon requesting issuance of our Certificate of Occupancy it was brought to our attention that the paving conditions for the current expansion as well as the previously existing conditions are now considered unacceptable to the City.

To accommodate this requirement the International School will need some time to reallocate funds, resources, and efforts that will pull away from the overall goal of the permanent facility. Therefore, The International School respectfully request some time to allow these resources to be acquired as well as a working window to avoid creating a hazardous condition for the students and teachers of The International School.

The International School proposes the following timeline to schedule the required work to be installed.

- The International School will work with the City to determine the requirements of the parking areas by October 31, 2012.
- The International School will complete 50% of the agreed upon parking area by the completion of winter break or January 11, 2013.
- The International School will complete the balance of the requirements by the completion of Spring Break or April 15, 2013.

For this we request the City of Albuquerque release the temporary Certificate of Occupancy as soon as possible to allow school to start on Tuesday August 21, 2012.



CITY OF ALBUQUERQUE



August 20, 2012

Benjamin Gardner, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

**Re: International School at Mesa del Sol Phase IV, 2660 Eastman Crossing SE
Temporary Certificate of Occupancy – Transportation Development
(R16-DA3009)**

Certification dated 08-16-12

Dear Mr. Gardner,

Based upon the information provided in your submittal received 08-20-12, Transportation Development has no objection to the issuance of a 120-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 120-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

Metro, Kristal D.

From: Dourte, Richard H.
Sent: Monday, August 20, 2012 4:45 PM
To: 'Barrera, Manny'
Cc: Metro, Kristal D.
Subject: RE: International School

ok...

08-20-12
 Per Richard Dourte,
 approve 120-day
 temp CO

From: Barrera, Manny [mailto:mannybarrera@forestcity.net]
Sent: Monday, August 20, 2012 4:33 PM
To: Dourte, Richard H.
Cc: Metro, Kristal D.
Subject: RE: International School

Richard,
 Please see the attached.

Are we able to get the Temp CO for the school? We really need to get those kids in there.

Thanks for the help.
 Manny

From: Dourte, Richard H. [mailto:RDourte@cabq.gov]
Sent: Monday, August 20, 2012 3:45 PM
To: Barrera, Manny
Cc: Metro, Kristal D.
Subject: RE: International School

Manny, the letter looks fine....I believe that you were going to get a certification packet to Kristal this afternoon, can you tell us where that is??

Thanks,

From: Barrera, Manny [mailto:mannybarrera@forestcity.net]
Sent: Monday, August 20, 2012 3:31 PM
To: Dourte, Richard H.
Subject: International School

Richard,
 Please see the attached and let me know if this will suffice to obtain the temporary Certificate of Occupancy.

The International School will need to let the community know if it will be able to open tomorrow.
 As a side note they will be struggling with the cost of as it will displace the planning dollars or the playground fund.

We appreciate your assistance in this matter.
 Manny

8/20/2012

August 16, 2012

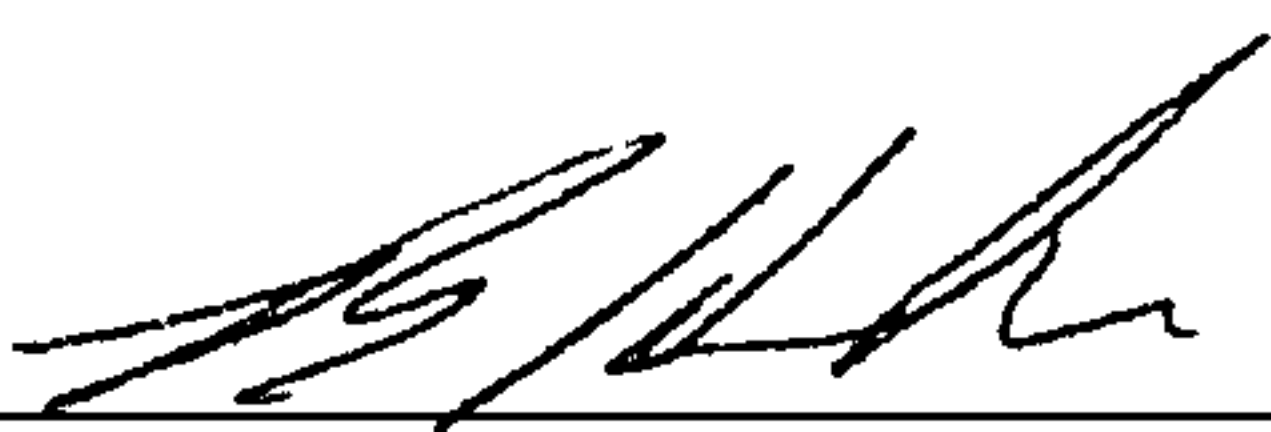
Kristal D. Metro, P.E
Section Manager, Transportation Development
Development & Building Services Division
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, NM 87102

Re: As-Built Certification of Traffic Circulation Layout Plan
International School at Mesa del Sol

Dear Kristal:

I, Benjamin H. Gardner, New Mexico Registered Architect 4161, of the firm Dekker/Perich/Sabatini hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plan dated 07/02/2012. I further certify that I have personally visited the project site on 8/16/2012 and have determined by visual inspection that the construction provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

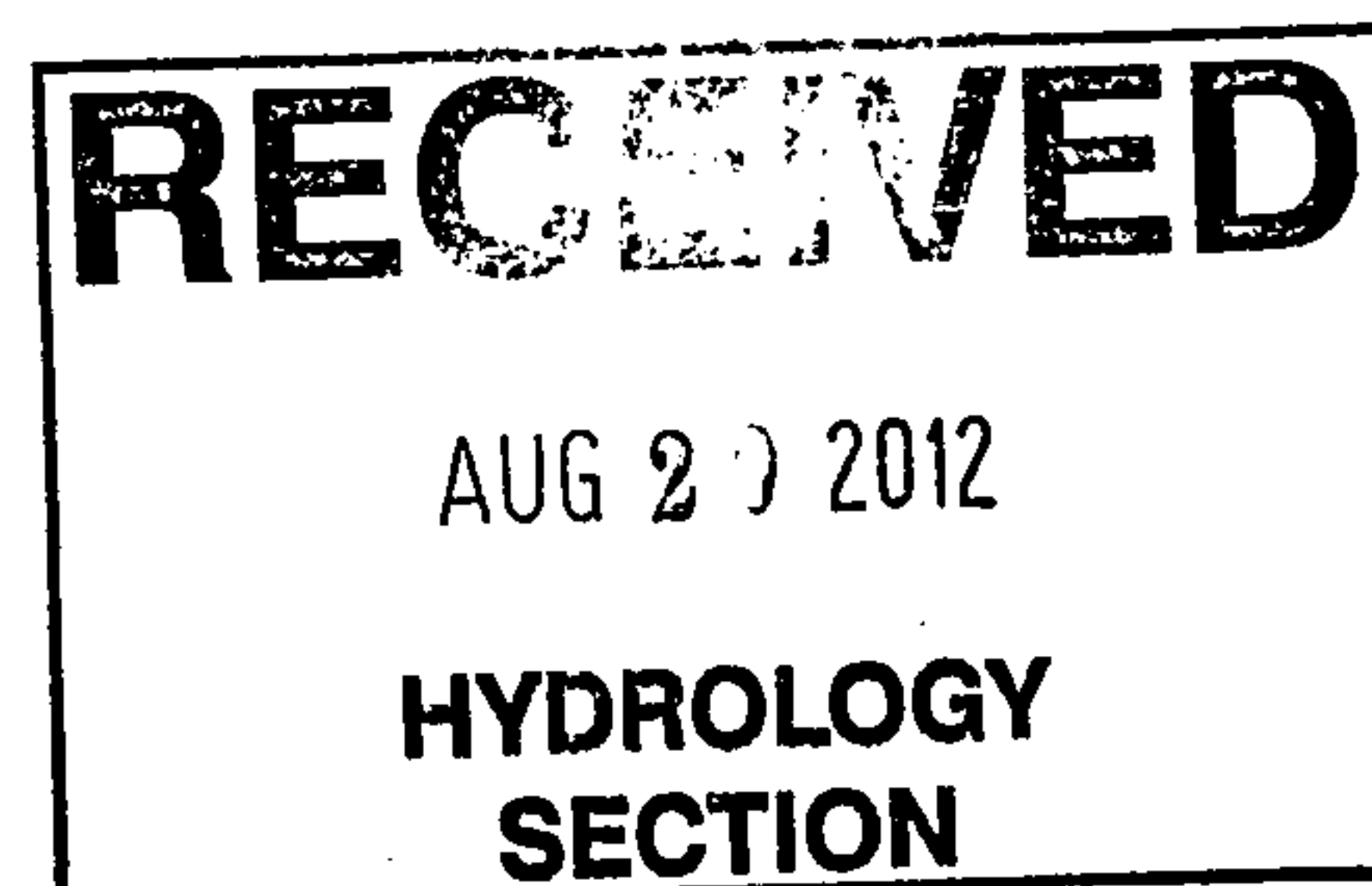
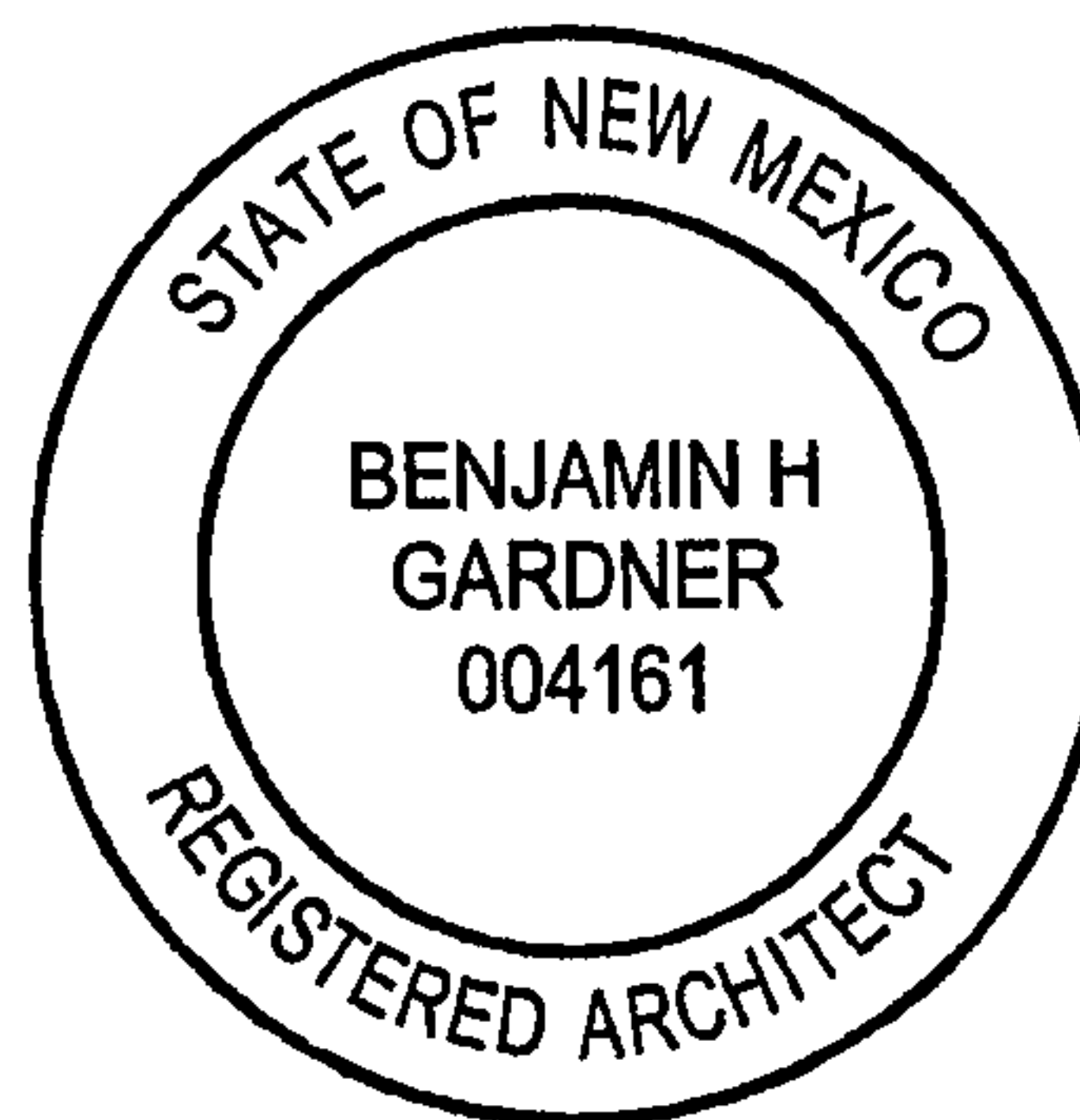
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Benjamin H. Gardner

8/16/12

Date



■■■
architecture
interiors
landscape
planning
engineering



5700 University West Blvd. SE, Suite 310, Albuquerque, NM 87106

PHONE: 505-452-2600 FAX: 505-452-1900

COA Zoning Department
600 2nd Street
Albuquerque, NM 87102

August 20, 2012

Subject: The International School at Mesa del Sol – Certificate of Occupancy for August 21, 2012 start date.

To Whom It May Concern,

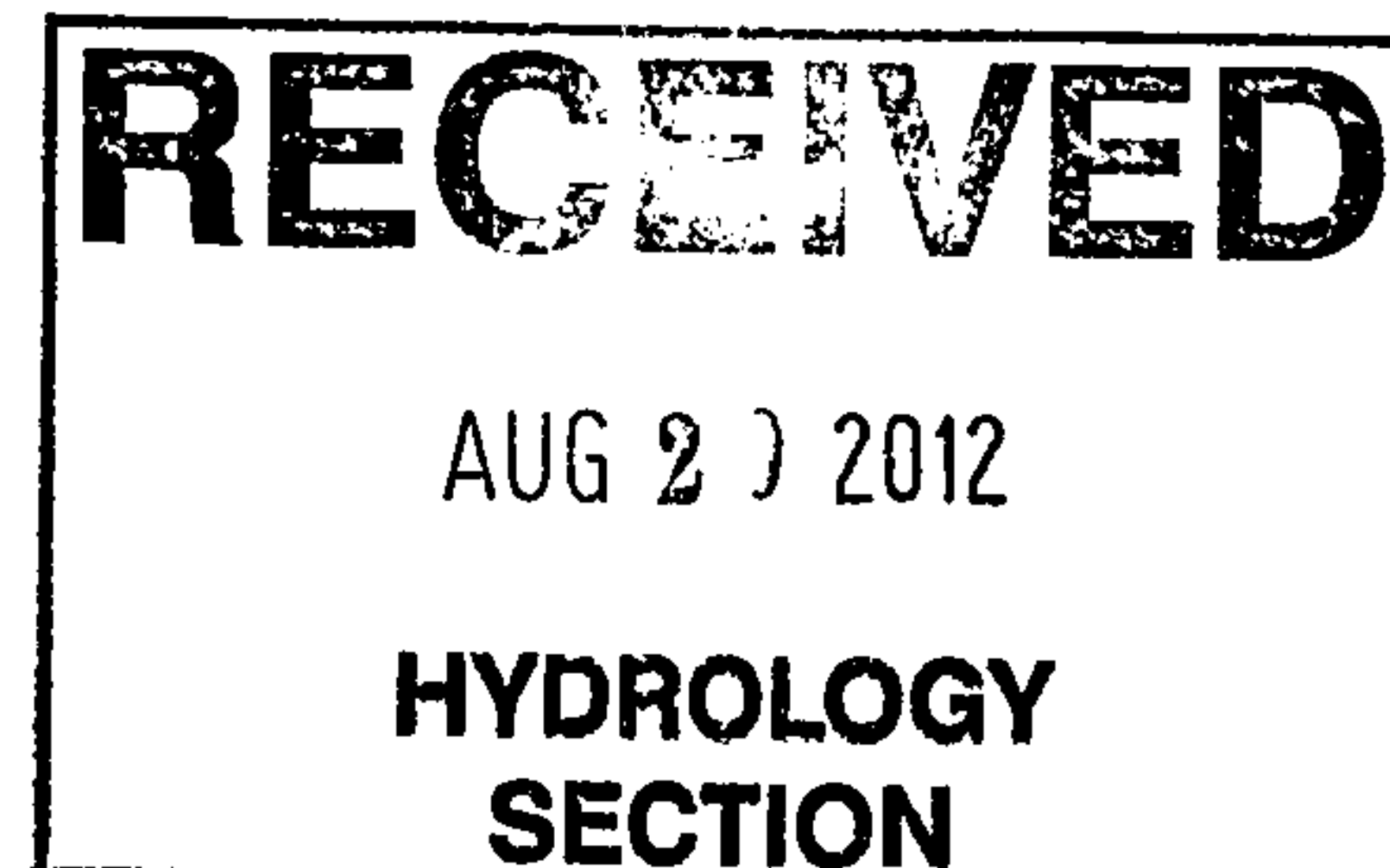
This letter is to document the understanding about the parking surface located at The International School at 2660 Eastman Crossing. Upon requesting issuance of our Certificate of Occupancy it was brought to our attention that the paving conditions for the current expansion as well as the previously existing conditions are now considered unacceptable to the City.

To accommodate this requirement the International School will need some time to reallocate funds, resources, and efforts that will pull away from the overall goal of the permanent facility. Therefore, The International School respectfully request some time to allow these resources to be acquired as well as a working window to avoid creating a hazardous condition for the students and teachers of The International School.

The International School proposes the following timeline to schedule the required work to be installed.

- The International School will work with the City to determine the requirements of the parking areas by October 31, 2012.
- The International School will complete 50% of the agreed upon parking area by the completion of winter break or January 11, 2013.
- The International School will complete the balance of the requirements by the completion of Spring Break or April 15, 2013.

For this we request the City of Albuquerque release the temporary Certificate of Occupancy as soon as possible to allow school to start on Tuesday August 21, 2012.



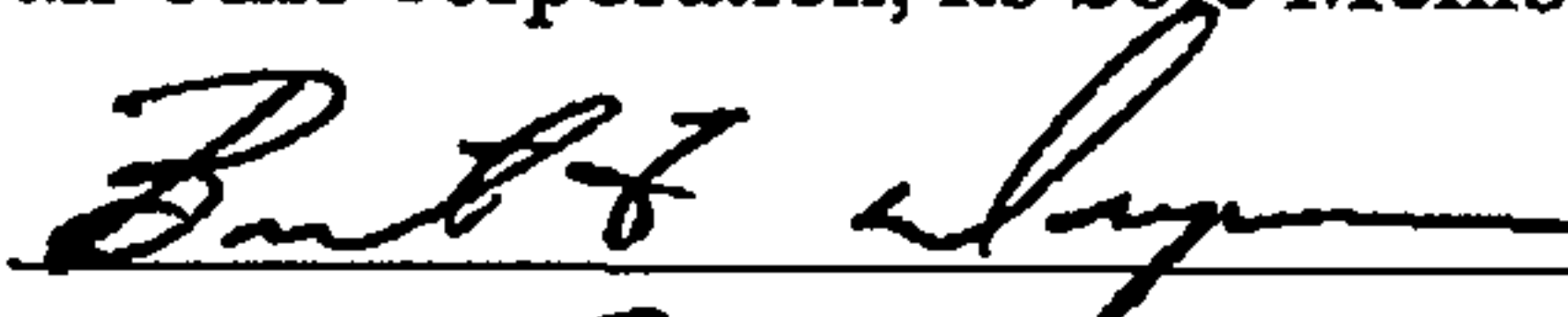
Sincerely,

Mesa del Sol, LLC
a New Mexico limited liability company

By: FC Covington Manager, LLC, a New
Mexico LLC, its Managing Member

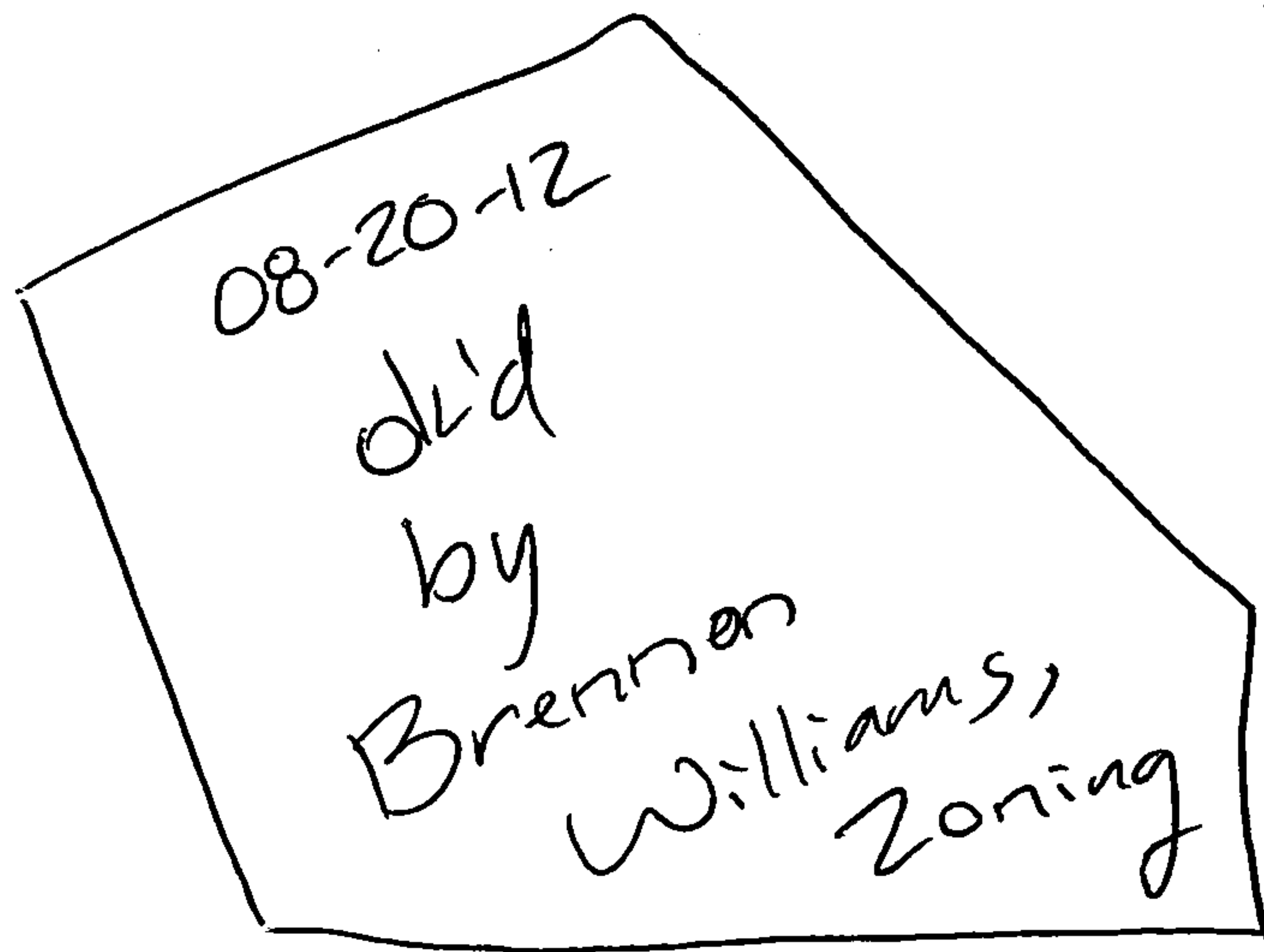
By: Forest City NM, LLC, a New Mexico
LLC, a Member

By: Forest City Commercial Group, Inc.,
an Ohio corporation, its Sole Member

By: 
Vice President

COA Zoning Department
600 2nd Street
Albuquerque, NM 87102

August 20, 2012



Subject: The International School at Mesa del Sol – Certificate of Occupancy for August 21, 2012 start date.

To Whom It May Concern,

This letter is to document the understanding about the parking surface located at the International school at 2660 Eastman Crossing. Upon requesting issuance of our Certificate of Occupancy it was brought to our attention that the paving conditions for the current expansion as well as the previously existing conditions are now considered unacceptable to the City.

To accommodate this requirement the International School will need some time to reallocate funds, resources, and efforts that will pull away from the overall goal of the permanent facility. Therefore The International School respectfully request some time to allow these resources to be acquired as well as a working window to avoid creating a hazardous condition for the students and teachers of The International School.

The International School proposes the following timeline to schedule the required work to be installed.

- The International School will work with the City to determine the requirements of the parking areas by October 31, 2012.
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- The International School will complete the balance of the requirements by the completion of Spring Break or April 15, 2013.

For this we request the City of Albuquerque release the temporary Certificate of Occupancy as soon as possible to allow school to start on Tuesday August 21, 2012.

Sincerely,

The International School

Bohannon Huston

COA Zoning Department
600 2nd Street NW
Albuquerque, NM 87102

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

August 20, 2012

Subject: The International School at Mesa Del Sol; Structural Coefficient of Aggregate Base Course Parking Lot

To Whom It May Concern,

This letter certifies that the 4" Aggregate Base Course (ABC) Section over 12" Sub base Material currently installed at Mesa del Sol is structurally equivalent to the required 2" Asphaltic Concrete (AC) Section as required by the DPM. Please see the following calculations and the 2 attachments from the DPM for further details:

Structural Coefficient of 2" AC; $0.42/\text{inch} = \underline{0.84}$

Structural Coefficient of 12" Sub base = $0.08/\text{inch} = 0.96$

Structural Coefficient of 4" ABC = $0.10/\text{inch} = 0.40$

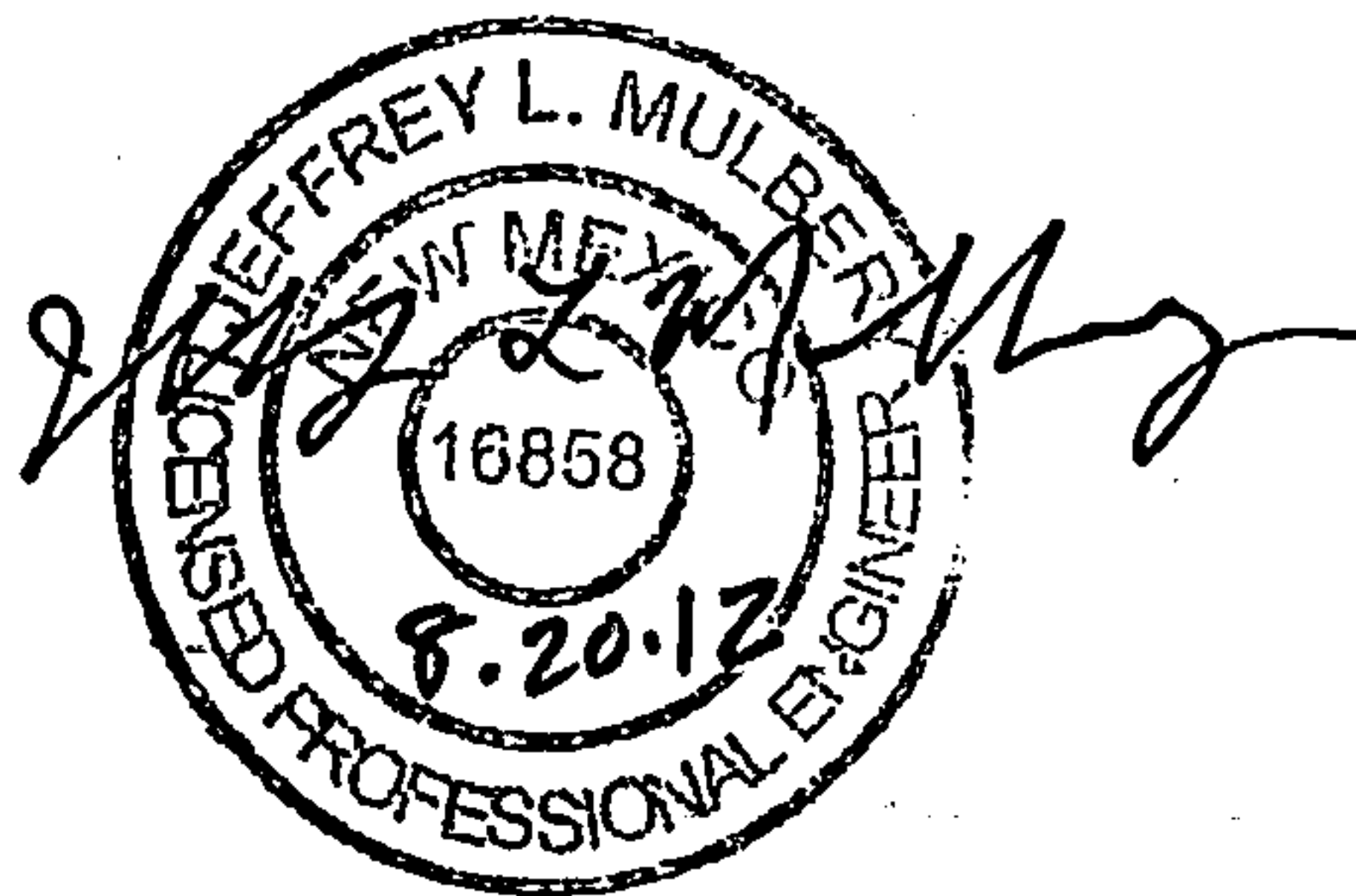
Total = 1.36

Therefore 4" ABC/12" Sub base is Structurally Equivalent to 2" AC

Additionally, given the temporary nature of the facility and the good past performance of the ABC parking lot, in my professional engineering opinion the structural integrity of the parking lot is functioning at a high level.

Thank you, and please let us know if you have any questions or comments regarding this information.

Jeffrey L. Mulbery, P.E., LEED AP BD+C
Senior Project Manager
Community Development & Planning



08-20-12
Checked w/ CO Clerk
(Katrina Sigala)

Issued CO 08-09-11
Perm

No Phasing mentioned
on CO

Issued CO 08-28-09
Perm

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

R-16/DA3009

CLIENT/COURIER TRANSMITTAL

To: Tim Sims
Hydrology Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Requested by: Jeff Mulbery

Date: July 18th, 2012

Time Due: ☐ This A.M.
☒ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: (505) 924-3695

Job No.: 20130091

Job Name: Mesa del Sol - International School -
Phase 4

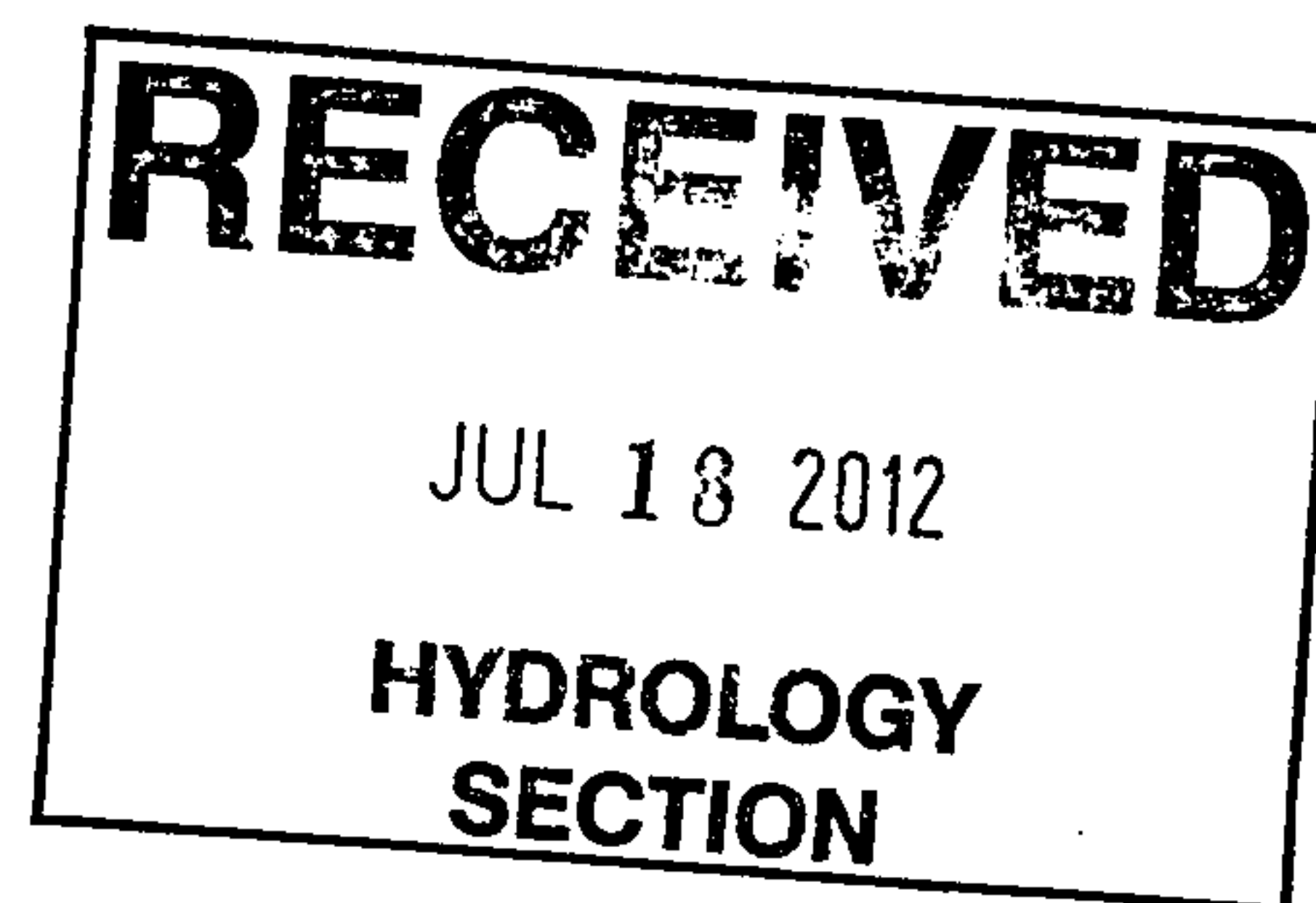
DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	2	Drainage Info Sheet
2	2	Grading Plan
3	2	Drainage Management Plan



COMMENTS / INSTRUCTIONS

Tim,
We are submitting this grading plan for rough grading permit approval, foundation permit approval and building permit approval. Please call if you have any questions.
Thanks,
Jeff

REC'D BY: _____ DATE: _____ TIME: _____

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Architectural Review Committee

July 21, 2009

Mr. Richard Dineen
Planning Director, City of Albuquerque
Plaza del Sol
Albuquerque, NM 87102

Dear Richard:

The Architectural Review Committee has reviewed the plans for The International School at Mesa del Sol. The International School, proposed to be built near Albuquerque Studios on Eastman Avenue, is the first step in creating educational facilities at Mesa del Sol. The school has been approved as a charter school with a mandate to operate within the boundaries of Mesa del Sol. While there are no permanent residents yet at Mesa del Sol, there are approximately 2,000 people working in the area on a daily basis. This has created a demand for a school in the area.

Since The International School will be occupying land on a temporary basis until such time as the permanent facilities will be built (in approximately two years), the ARC has reviewed the plans differently than for a permanent building. The ARC reviewed the plans with the intent of ensuring safety while minimizing improvements that would not be able to be moved to a new, permanent facility. For instance, the ARC is allowing the use of manufactured portable buildings at the school site. This allows the school to become operational without the investment of permanent structures.

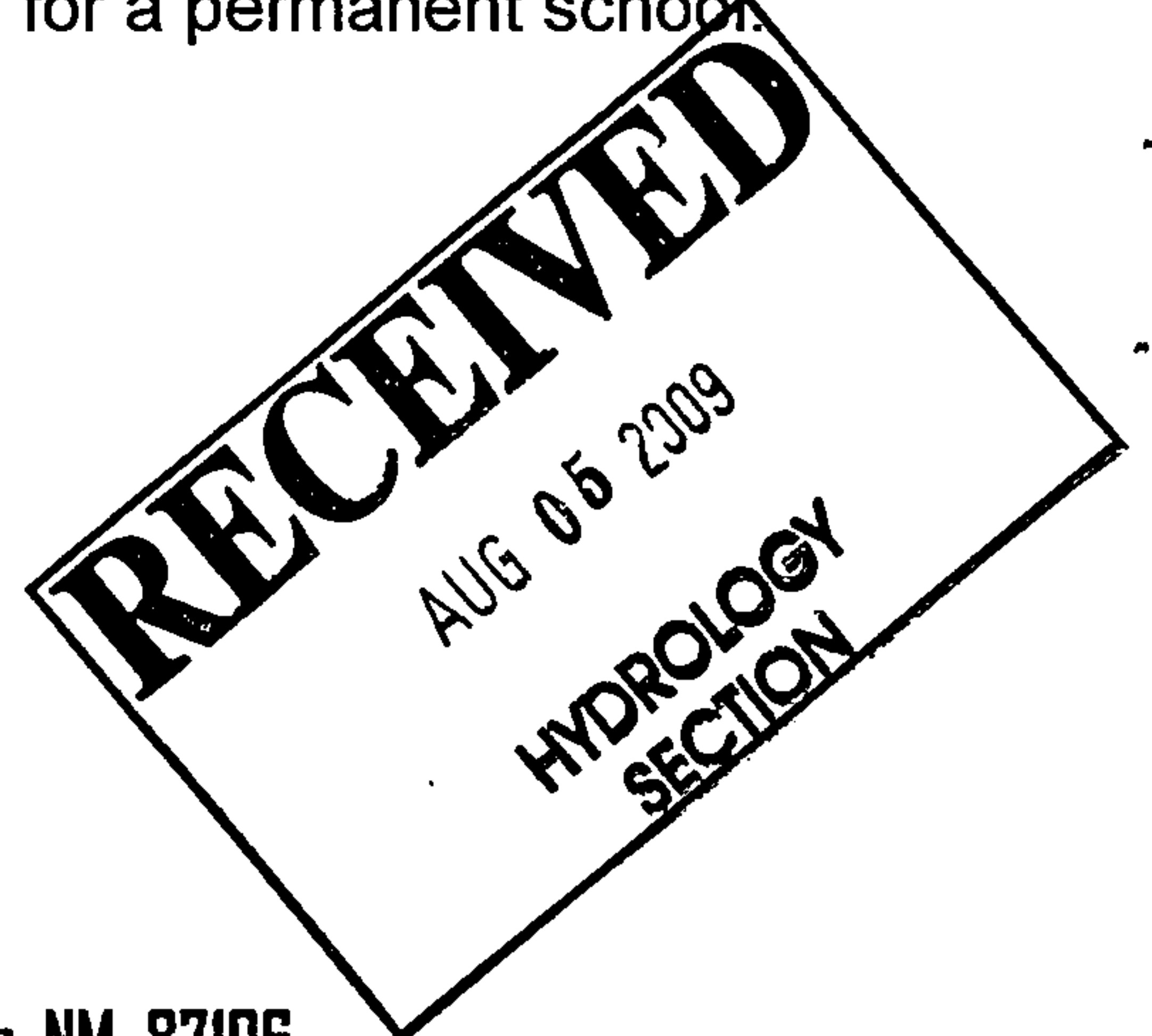
The ARC has reviewed the plans and finds them satisfactory, given the temporary nature of the facilities. It has imposed a deadline of three years for the school to relocate to a new location with permanent facilities. The terms of the lease for the land are for two years with one option to extend an additional year. This also coincides with anticipated development of the first phase of residential at Mesa del Sol, which would help increase the demand for a permanent school.

Please feel free to call with any questions. Thank you.

Sincerely,



Will Gleason, Chairman
Architectural Review Committee



CODE DATA

PROJECT ADDRESS: 2660 EASTMAN CROSSING, SE. ALBUQUERQUE, NM 87106

APPLICABLE CODE: INTERNATIONAL BUILDING CODE - 2006

OCCUPANCY CLASSIFICATION: GROUP E (IBC SECTION 305.1)

CONSTRUCTION TYPE: V-B (TABLE 601)

FIRE SPRINKLERED: NO

BUILDING HEIGHT: APPROXIMATELY 12'-6" TO RIDGE

EXTERIOR WALL SEPARATION: (TABLE 602) NO FIRE-RATED SEPARATION REQUIRED IF DISTANCE > 10 FT. ACTUAL DISTANCES > 10 FT.

ALLOWABLE SQUARE FOOTAGES (TABLE 503) 9,500 SF

ACTUAL: 5 DOUBLES @ 1,680 SF EACH = 8,400 SF
1 SINGLE @ 896 SF = 896 SF
1 FUTURE @ 1,496 SF = 1,496 SF
10,792 SF

AREA MODIFICATION:
INCREASE DUE TO FRONTAGE (506.2) = .185
ALLOWABLE AREA/STORY (506.1) = 20,767 SF

OCCUPANT LOAD PER BUILDING (TABLE 1004.1.1):

EXITS REQUIRED: 2

EXITS PROVIDED: 2

EXITS REQUIRED: 1

EXITS PROVIDED: 1

PLUMBING FIXTURES: (TABLE 2902.1)

1 LAV AND 1 W.C. REQUIRED PER 50 OCCUPANTS

TOTAL OCCUPANTS ON SITE: 350 (DOUBLE PORTABLES) + 40 (SINGLE PORTABLE) = 390 OCCUPANTS

REQUIRED W.C.s & LAVs ON SITE: 390 OCC/50 = 8 W.C.s & 8 LAVs.

ACTUAL:
2 LAVS, 2 W.C.s, & 2 SINKS PROVIDED IN EACH OF PORTABLE BUILDINGS 3, 4, 5, AND 6 (DOUBLES).
1 LAV, 1 W.C., & 2 SINKS PROVIDED IN PORTABLE BUILDING 1 (SINGLE).
0 LAV & 0 W.C. PROVIDED IN PORTABLE 2 (SINGLE).
TOTAL = 8 LAVS, 9 W.C.s, 10 SINKS

PROJECT SCOPE

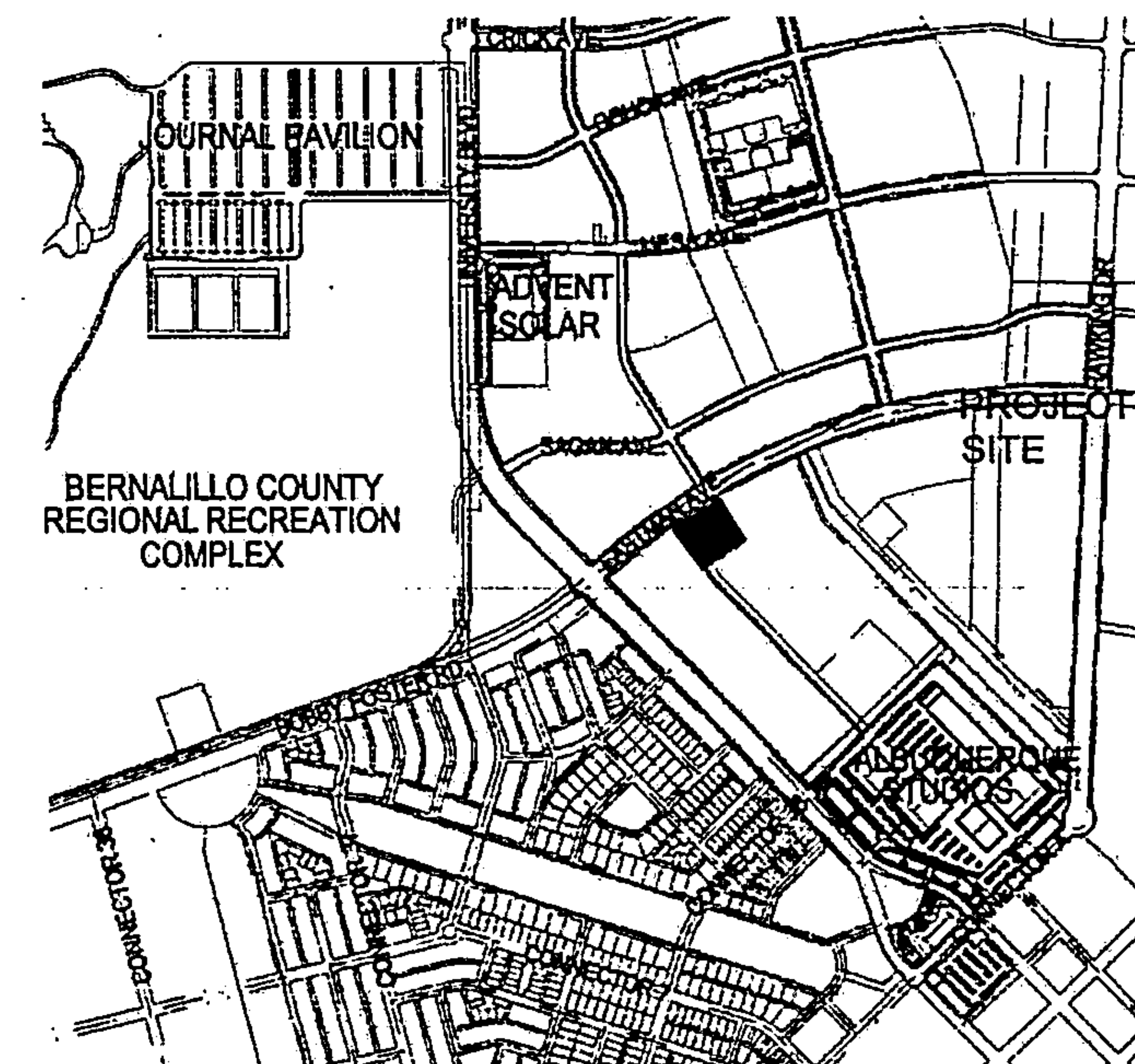
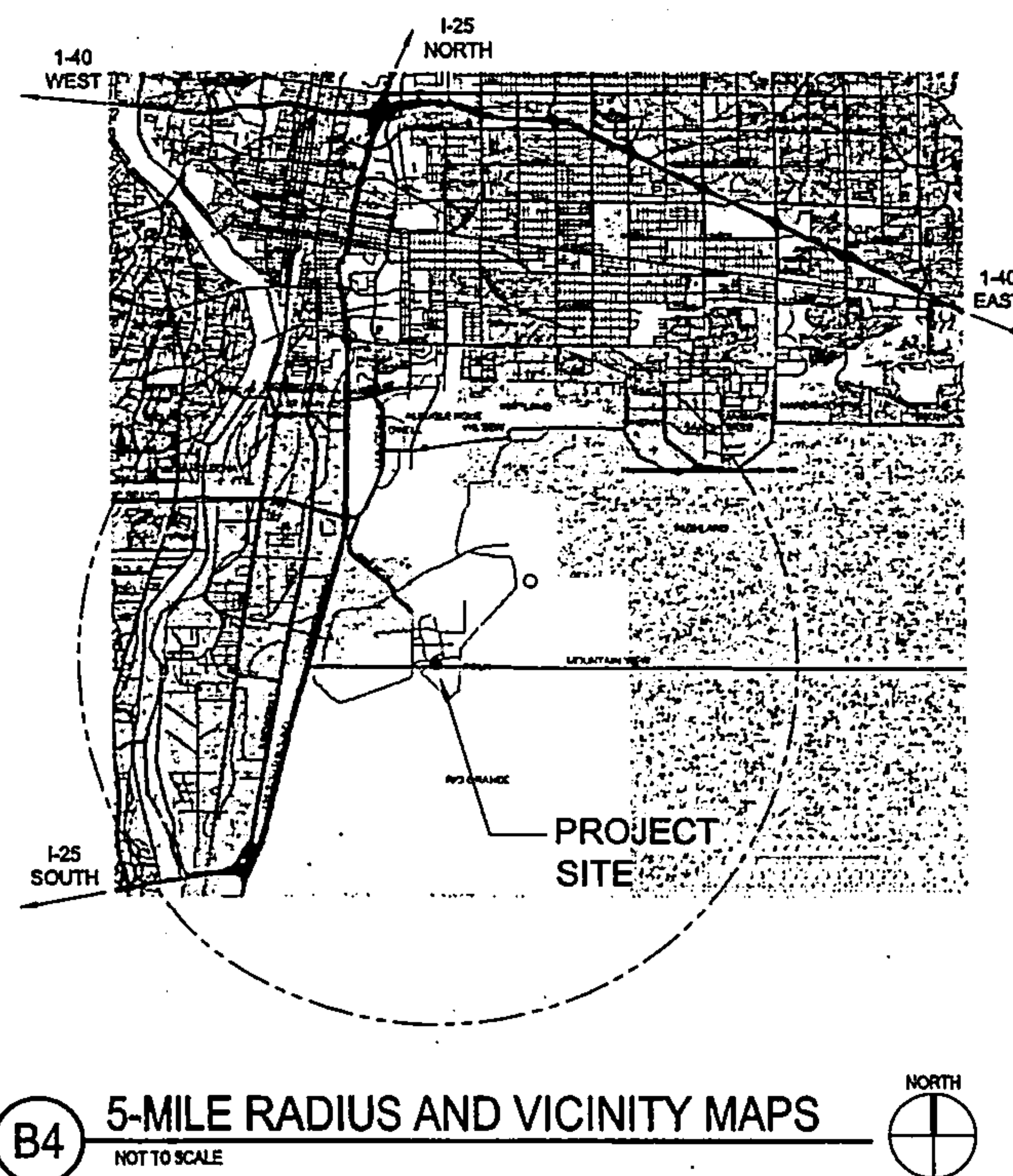
TEMPORARY PORTABLES CAMPUS FOR KINDERGARTEN THROUGH FOURTH GRADE (FIFTH GRADE COULD BE ADDED IN ONE YEAR). LAND AVAILABLE FOR 2 YEARS WITH AN OPTION FOR A THIRD; WILL THEN MOVE TO NEW SITE AND BUILDING. WORK INCLUDED IS TO PREPARE SITE FOR RELOCATION OF EXISTING PORTABLES IN USE AT RIO RANCHO PUBLIC SCHOOLS AND FOR REQUIRED UTILITIES AND SITE IMPROVEMENTS TO SUPPORT THE CAMPUS.

DRAWING INDEX

DWG. NO.	DESCRIPTION
COV	DRAWING INDEX, LOCATION MAP, CODE DATA
C-001	DRAINAGE MANAGEMENT PLAN
C-100	GRADING AND DRAINAGE PLAN
C-200	UTILITY PLAN
AS-101	SITE PLAN (ARCHITECTURAL)
AS-102	WATER HARVESTING PLAN
AS-501	SITE DETAILS
AS-502	SITE DETAILS, ENLARGED FLOOR PLANS
L-101	LANDSCAPE PLAN
ES-101	ELECTRICAL SITE PLAN
MS-101	SITE PLAN - NATURAL GAS

Approved for compliance with PC Zoning Level "A" and Level "B" Plans and compliance with the Design Standards of the Mesa del Sol Employment Center Covenants, Conditions & Restrictions.

Architectural Review Committee
Mesa del Sol Employment Center
By: Carrie Biesiot
Carrie Biesiot, Administrator



THE INTERNATIONAL SCHOOL

July 13, 2009

PROJECT TEAM

OWNER

FOREST CITY COVINGTON NM, LLC
801 UNIVERSITY BLVD., SE SUITE 200
ALBUQUERQUE, NM 87106
(505) 400-3021
FAX: (505)

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MECHANICAL ENGINEER

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LANDSCAPE ARCHITECT

HEADS UP LANDSCAPE CONTRACTORS
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ELECTRICAL ENGINEER

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GENERAL CONTRACTOR

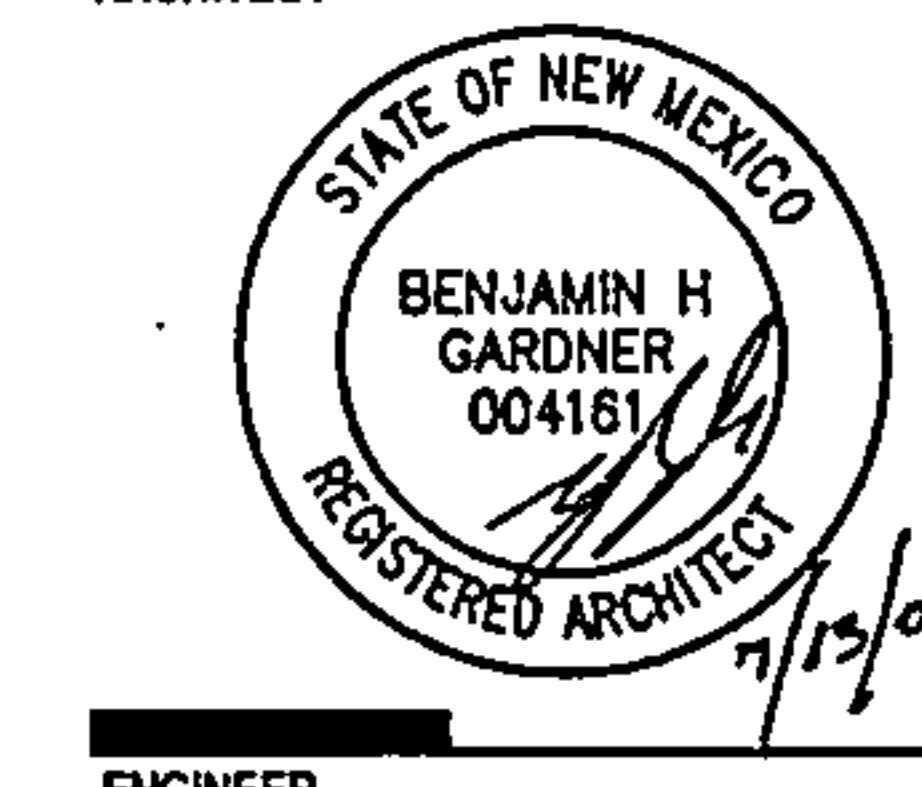
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ARCHITECT



PROJECT

The International
School
at Mesa del Sol

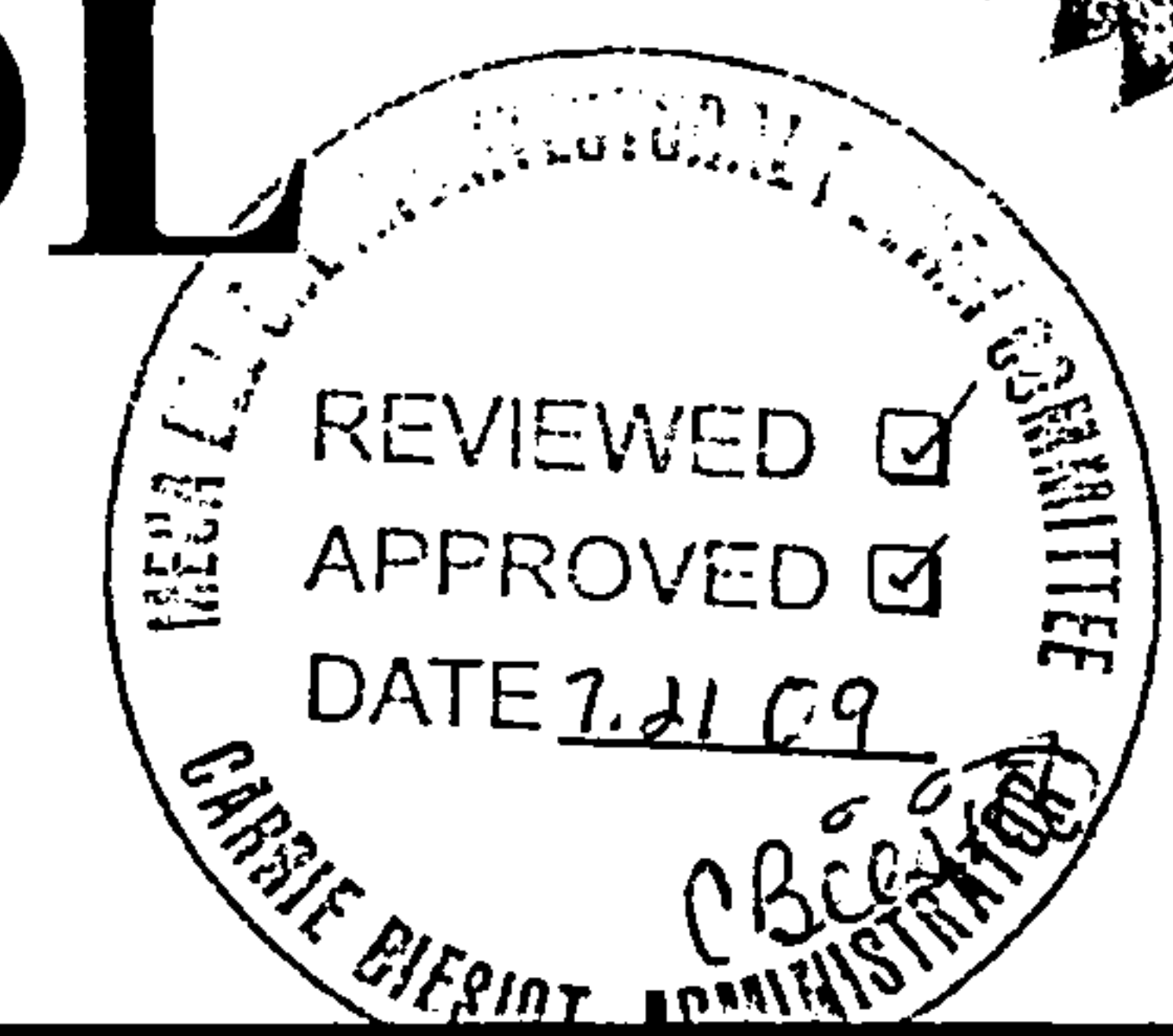
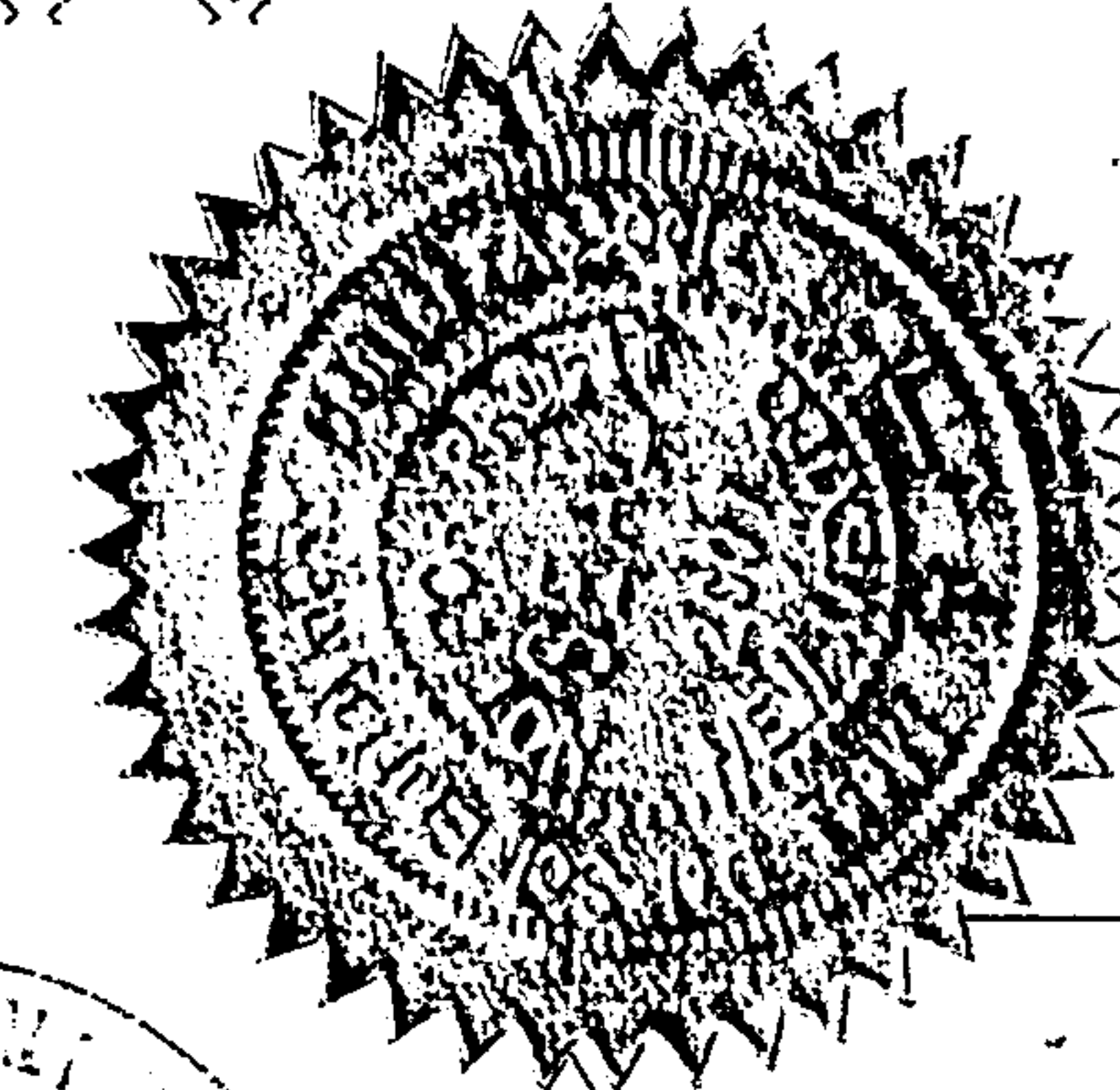
2660 Eastman Crossing SE
Albuquerque, NM 87106

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HYDROLOGY
16 6

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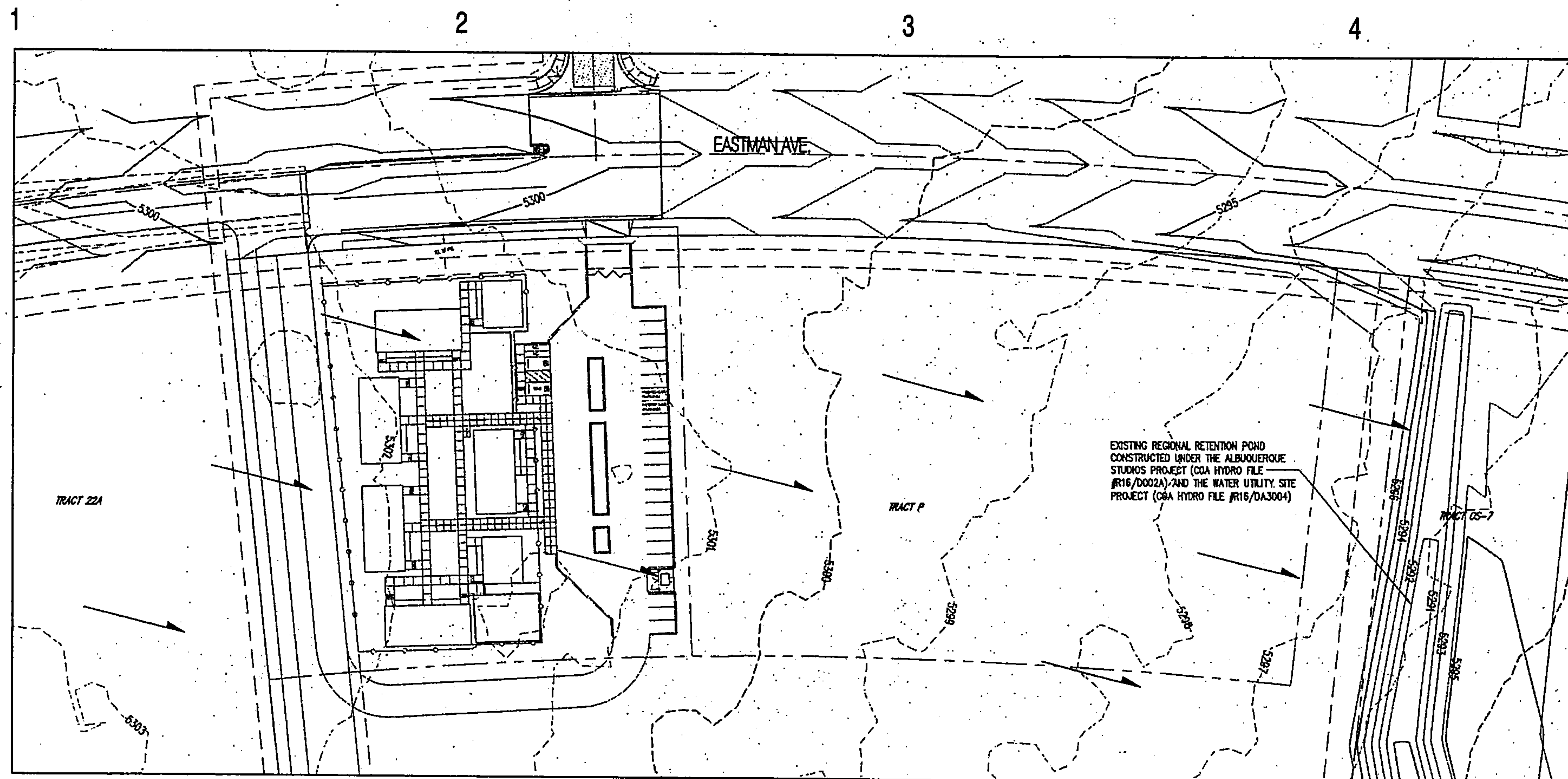


REVIEWED ☒
APPROVED ☒
DATE 7.13.09

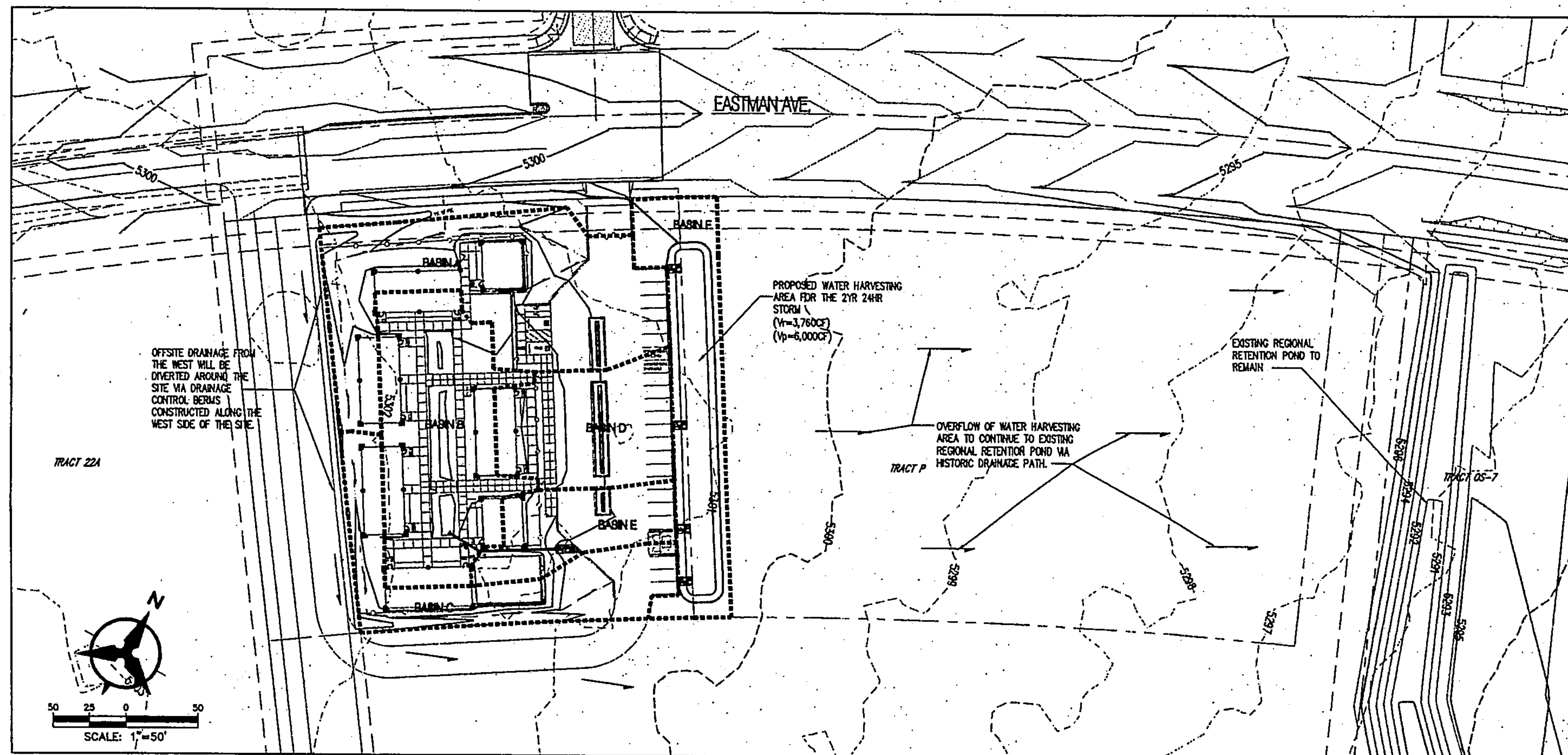
DRAWN BY SY/KP
REVIEWED BY CM/WG
DATE 7-13-2009
PROJECT NO. 09-0042
DRAWING NAME

SHEET NO.

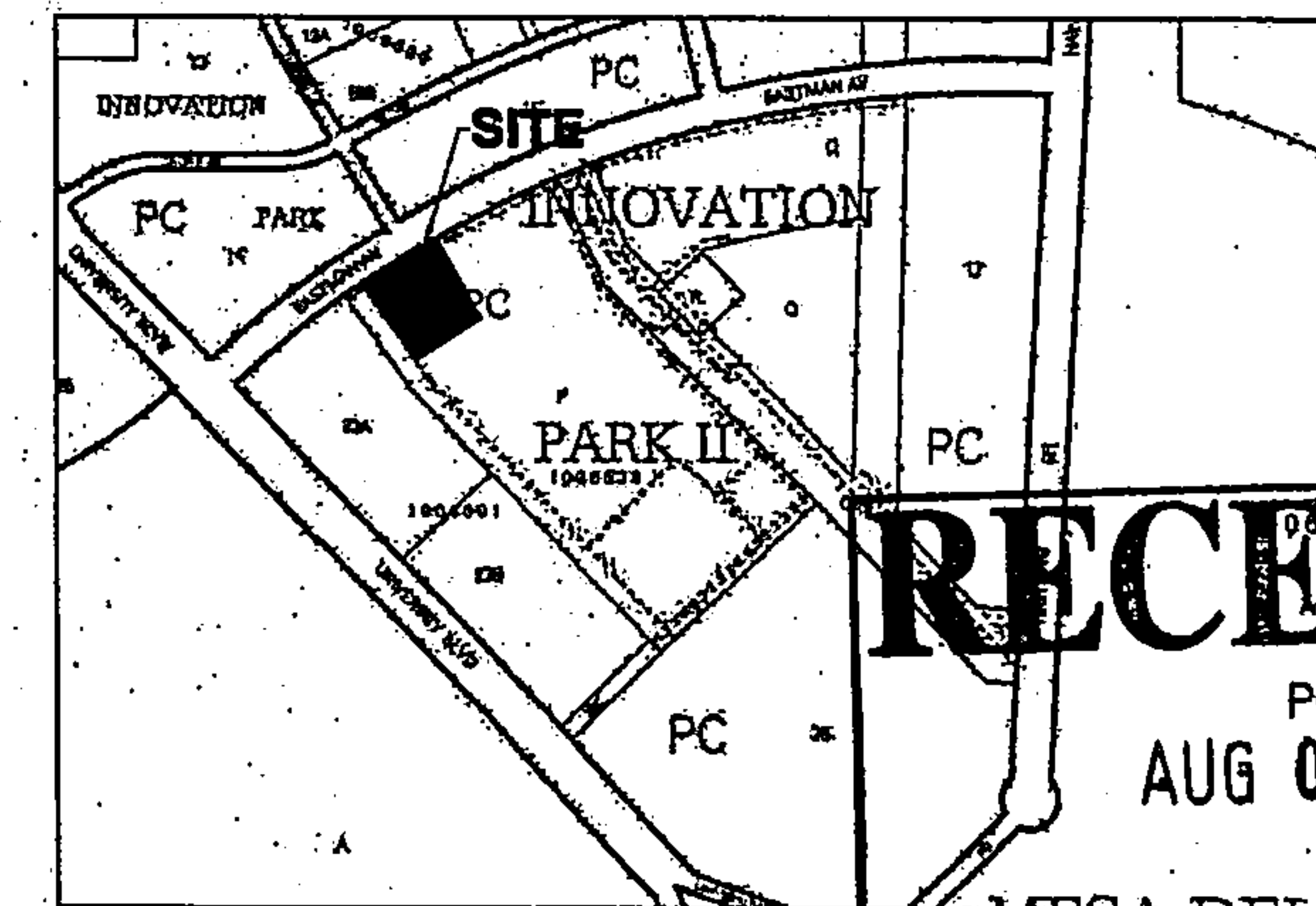
OF



EXISTING CONDITIONS



PROPOSED CONDITIONS



VICINITY MAP ZONE ATLAS MAP PAGE R-18

HYDROLOGY SECTION

I. INTRODUCTION

The purpose of this submittal is to present a final grading and drainage plan for the Mesa del Sol Employment Center Charter School of Mesa del Sol. The site is located on a portion of Tract P (Bulk Land Plot for Mesa del Sol Innovation Park II), north of ALBUQUERQUE STUDIOS. There is an existing access road used by ALBUQUERQUE STUDIOS to the west, vacant land to the south and east and Eastman Ave. to the north. The project will include 5 portable buildings with space for one future portable. Finished grades will reflect full build out. With this submittal we are seeking Hydrology approval for rough grading permit approval, foundation permit approval and building permit approval.

II. EXISTING HYDROLOGIC CONDITIONS

The site takes up approximately 2.0 acres of tract P and is currently undeveloped. The land slopes 0.5% to 1.0% from the west to the east TOWARD AN existing regional retention pond constructed with the Albuquerque Studios project (CDA Hydro # R-16/D002A). This pond was sized to accept the 100yr, 10day storm event of fully developed conditions for the entire drainage area. See Existing Conditions.

III. PROPOSED HYDROLOGIC CONDITIONS

This site will be a temporary facility until a permanent location for the school is determined. In the interim, the drainage will act much like the existing conditions and continue to drain from west to east toward the existing Regional Retention pond. Drainage around the exterior of the site (Basin A & C) will be conveyed along swales located north and south of the portables where they will outfall into the parking lot. The interior of the site (Basin B) will drain to the center of the courtyard planters and outfall to new 12" storm drain pipe located at the south side of the courtyard where it will daylight into a swale and ultimately into the parking lot. The entire site will drain through the parking lot to the east where it will hit various low points with curb openings at the far east end of the site into a water harvesting pond. This pond is sized to accept the 2yr, 24hr storm. Any storm event that exceeds the 2yr, 24hour storm will overflow into the adjacent parcel and continue on the historic flows directly to the regional retention pond. (NOTE: Upon development of either the entirety of Tract P or the remaining portion, these offsite flows will have to be mitigated around this future development.)

Based on the R16/D002A the existing regional retention pond was constructed to accept the 100yr, 10day storm event for the entire drainage area. This pond has sufficient capacity to accept this additional drainage.

Offsite Drainage

Current drainage from the west will be diverted around the site to the south and then continue east along the historic drainage path. Existing offsite drainage from the north will be conveyed in the Eastman Ave and not affect this site.

Floodplain

In accordance with FEMA Community Map Panel #350010055 D, this site is not located within a floodplain.

IV. CONCLUSION

The 100yr peak discharge from the site is approximately 6.11cfs with a 100yr, 10day volume of 13,150CF. These flows were computed in accordance with section 22.2 of the Development Process Manual. This drainage management plan is capable of safely passing the 100 year storm event and meets city and Level B requirements. With this submittal we are seeking Hydrology approval for grading permit approval, foundation permit approval and Building Permit approval.

DRAINAGE MANAGEMENT PLAN

TABLE 1 MESA DEL SOL EMPLOYMENT CENTER - CHARTER SCHOOL- HYDRAULIC CALCULATIONS								
Ultimate Development Conditions Basin Data Table								
This table is based on the DPM Section 22.2, Zone 2								
SUB-BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)
ID			A	B	C	D		
UNDEVELOPED								
BASIN 1	73805	1.69	50.0%	50.0%	0.0%	0.0%	1.92	3.25
DEVELOPED								
BASIN A	21003	0.48	0.0%	45.0%	5.0%	50.0%	3.53	1.70
BASIN B	16112	0.37	0.0%	0.0%	10.0%	90.0%	4.54	1.68
BASIN C	10496	0.24	0.0%	50.0%	30.0%	20.0%	3.02	0.73
BASIN D	9823	0.23	0.0%	0.0%	70.0%	30.0%	3.81	0.81
BASIN E	6321	0.15	0.0%	0.0%	80.0%	20.0%	3.45	0.50
BASIN F	11931	0.27	0.0%	75.0%	25.0%	0.0%	2.50	0.68
Total	75885.93	1.74						6.11

TABLE 1 (CONTINUED)					TABLE 2 WATER HARVESTING CALCULATIONS			
Ultimate Development Conditions Basin Data Table					WATER HARVESTING CALCULATIONS			
SUB-BASIN	Area (SQ. FT)	WT E _{max} (Inches)	V(100) _{max} (CF)	V(100) _{heavy} (CF)	WT E _{min} (Inches)	V(2) _{max} (CF)	V(2) _{heavy} (CF)	
ID								
UNDEVELOPED								
BASIN 1	73805	0.66	4029	4029	0.10	615	615	
DEVELOPED								
BASIN A	21003	1.47	2569	3969	0.49	862	1212	
BASIN B	16112	2.02	2714	4647	0.73	975	1458	
BASIN C	10496	1.15	1008	1288	0.30	285	335	
BASIN D	9823	1.43	1168	1561	0.34	280	378	
BASIN E	6321	1.33	699	858	0.28	146	189	
BASIN F	11931	0.87	862	852	0.19	186	186	
Total	75885.93		9020.69	13195.75		2714.63	3768.39	

*WATER HARVESTING CALCULATION - 1.74 ACRES @ 0.5" OF RAINFALL = 3,158CF

HYDRAULIC CALCULATIONS

architecture
interiors
landscape
planning
engineering

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ARCHITECT

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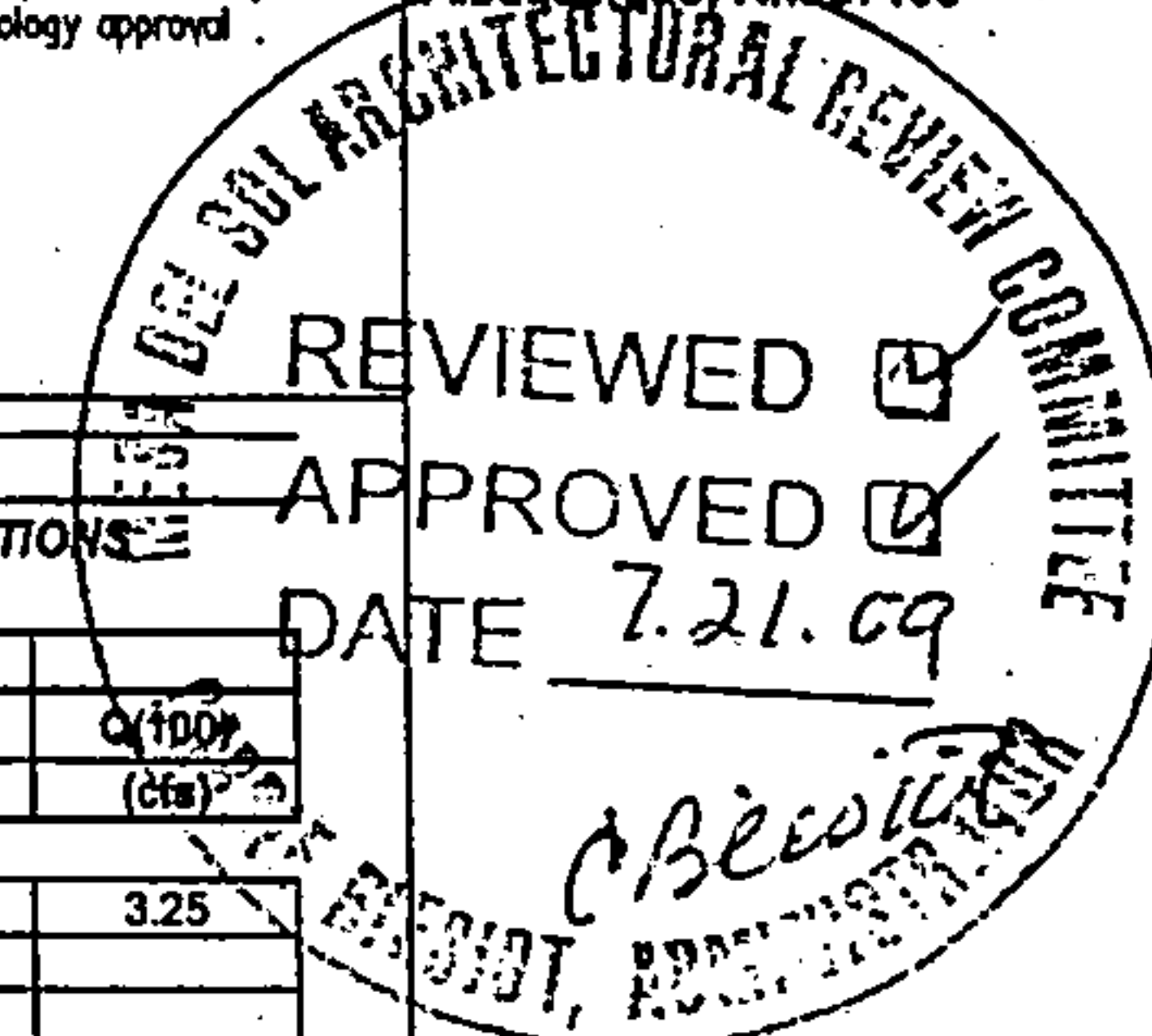


PROJECT

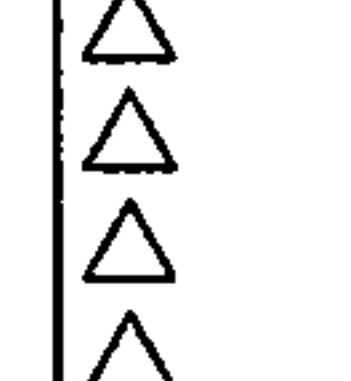
The
International
School

2880 Eastman Crossing SE

Albuquerque, NM 87106



REVISIONS



DRAWN BY BO

REVIEWED BY JLM

DATE 6-19-2009

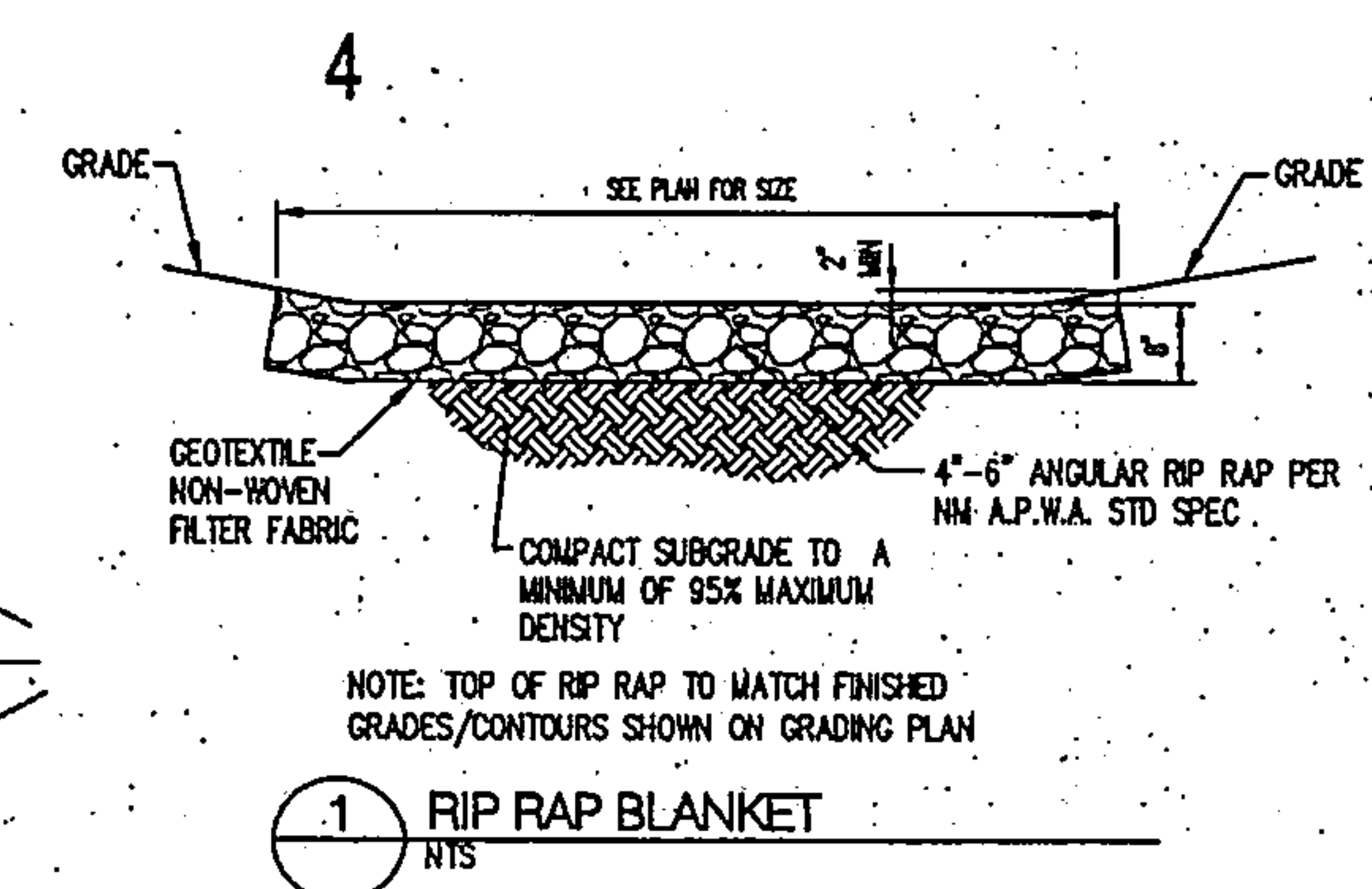
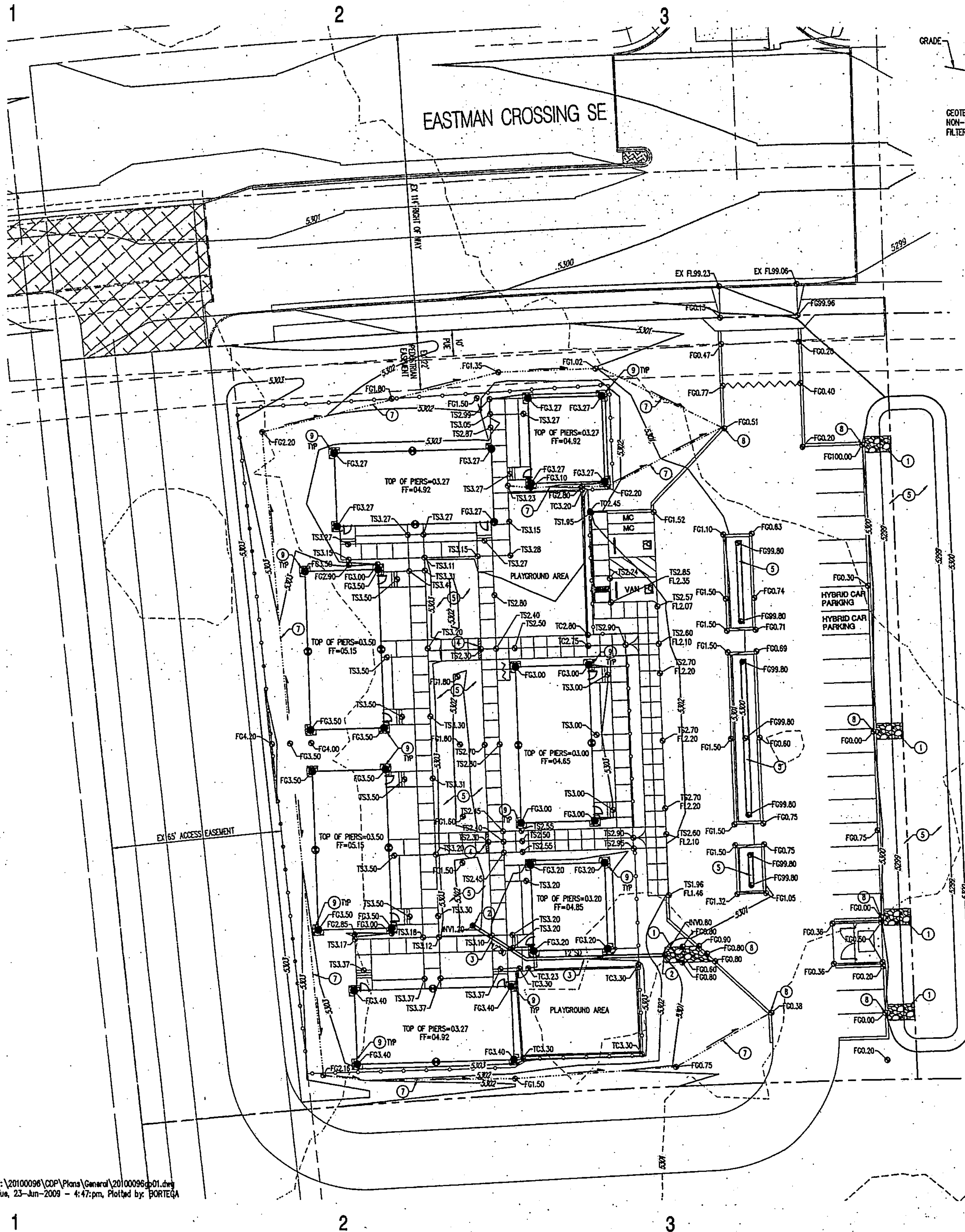
PROJECT NO. 09-0042

DRAWING NAME

DRAINAGE
MANAGEMENT
PLAN

SHEET NO.

C-001
OF



- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOURS
 - 5301.15 EXISTING GROUND SPOT ELEVATION
 - 1.23 PROPOSED SPOT ELEVATION
 - TS=TOP OF CURB, FL=FLOW LINE, TP=TOP OF WALL, BW=BOTTOM OF WALL, EX=EXISTING, TT=TOP OF GRADE
 - S=2.0% PROPOSED DIRECTION OF FLOW
 - - - - - PROPOSED INDEX CONTOURS
 - - - - - PROPOSED WATER CONTOURS
 - - - - - EASEMENT
 - - - - - FLOWLINE
 - - - - - PROPOSED STORM DRAIN LINE
 - WATER BLOCK
 - CONCRETE PIER, SEE ARCHITECTURAL PLANS FOR DETAILS

- GENERAL NOTES**
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
 - THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
 - ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADE, TOPSOIL, DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
 - ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 - THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
 - ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 - THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
 - THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERRS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE MATERIAL SHALL OBTAIN APPROVAL BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
 - ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
 - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

- GRADING KEYED NOTES**
- INSTALL RIP-RAP BLANKET PER DETAIL 1, THIS SHEET.
 - INSTALL 12" CAP FLARED END SECTION.
 - INSTALL 12" HOPE (N-12 OR APPROVED EQUAL) STORM DRAIN.
 - INSTALL 1-12" SIDEWALK CULVERT PER COA STD DWG 2236.
 - WATER HARVESTING AREA. SEE LANDSCAPE PLAN FOR DETAILS AND EROSION PROTECTION.
 - INSTALL 12" MANUFACTURED DRAINAGE FITTING.
 - INSTALL COBBLE DRAINAGE SHALES. SEE LANDSCAPE PLAN FOR DETAILS.
 - PROVIDE 1.5' OPENING IN EXISTING INTERIOR DRAINAGE.
 - INSTALL COBBLE (4"-6") SIDEWALK CULVERT PER COA STD DWG 2236.

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HYDROLOGY SECTION

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ARCHITECT

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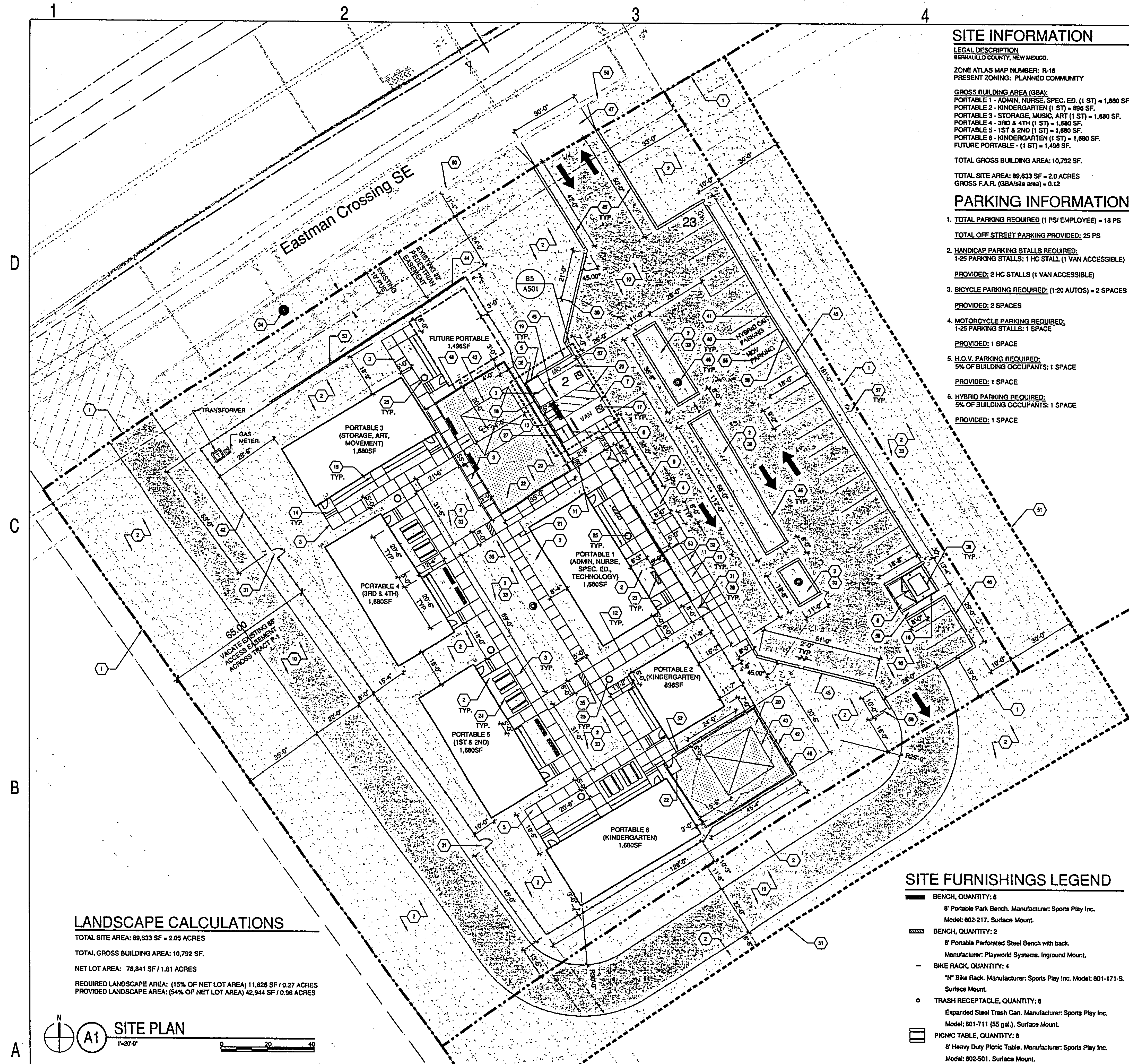
The International School
2680 Eastman Crossing SE
Albuquerque, NM 87106

REVIEWED ☒
APPROVED ☒
DATE 7.21.09
C. Beesiot, ADMINISTRATION

REVISIONS

DRAWN BY	BO
REVIEWED BY	JLM
DATE	8-23-2009
PROJECT NO.	09-0042
DRAWING NAME	GRADING & DRAINAGE PLAN Portables Campus
SHEET NO.	C-100

OF



LANDSCAPE CALCULATIONS
TOTAL SITE AREA: 89,633 SF = 2.05 ACRES
TOTAL GROSS BUILDING AREA: 10,792 SF.
NET LOT AREA: 78,841 SF / 1.81 ACRES
REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA) 11,826 SF / 0.27 ACRES
PROVIDED LANDSCAPE AREA: (54% OF NET LOT AREA) 42,944 SF / 0.98 ACRES

SITE PLAN
1"=20'-0"

SITE INFORMATION

LEGAL DESCRIPTION
BERNALILLO COUNTY, NEW MEXICO.
ZONE ATLAS MAP NUMBER: R-16
PRESENT ZONING: PLANNED COMMUNITY
GROSS BUILDING AREA (GBA):
PORTABLE 1 - ADMIN, NURSE, SPEC. ED. (1 ST) = 1,880 SF.
PORTABLE 2 - KINDERGARTEN (1 ST) = 898 SF.
PORTABLE 3 - STORAGE, MUSIC, ART (1 ST) = 1,880 SF.
PORTABLE 4 - 3RD & 4TH (1 ST) = 1,880 SF.
PORTABLE 5 - 1ST & 2ND (1 ST) = 1,880 SF.
PORTABLE 6 - KINDERGARTEN (1 ST) = 1,880 SF.
FUTURE PORTABLE - (1 ST) = 1,495 SF.
TOTAL GROSS BUILDING AREA: 10,792 SF.
TOTAL SITE AREA: 89,633 SF = 2.0 ACRES
GROSS F.A.R. (GBA/site area) = 0.12

PARKING INFORMATION

- 1. **TOTAL PARKING REQUIRED** (1 PS/EMPLOYEE) = 18 PS
TOTAL OFF STREET PARKING PROVIDED: 25 PS
- 2. **HANDICAP PARKING STALLS REQUIRED:**
1-25 PARKING STALLS: 1 HC STALL (1 VAN ACCESSIBLE)
PROVIDED: 2 HC STALLS (1 VAN ACCESSIBLE)
- 3. **BICYCLE PARKING REQUIRED:** (120 AUTOS) = 2 SPACES
PROVIDED: 2 SPACES
- 4. **MOTORCYCLE PARKING REQUIRED:**
1-25 PARKING STALLS: 1 SPACE
PROVIDED: 1 SPACE
- 5. **H.O.V. PARKING REQUIRED:**
5% OF BUILDING OCCUPANTS: 1 SPACE
PROVIDED: 1 SPACE
- 6. **HYBRID PARKING REQUIRED:**
5% OF BUILDING OCCUPANTS: 1 SPACE
PROVIDED: 1 SPACE

SITE FURNISHINGS LEGEND

- 8' Portable Park Bench, Manufacturer: Sports Play Inc. Model: 602-217, Surface Mount.
- 6' Portable Perforated Steel Bench with back. Manufacturer: Playworld Systems, Inground Mount.
- BIKE RACK, QUANTITY: 4
1" Bike Rack, Manufacturer: Sports Play Inc. Model: 801-171-S, Surface Mount.
- TRASH RECEPTACLE, QUANTITY: 8
Expanded Steel Trash Can, Manufacturer: Sports Play Inc. Model: 801-711 (55 gal.), Surface Mount.
- PICNIC TABLE, QUANTITY: 8
8' Heavy Duty Picnic Table, Manufacturer: Sports Play Inc. Model: 802-501, Surface Mount.

GENERAL SHEET NOTES

- A. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. THERE ARE NO EXISTING STRUCTURES WITHIN 20 FEET OF THE SITE.
- D. TRACT REFERENCES ARE TO THE TRACTS AS CONFIGURED AND ALIGNED IN THE SITE DEVELOPMENT PLAN.
- E. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- F. THERE ARE NO PEDESTRIAN TRAILS CURRENTLY LOCATED IN THE VICINITY.
- G. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- H. ALL LIGHTING SHALL COMPLY TO LIGHTING STANDARDS OF THE MESA DEL SOL EMPLOYMENT CENTER MASTER DEVELOPMENT PLAN.
- I. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS. SEE ELECTRICAL PLANS.
- J. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OF-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES.
- K. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- L. GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND CONTRACTORS.

SHEET KEYNOTES

- 1. LEASE LINE, SEE LEGEND.
- 2. LANDSCAPE AREA, SEE SHEET L101.
- 3. CONCRETE SIDEWALK, SEE A2 & A4/AS-501.
- 4. CONCRETE TURNDOWN SIDEWALK, SEE A3/AS-501.
- 5. 6" CONCRETE HEADER CURB, SEE D1/AS-501.
- 6. HEAVY DUTY CONCRETE PAVING, SEE C1/AS-501.
- 7. ASPHALT PAVING, SEE C2/AS-501.
- 8. CONCRETE ACCESSIBLE RAMP, SEE A5/AS-501.
- 9. FIRE ACCESS LANE, SIGNAGE AND STRIPING.
- 10. BASE COURSE ROAD, SEE CIVIL.
- 11. FLAGPOLE, SEE A4/AS-502.
- 12. EXPANSION JOINT, SEE B1/AS-501.
- 13. DETECTABLE WARNING SURFACE, SEE D2/AS-501.
- 14. STAIRS AT PORTABLE, SEE A2/AS-502.
- 15. RAMP AT PORTABLE, SEE A1/AS-502.
- 16. DUMPSTER ENCLOSURE, SEE C4-C5/AS-501.
- 17. ACCESSIBLE PAVEMENT MARKINGS, SEE B5 & D3/AS-501.
- 18. ACCESSIBLE PARKING SIGN ATTACHED TO FENCE.
- 19. CONCRETE PARKING BUMPER, SEE B2/AS-501.
- 20. PLAYGROUND SURFACING AND PLAY EQUIPMENT BY OTHERS.
- 21. BIKE RACK, SEE SITE FURNISHINGS LEGEND.
- 22. CONCRETE RAMP IN PLAY AREA, SEE D5/AS-501.
- 23. BENCH, SEE SITE FURNISHINGS LEGEND.
- 24. PICNIC TABLE, SEE SITE FURNISHINGS LEGEND.
- 25. LITTER RECEPTACLE, SEE LEGEND.
- 26. VAN ACCESSIBLE PARKING.
- 27. VAN ACCESSIBLE SIGN, SEE B3/AS-501.
- 28. CEDAR GATE WITH STANDARD GATE HARDWARE.
- 29. 4" WIDE PAINTED (SAFETY WHITE) STRIPING, TYP, SEE B5/AS-501.
- 30. ONE WAY SIGN, SEE B3/AS-501.
- 31. TEMPORARY 6" HIGH CEDAR WALK GATE.
- 32. PICK-UP / DROP-OFF AREA.
- 33. WATER HARVESTING AREA, SEE CIVIL & AS-102.
- 34. FIRE HYDRANT, SEE CIVIL.
- 35. SIDEWALK CULVERT, SEE CIVIL.
- 36. MOTORCYCLE ONLY PARKING SIGN, SEE B3/AS-501.
- 37. MOTORCYCLE PARKING.
- 38. PIPE BOLLARD, SEE B4/AS-501.
- 39. EMERGENCY GENERATOR, SEE ELECTRICAL.
- 40. HYBRID CAR PARKING.
- 41. HYBRID CAR PARKING SIGN, SEE B3/AS-501.
- 42. TEMPORARY 6" HIGH CEDAR FENCE.
- 43. 20'X24' SHADE STRUCTURE BY OWNER.
- 44. SIGNAGE ON FENCE.
- 45. UTILITY POLE EDGE, SEE A5/AS-502.
- 46. SITE LIGHTING, SEE ELECTRICAL PLAN & A3/AS-502.
- 47. DRIVE PAD, SEE CIVIL.
- 48. 4' PLASTIC PLAYGROUND SURFACE BARRIER.
- 49. OPENING IN WOOD EDGING FOR DRAINAGE, SEE CIVIL.
- 50. CONCRETE CURB AND GUTTER, SEE A1/AS-501.
- 51. LIMITS OF WORK.
- 52. TEMPORARY 4" HIGH CEDAR FENCE AND GATE.
- 53. 5'-8" VINYL FENCE MESH ATTACHED TO CEDAR FENCE, SEE B2/AS-502..
- 54. STOP SIGN, SEE B3/AS-501.
- 55. HOV CAR PARKING.
- 56. HOV CAR PARKING SIGN, SEE B3/AS-501.
- 57. RIP RAP BLANKET, SEE CIVIL.
- 58. DO NOT ENTER SIGN, SEE B3/AS-501.
- 59. RECYCLING AREA

LEGEND

- | SYMBOL: | DESCRIPTION: |
|-----------|---|
| --- | LEASE LINE |
| --- | LIMITS OF WORK |
| [Pattern] | COMPACTED BASE COURSE ROAD |
| [Pattern] | LANDSCAPE AREA - SEE L101 AND L-501 |
| [Pattern] | PLAYGROUND SURFACING, MATERIAL BY OWNER |

architecture
interiors
landscape
planning
engineering

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REGISTERED ARCHITECT

ENGINEER

PROJECT

The International
School
at Mesa del Sol

2660 Eastman Crossing SE
Albuquerque, NM 87106

REVIEWED ☒
APPROVED ☒
DATE 7-21-09
CAROL BIESIOT, ADMINISTRATION

REVISIONS
△
△
△
△

SY/KP
CM/WG
7-13-2009
09-0042

DRAWING NAME
SITE PLAN

RECEIVED
AUG 05 2009
HYDROLOGY
SECTION

SHEET NO.
AS-101
OF

Dekker
Perich
Sabatini

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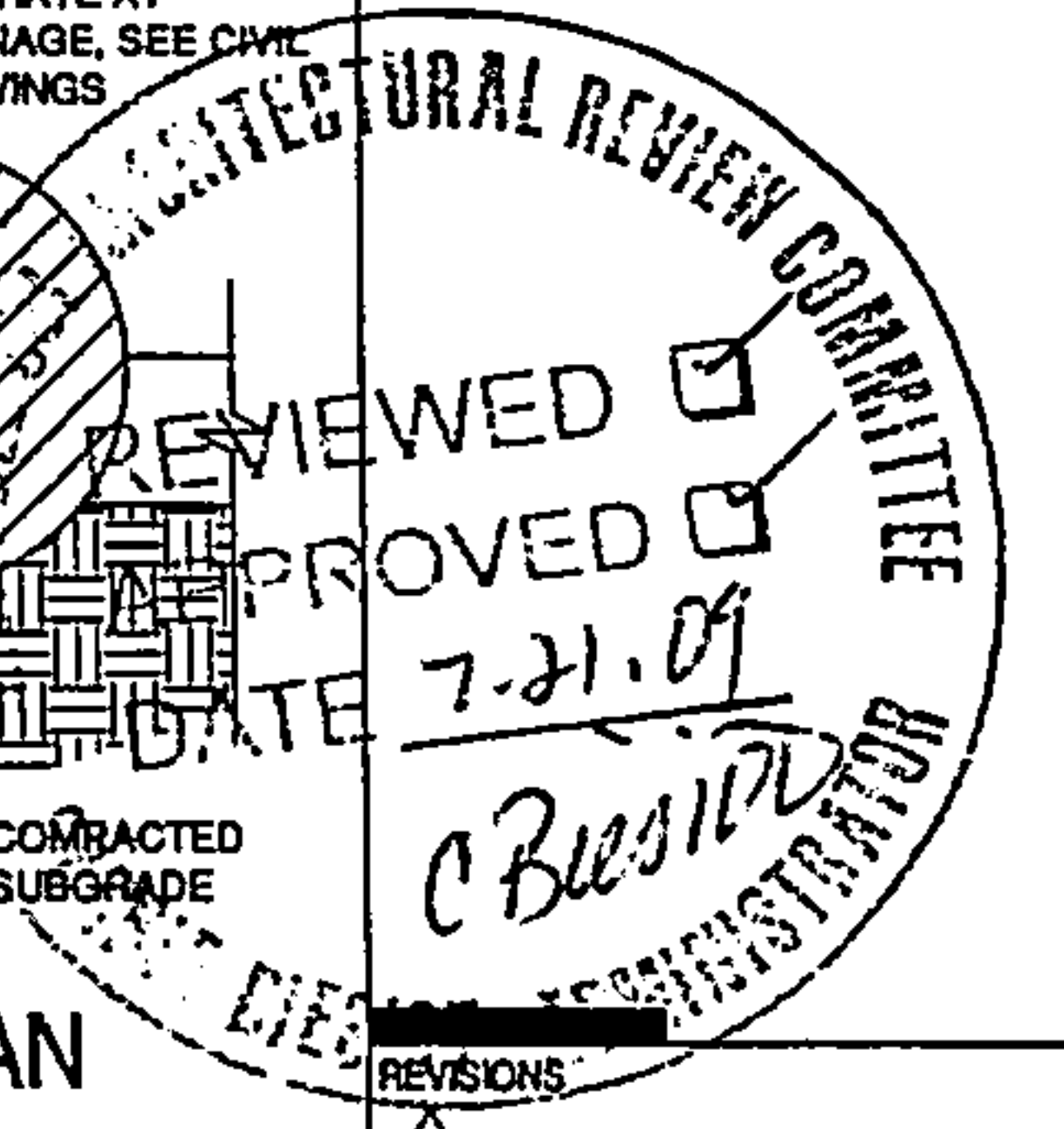
ARCHITECT

ENGINEER

PROJECT

The International
School
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2660 Eastman Crossing SE
Albuquerque, NM 87106



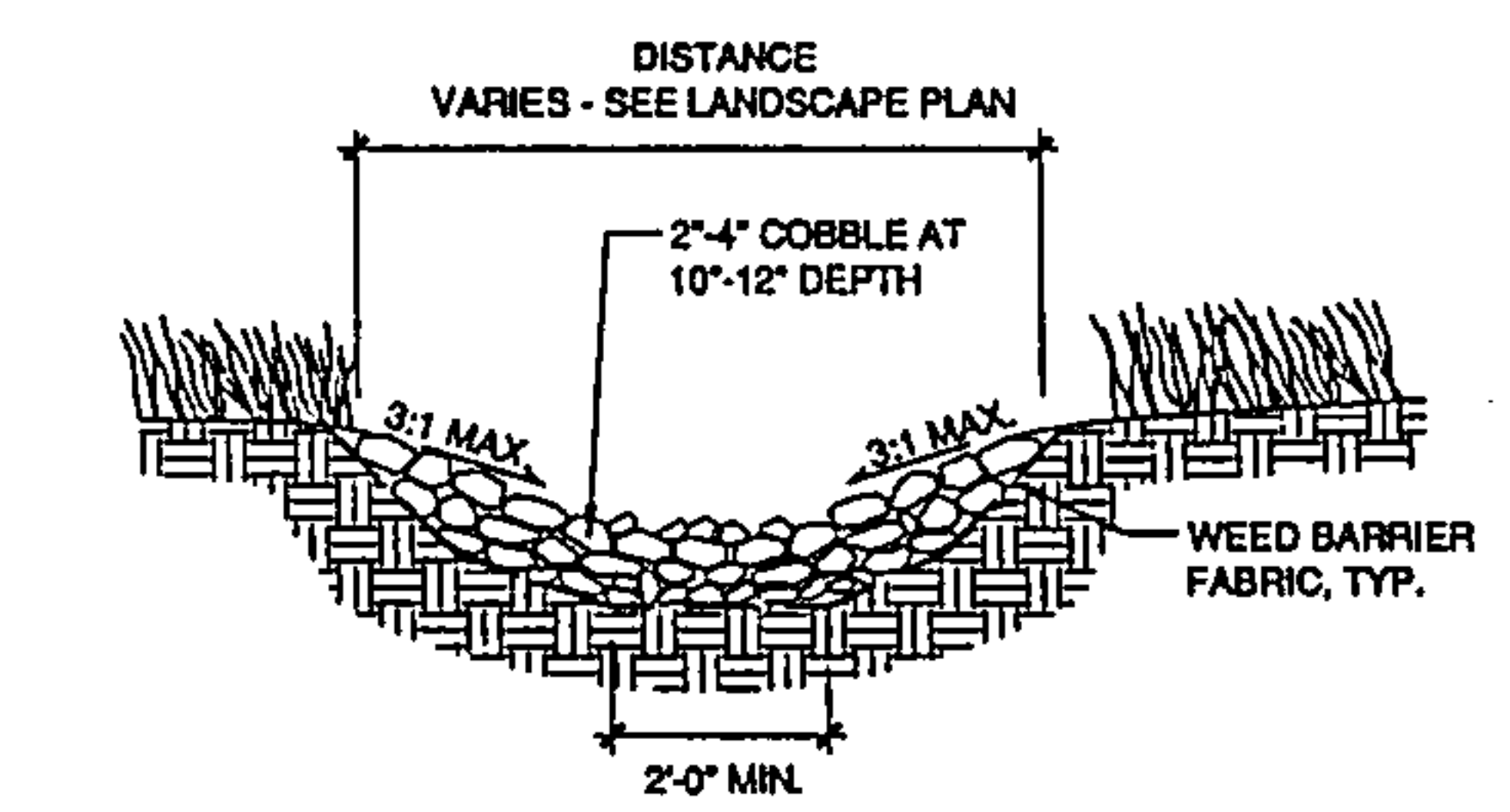
DRAWN BY	SY/KP
REVIEWED BY	CM/WG
DATE	7-13-2009
PROJECT NO.	09-0042
DRAWING NAME	WATER HARVESTING PLAN Portables Campus

SHEET NO.

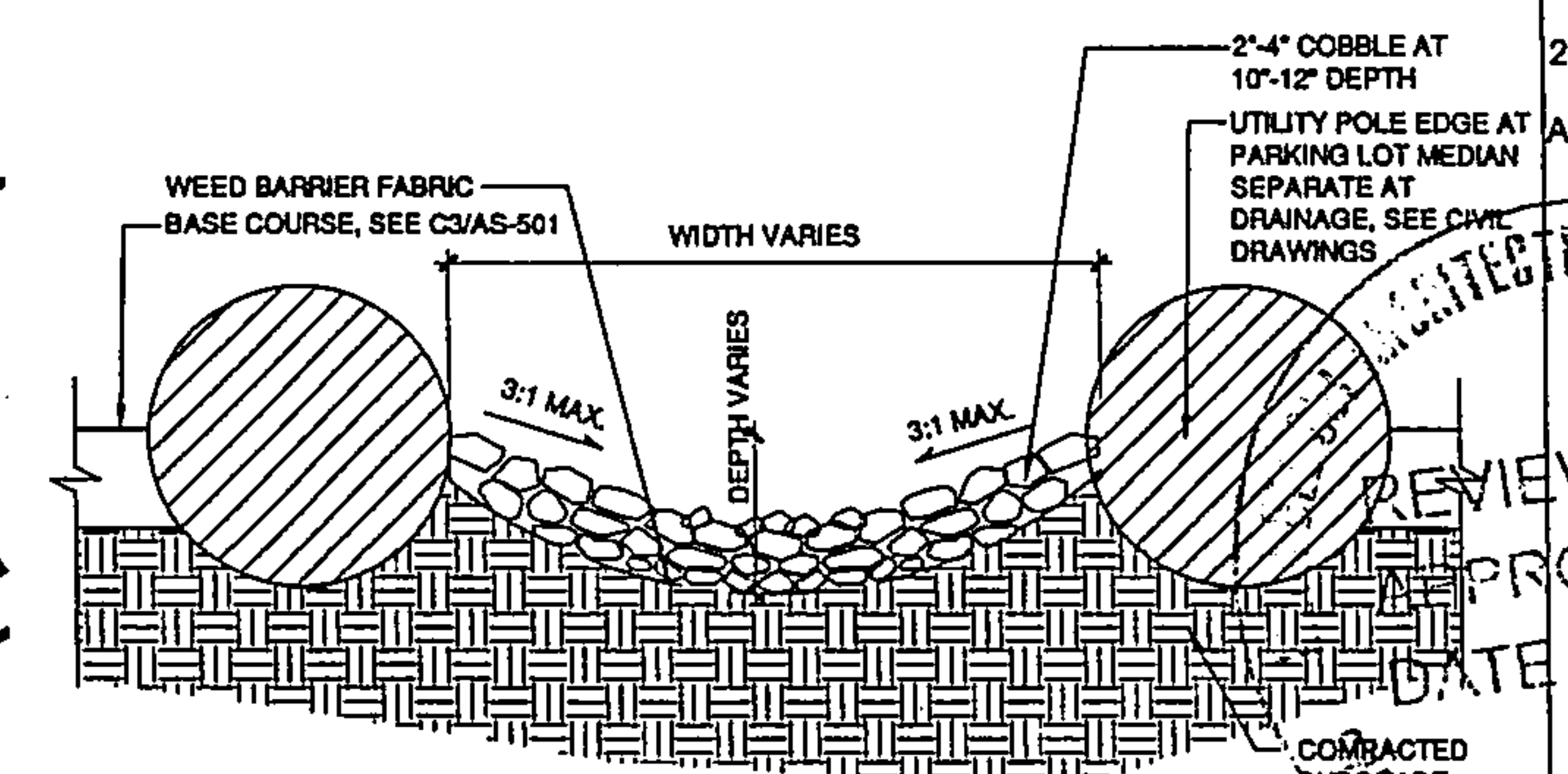
AS-102
OF

WATER HARVESTING CALCULATIONS

The International School Water Harvesting Calc				
Site Acreage			2.02	
Site Area (square feet)			87,991.20	
1/2" Rainfall			3,666.30	cubic feet
Site Features				
Building Footprint (SF)		Area (SF)	Run-off Coefficient	Impervious Area (SF)
Landscaped Area (SF)		42,944.00	0.2	8,506.60
Porous Pavement (SF)		22,903.00	0.8	13,741.80
Asphalt / Concrete (SF)		7,098.00	0.95	6,743.10
Subtotal:				39,328.10
Percentage Impervious Surfaces				0.45
(Site Area - Bldg. Footprint - Landscape Area)				
Water Harvesting Calculations:				
Total Impervious Area:			39,328.10	
Cubic Volume of 1/2" rainfall event:			1,638.59	cubic feet
Average depth in inches required to harvest:			0.46	inches
Water Harvesting Areas				
Slope of Pond Area	Top Rim SF	Bottom Rim SF	Average SF	Depth (feet)
A	8 to 1	821	49	335
B	8 to 1	1328	336	831
C	8 to 1	628	349	437.5
D	3 to 1	311	61	186
E	3 to 1	578	116	348
F	3 to 1	147	21	84
(Outside of lease area)	5 to 1	7848	4779	6212.5
			11253	
			6212.5	1.00
				6,212.50
				8,103.67 cubic feet



C5 DRAINAGE SWALE
3/4" = 1'-0"



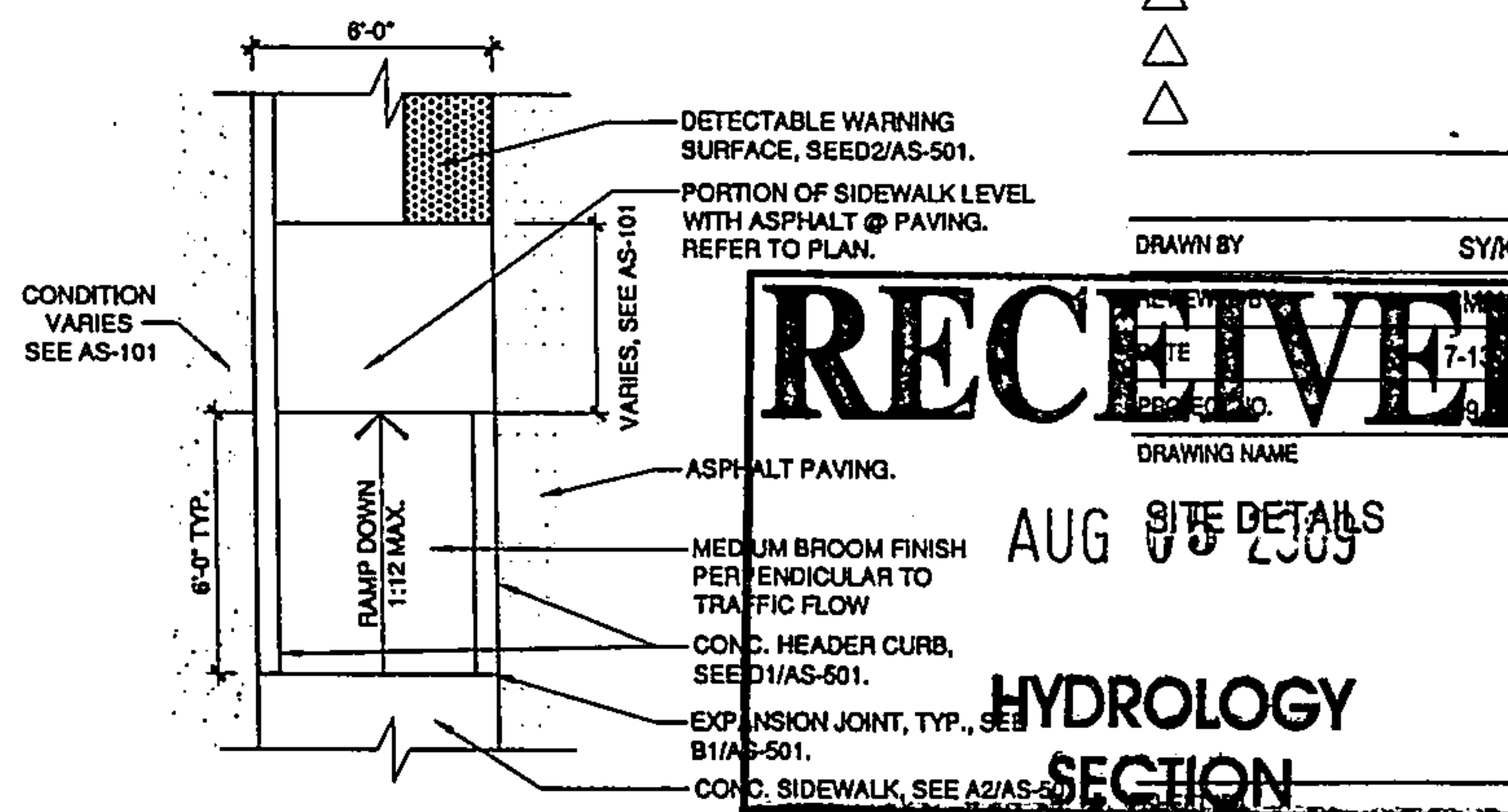
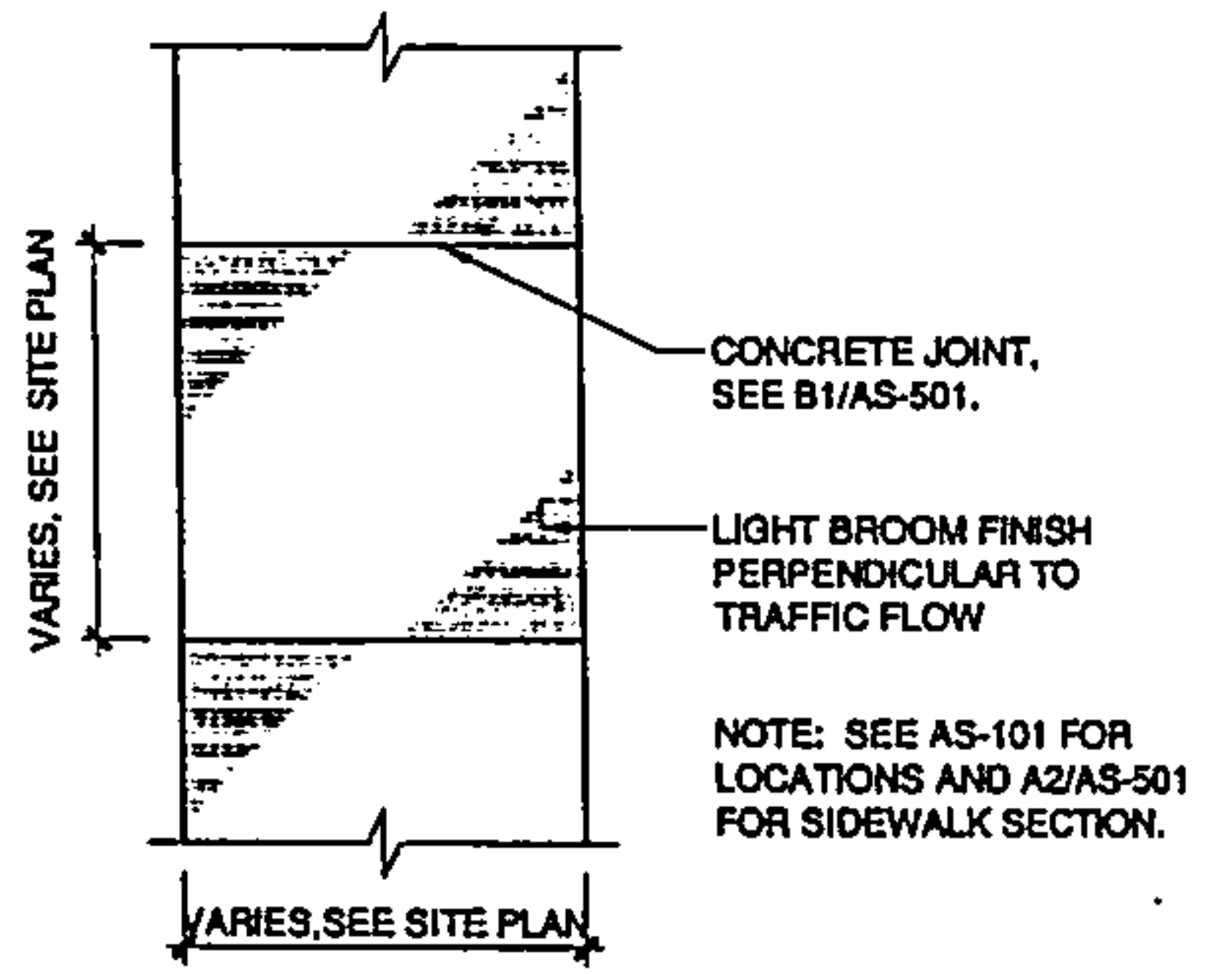
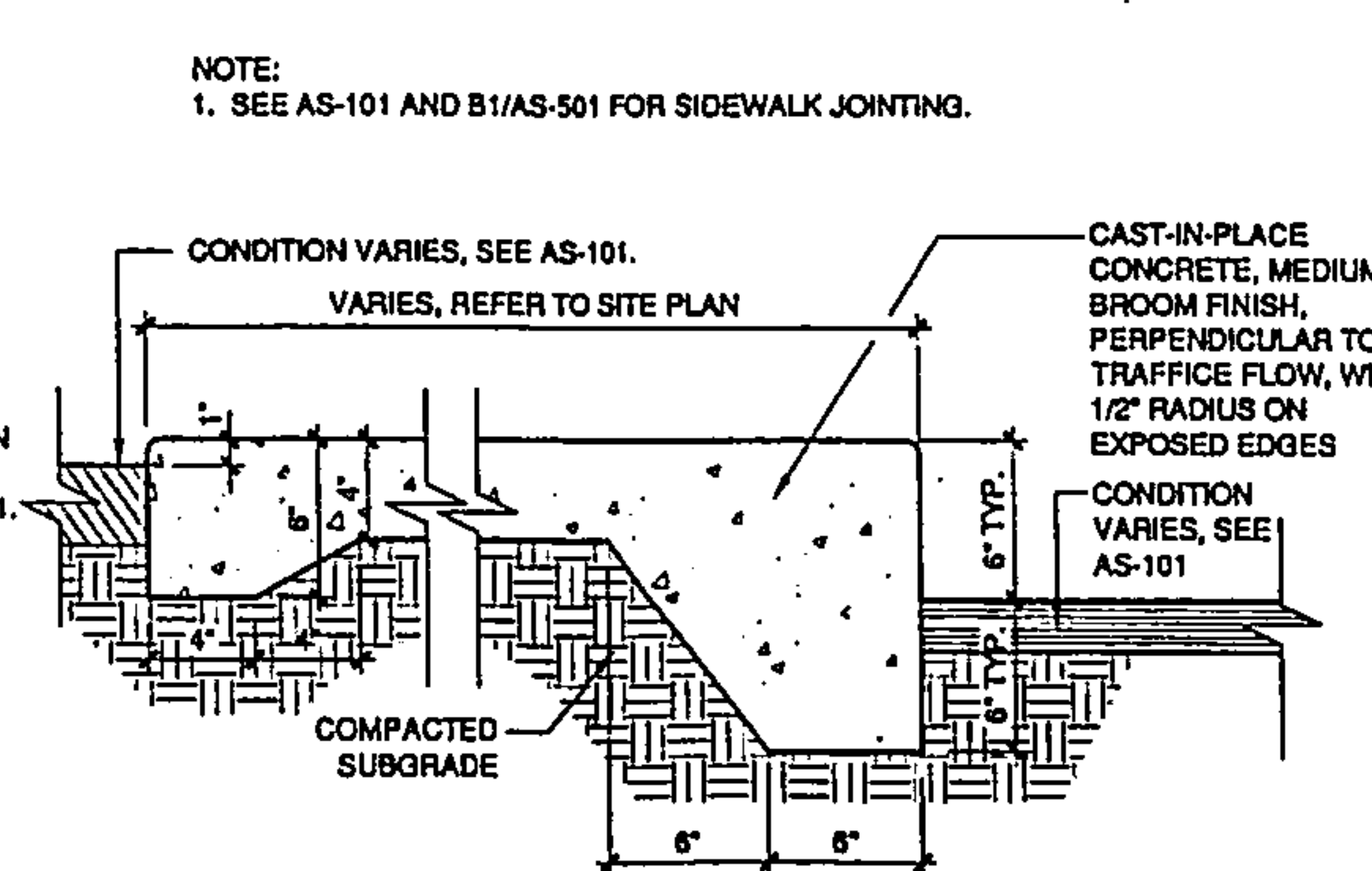
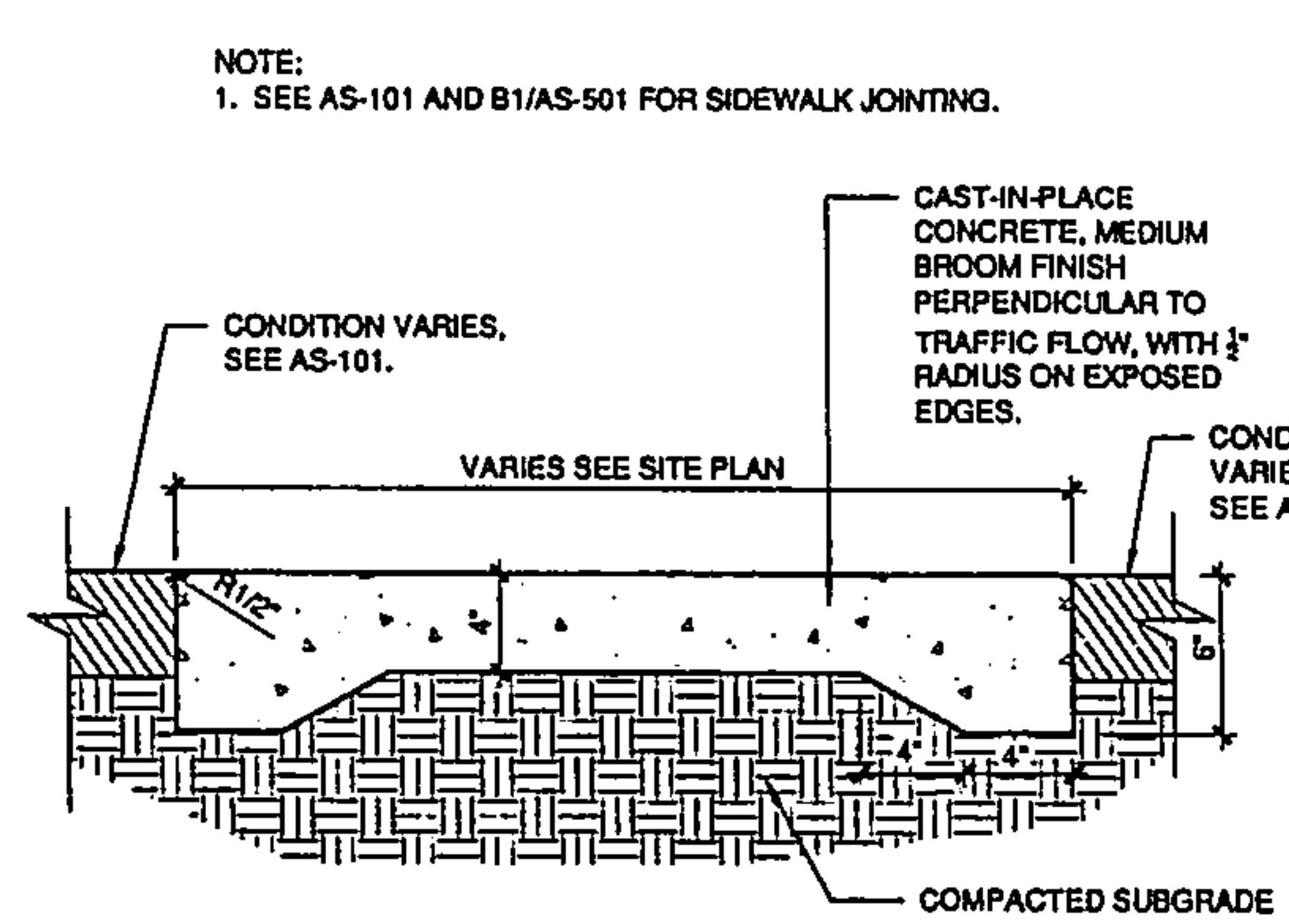
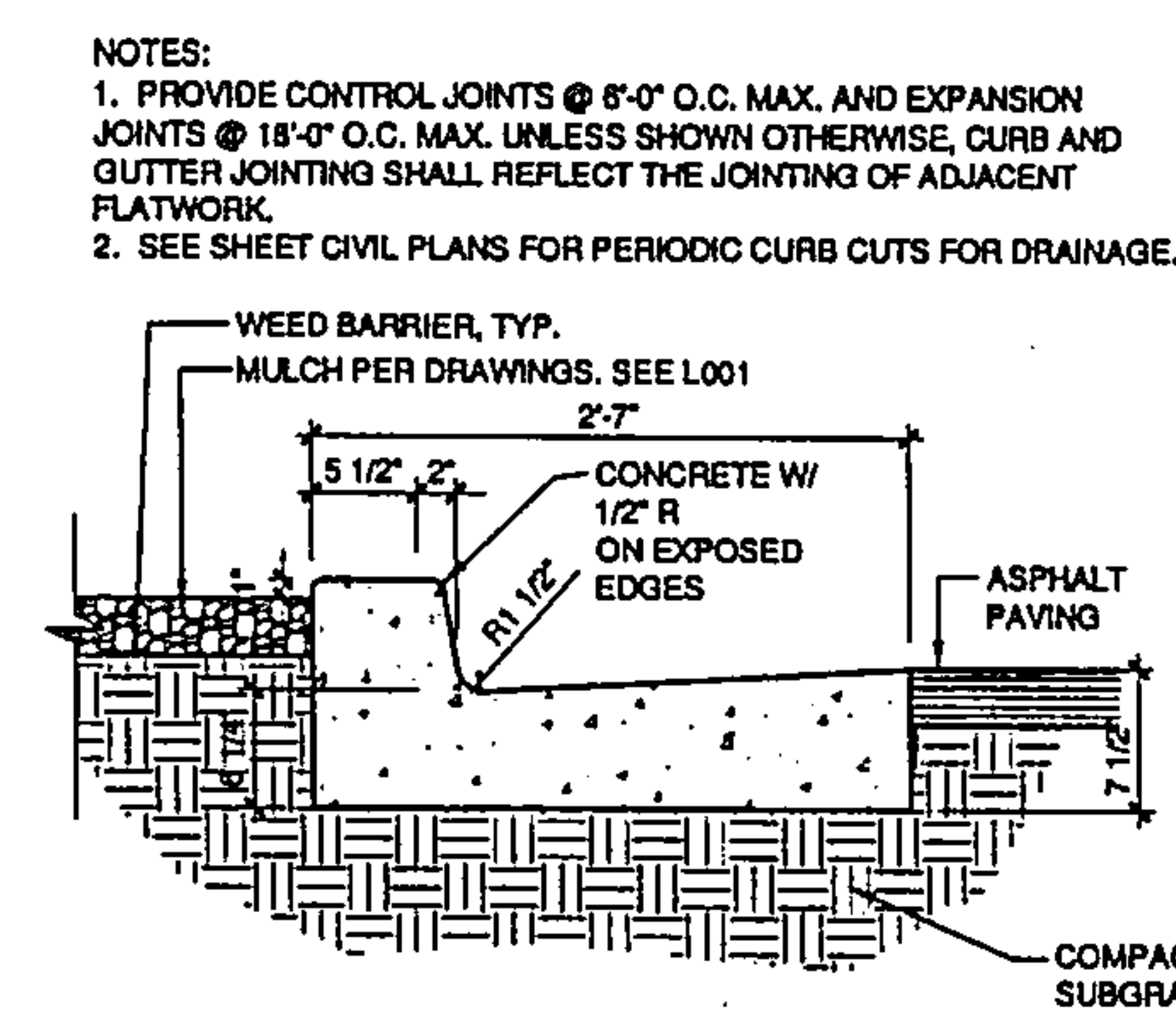
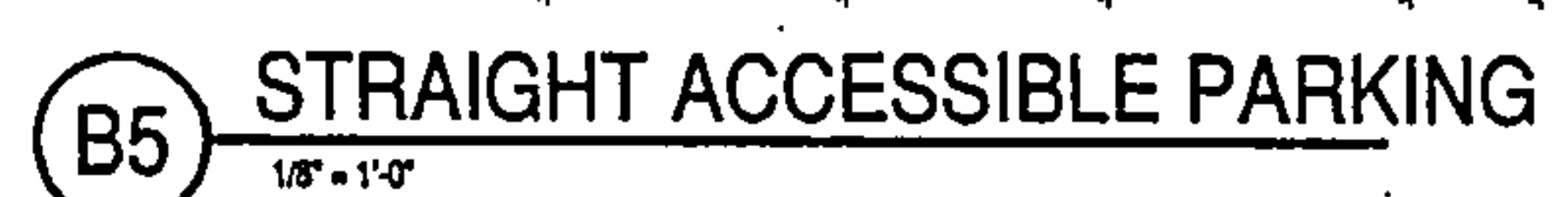
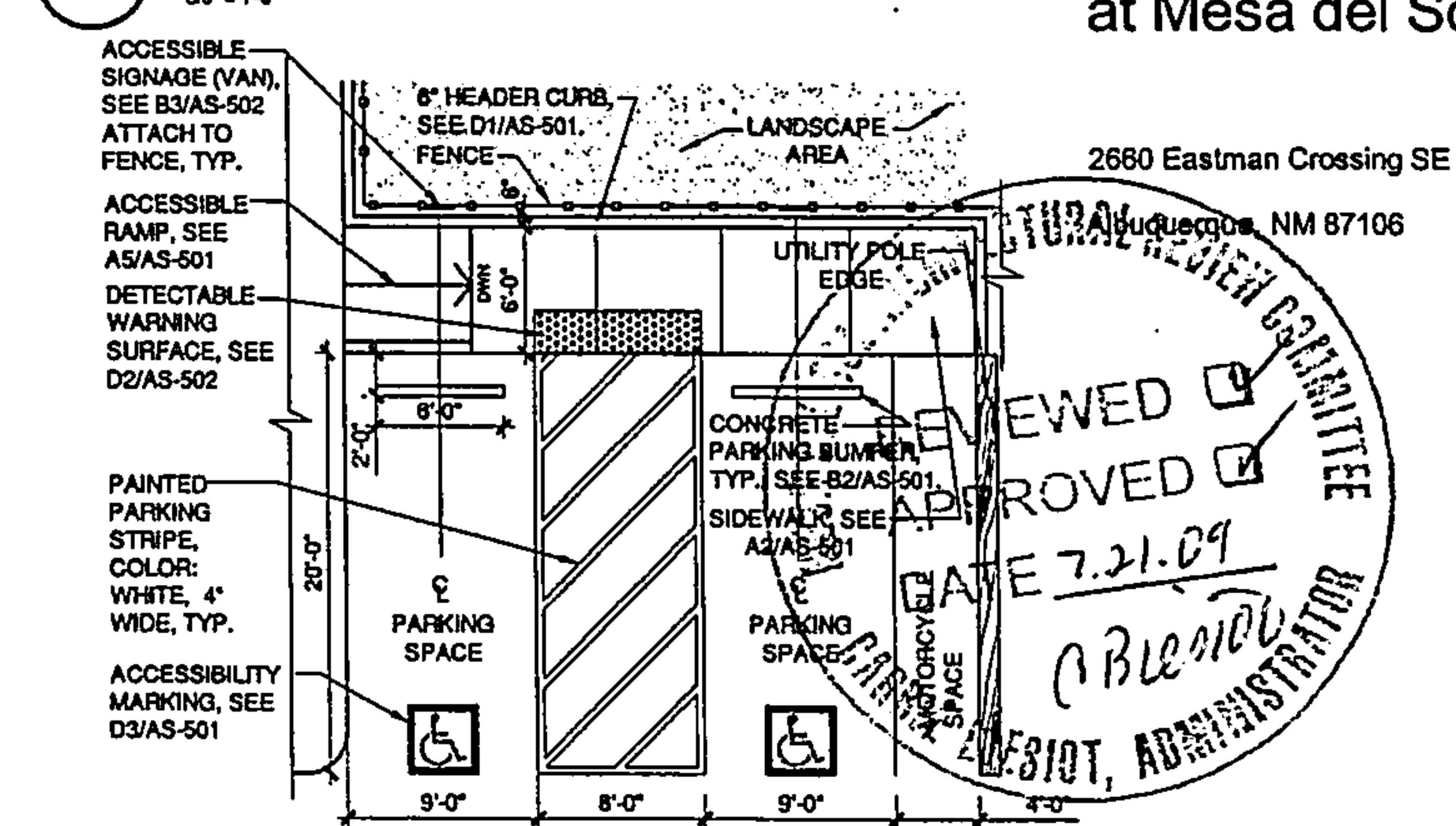
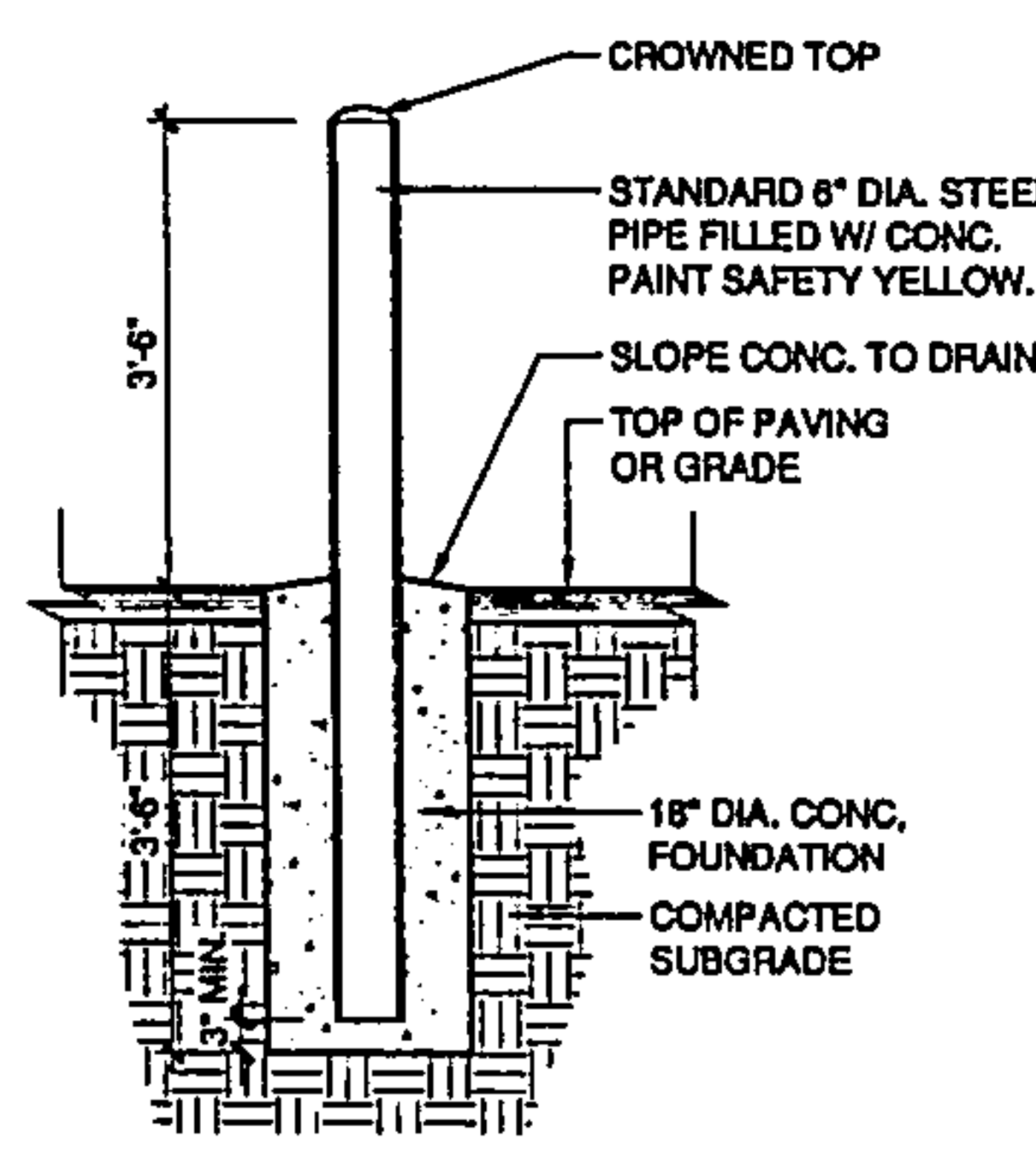
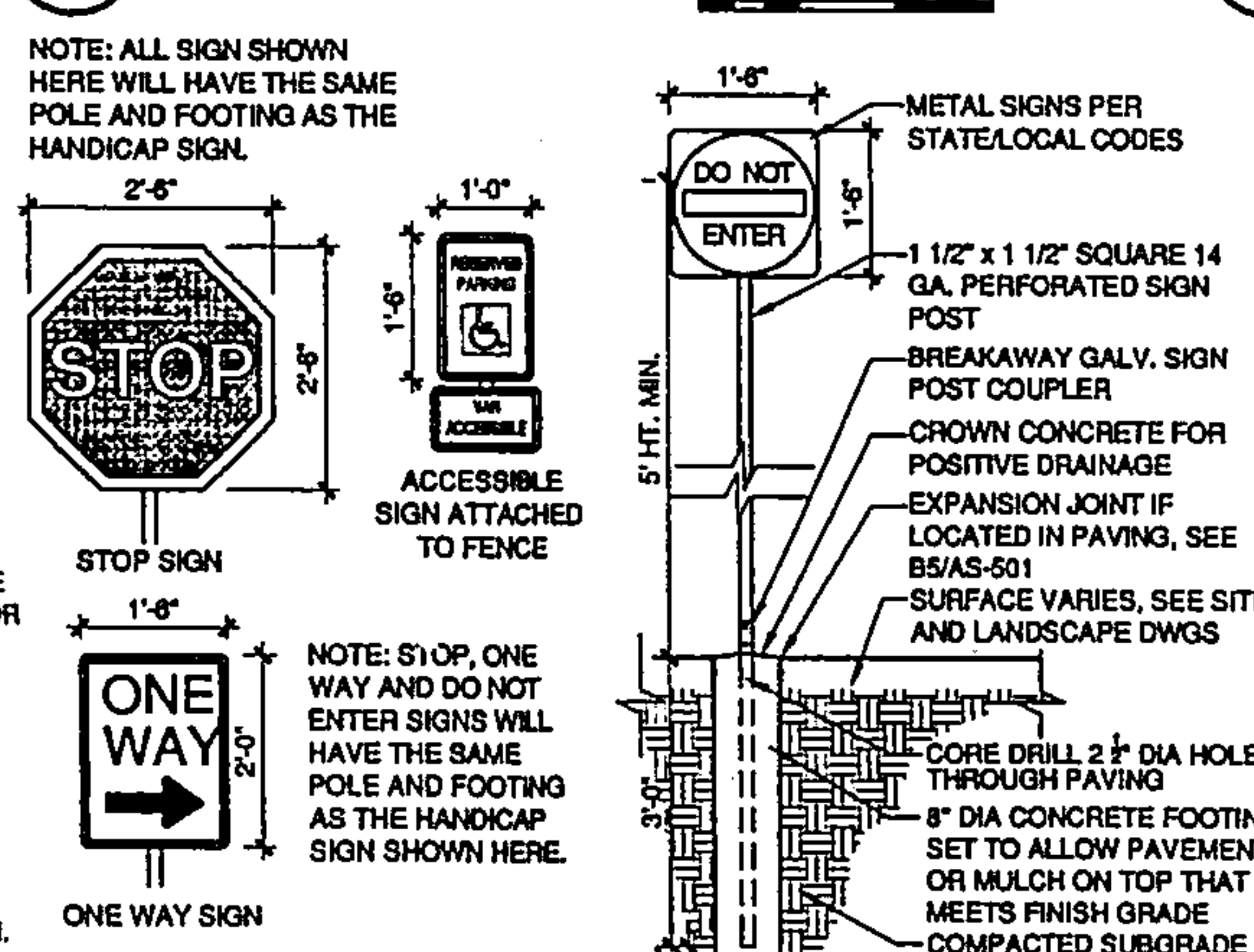
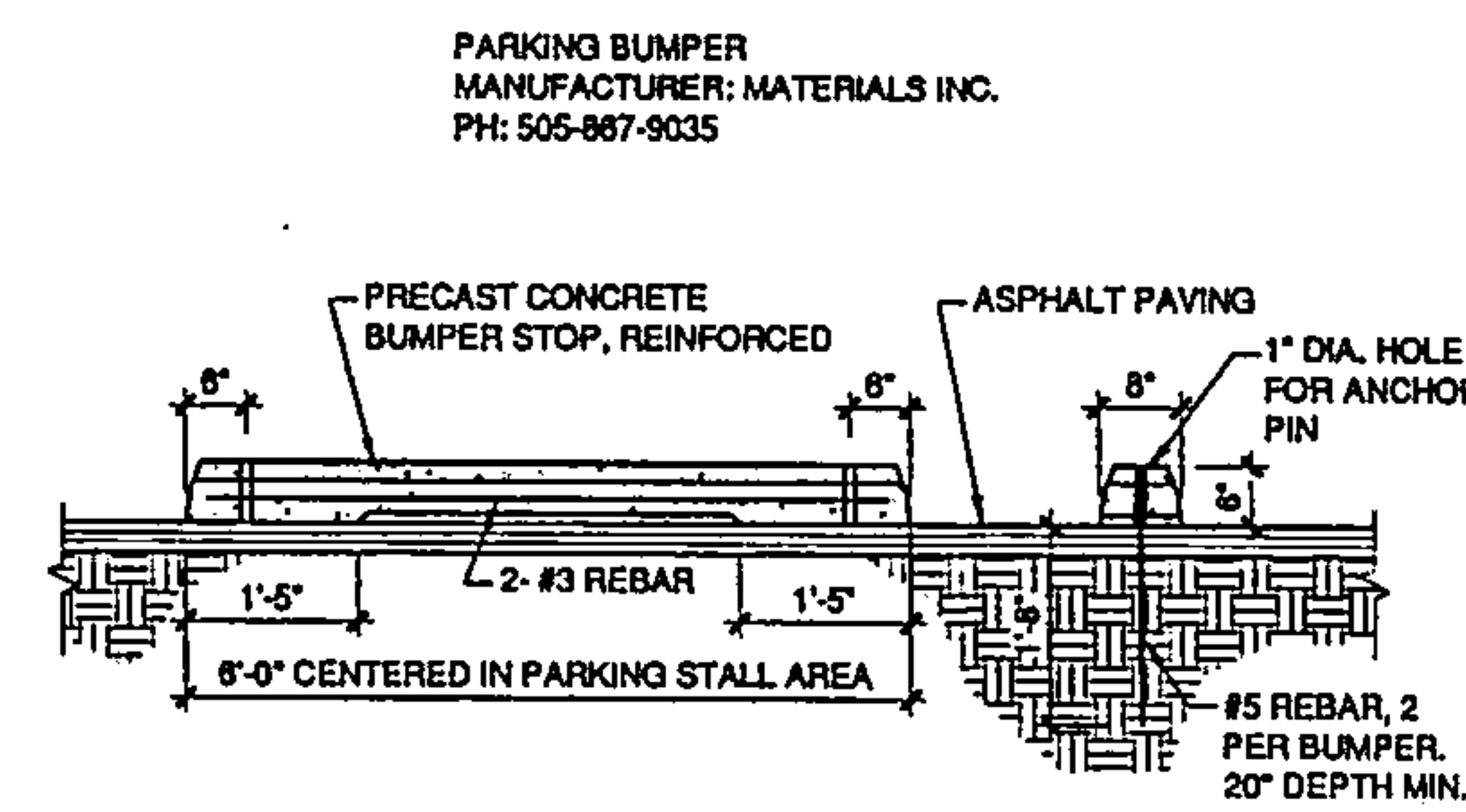
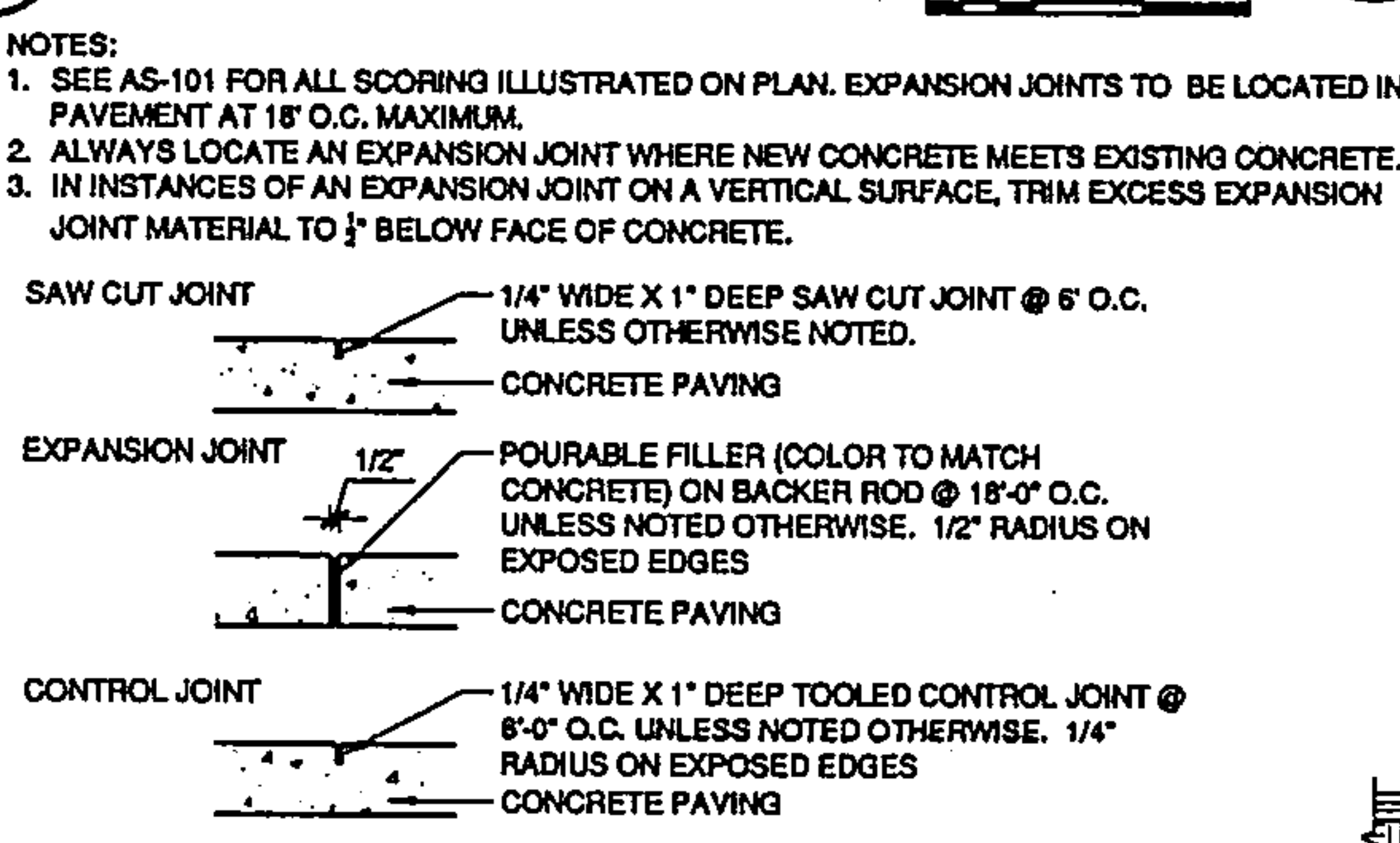
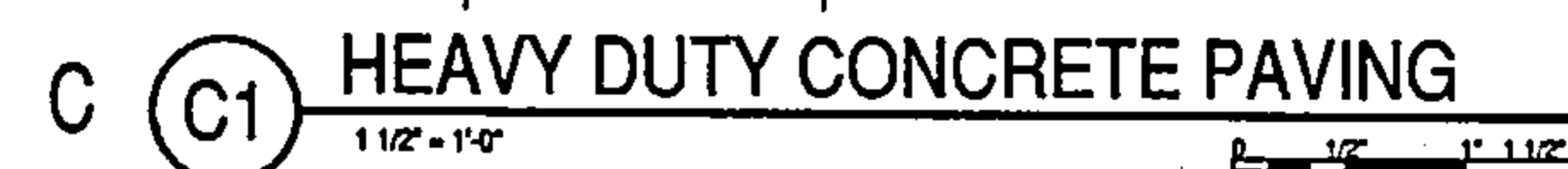
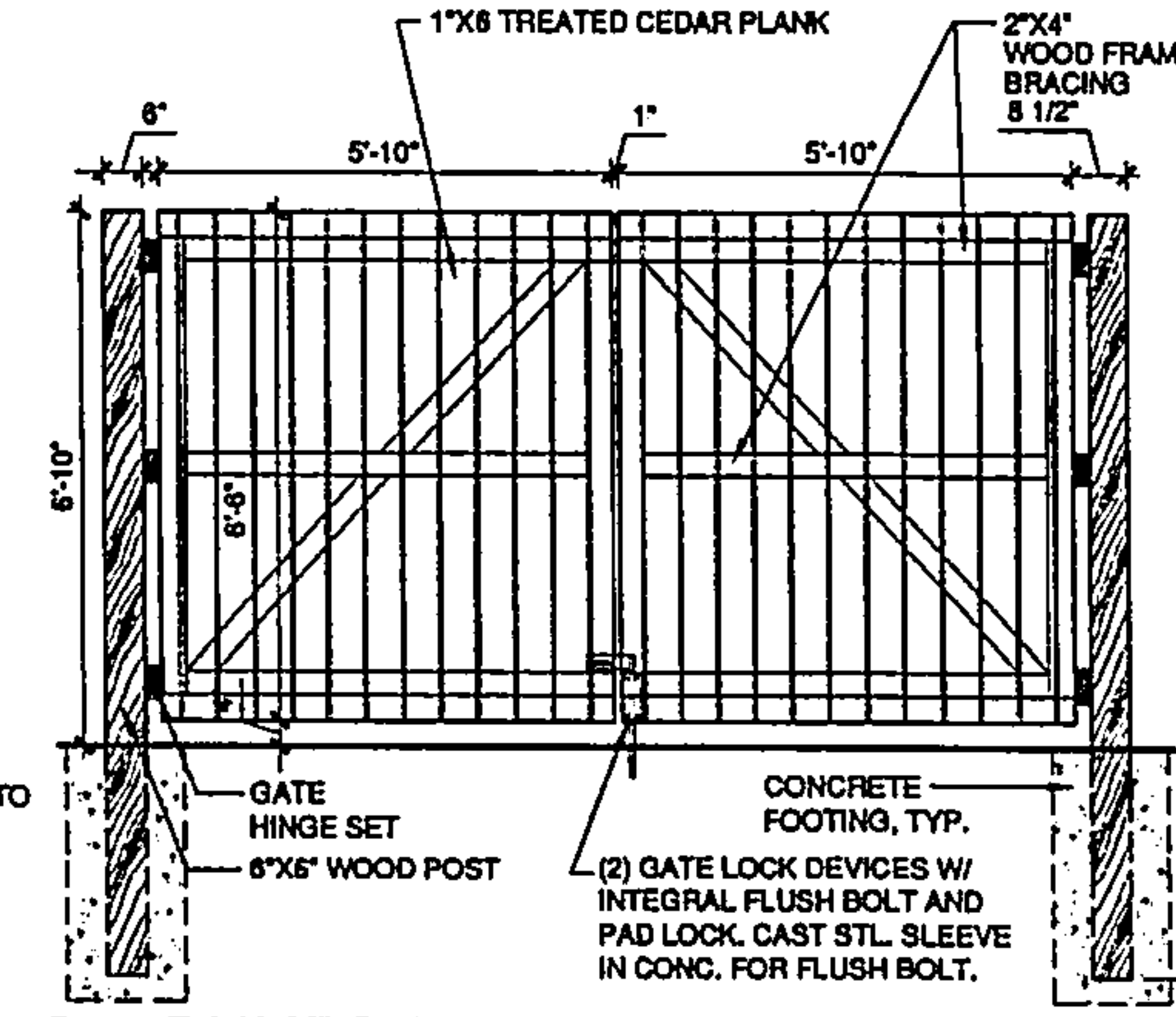
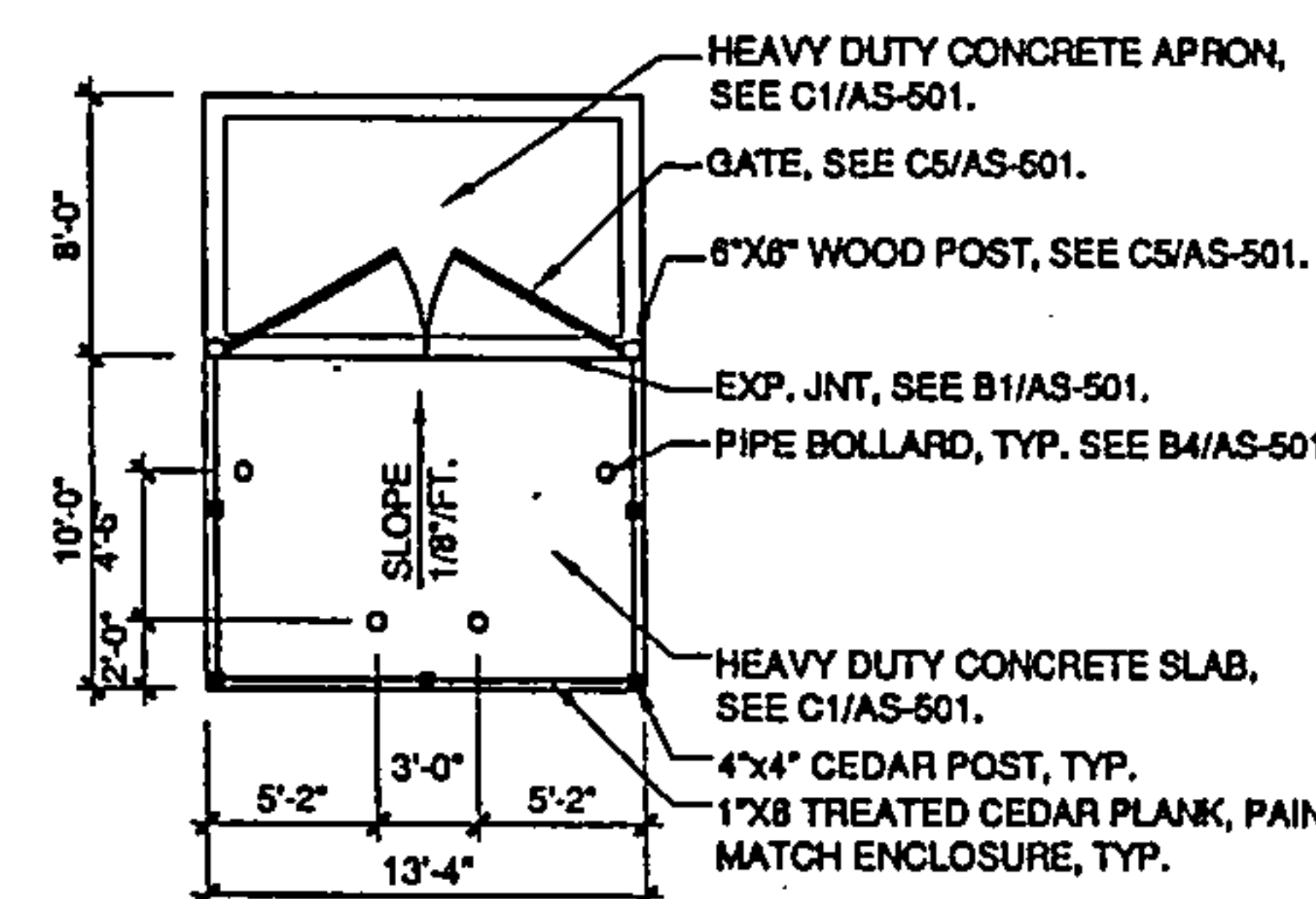
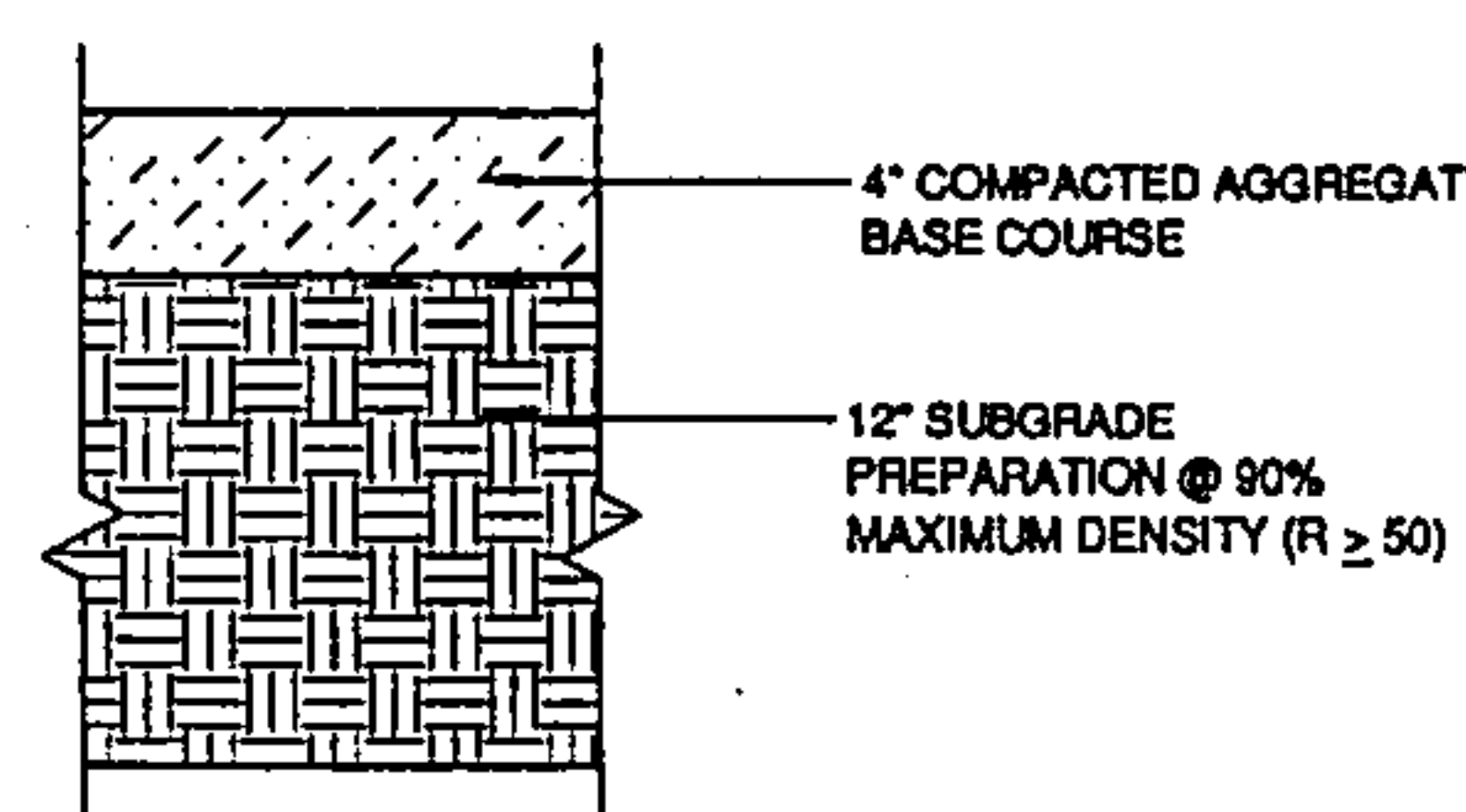
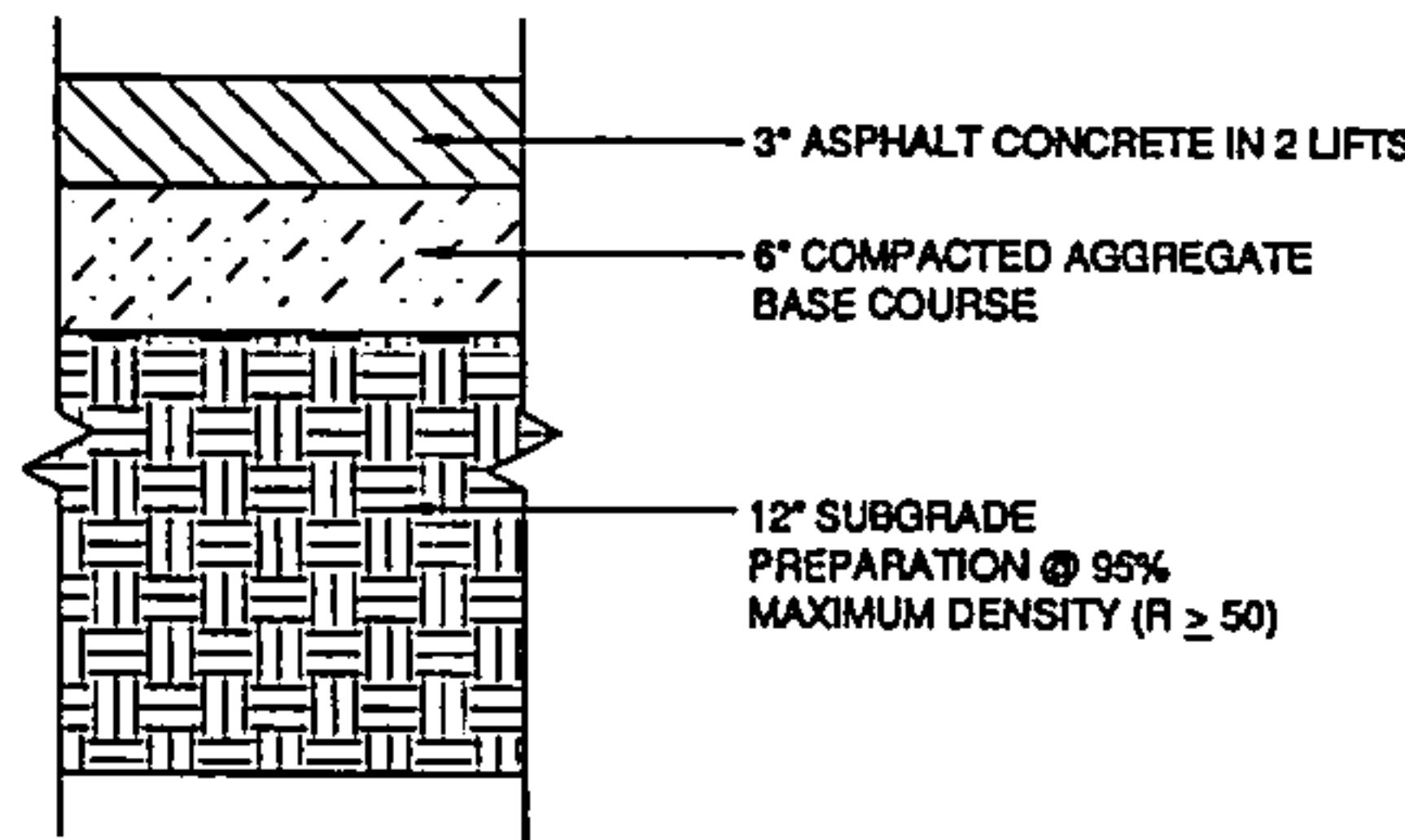
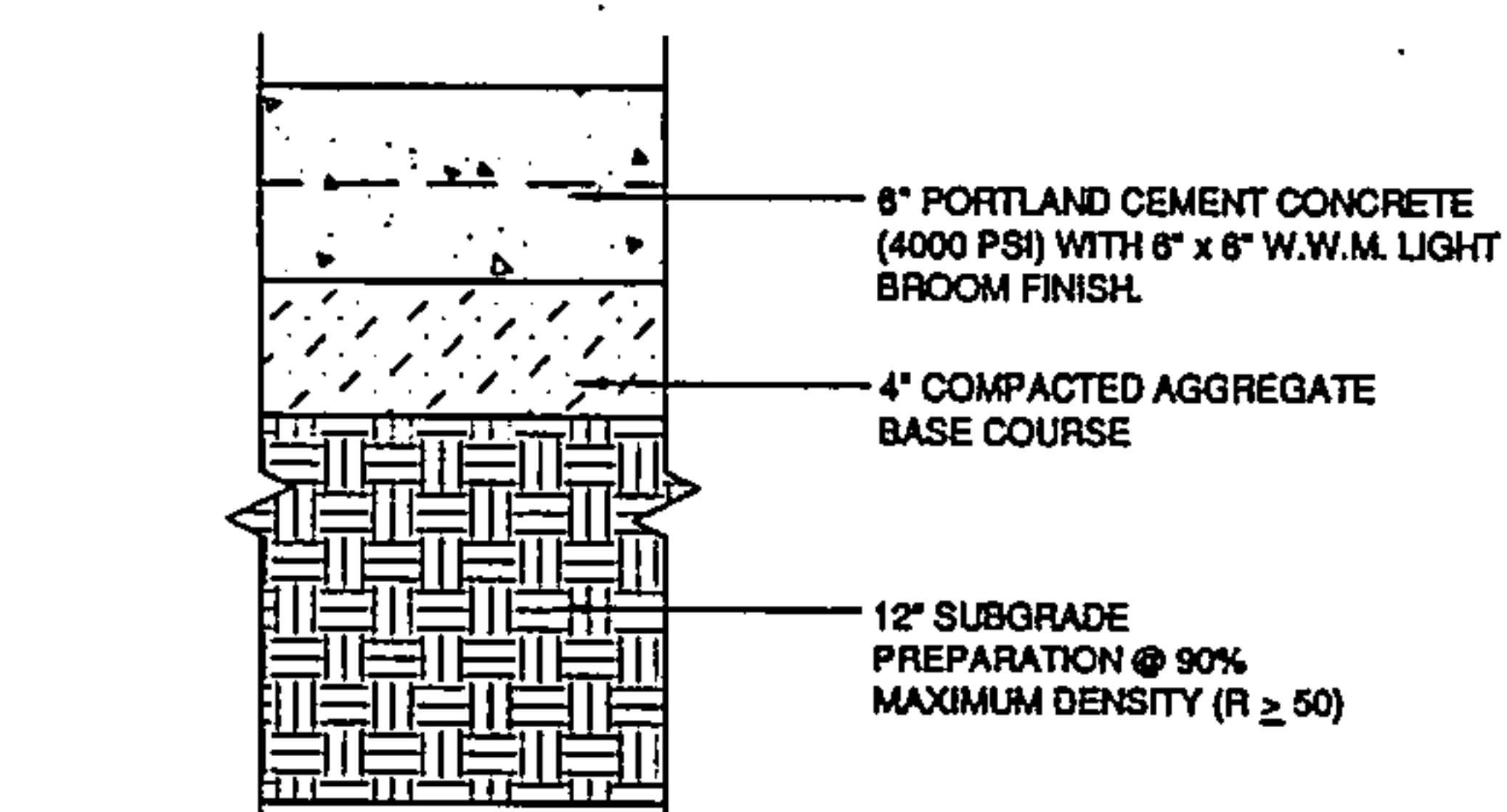
B5 WATER HARVESTING AREA - MEDIAN
1" = 1'-0"

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FOR INFORMATION ONLY
(MESA DEL SOL REQUIREMENT) SECTION

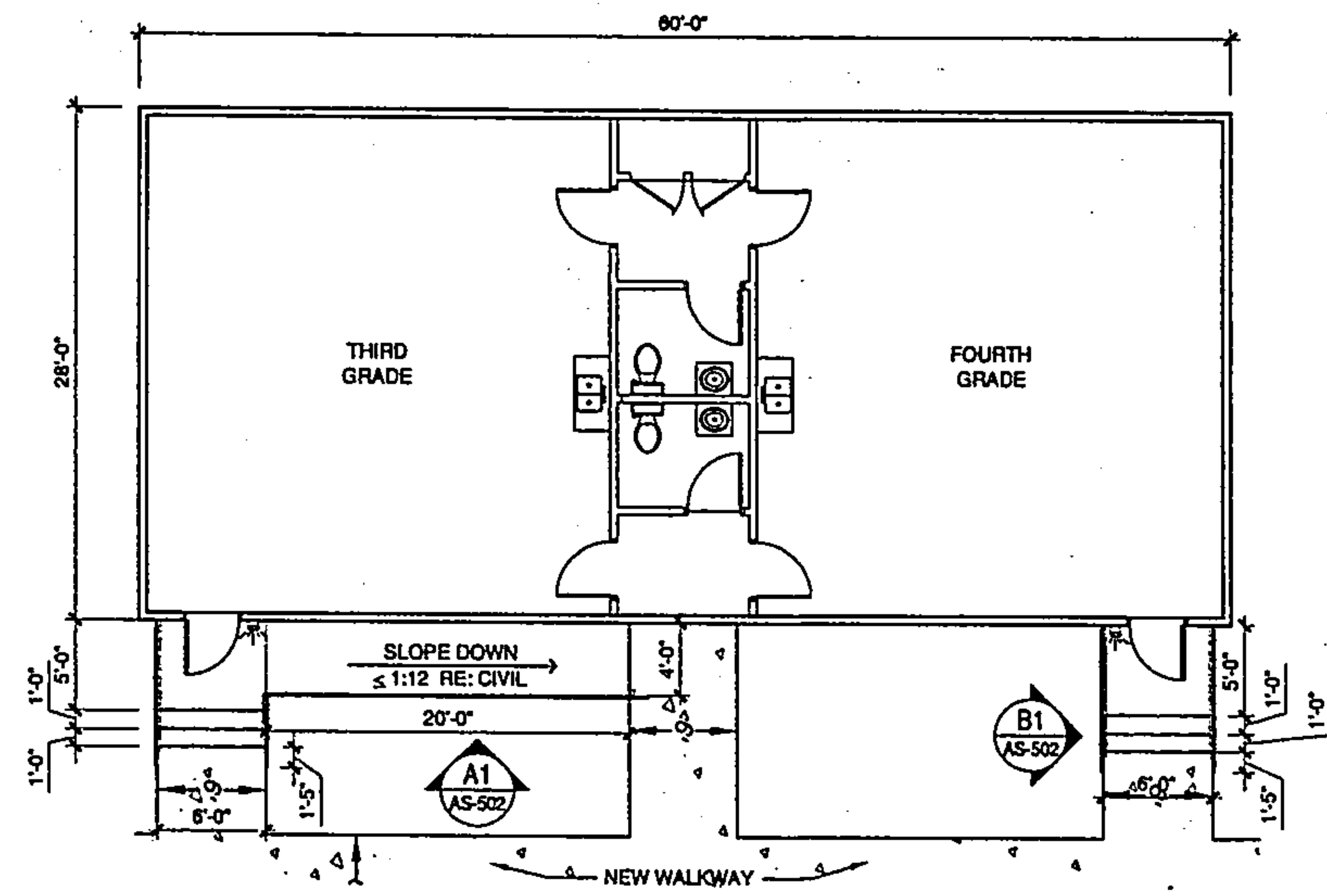
A1 WATER HARVESTING PLAN
1" = 20'-0"



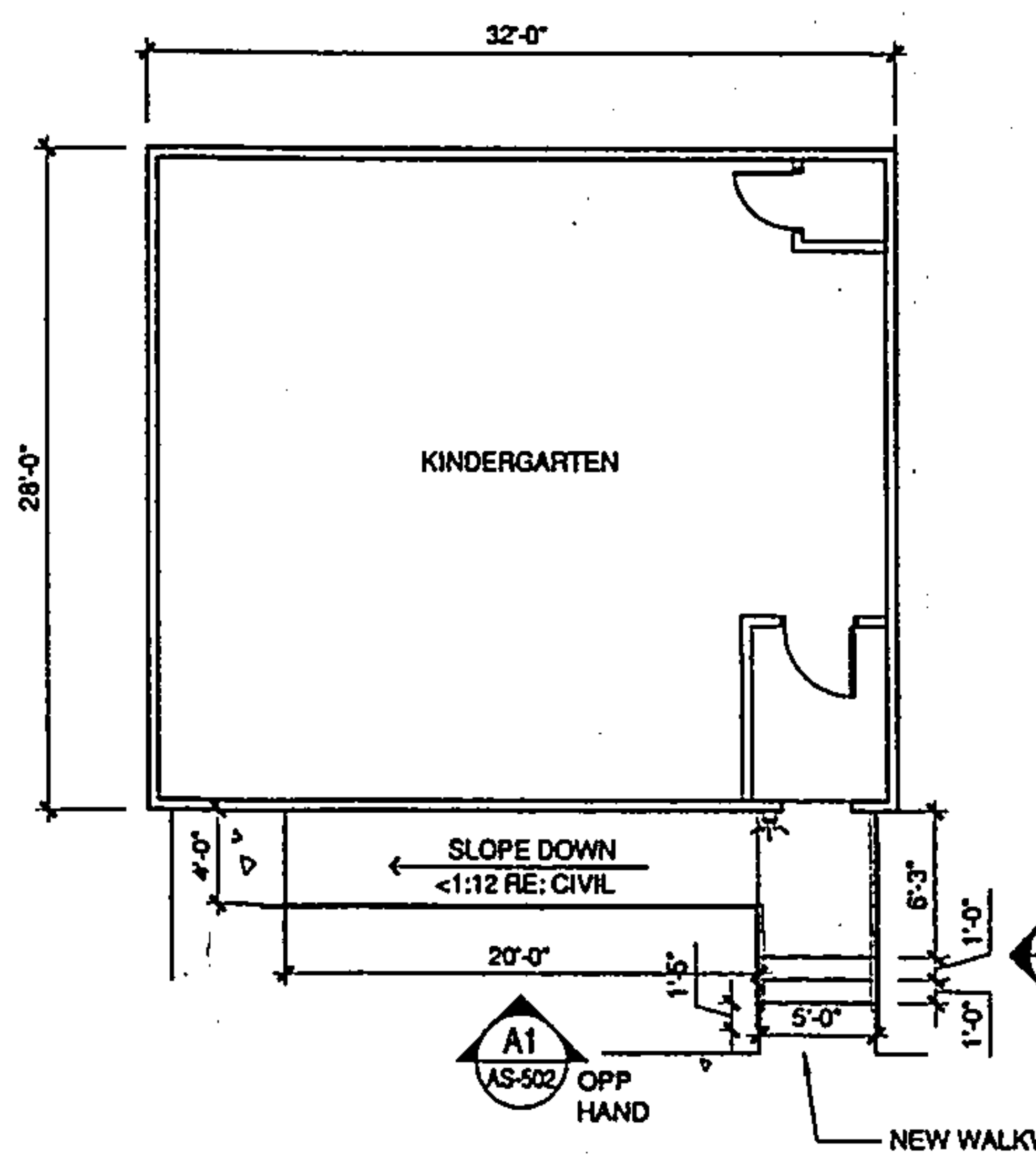
GENERAL PORTABLES NOTE:

PRE-ENGINEERED PORTABLES BUILDING INFORMATION SHOWN ON THIS SHEET IS FOR GENERAL INFORMATION ONLY. OWNER SHALL RELOCATE 8 PORTABLES AND RAMPS, STAIRS AND SKIRTING. ALL ITEMS CURRENTLY IN OPERATION AT 2 RIO RANCHO PUBLIC SCHOOLS (ENCHANTED HILLS ELEMENTARY AND COLINAS DEL NORTE ELEMENTARY).

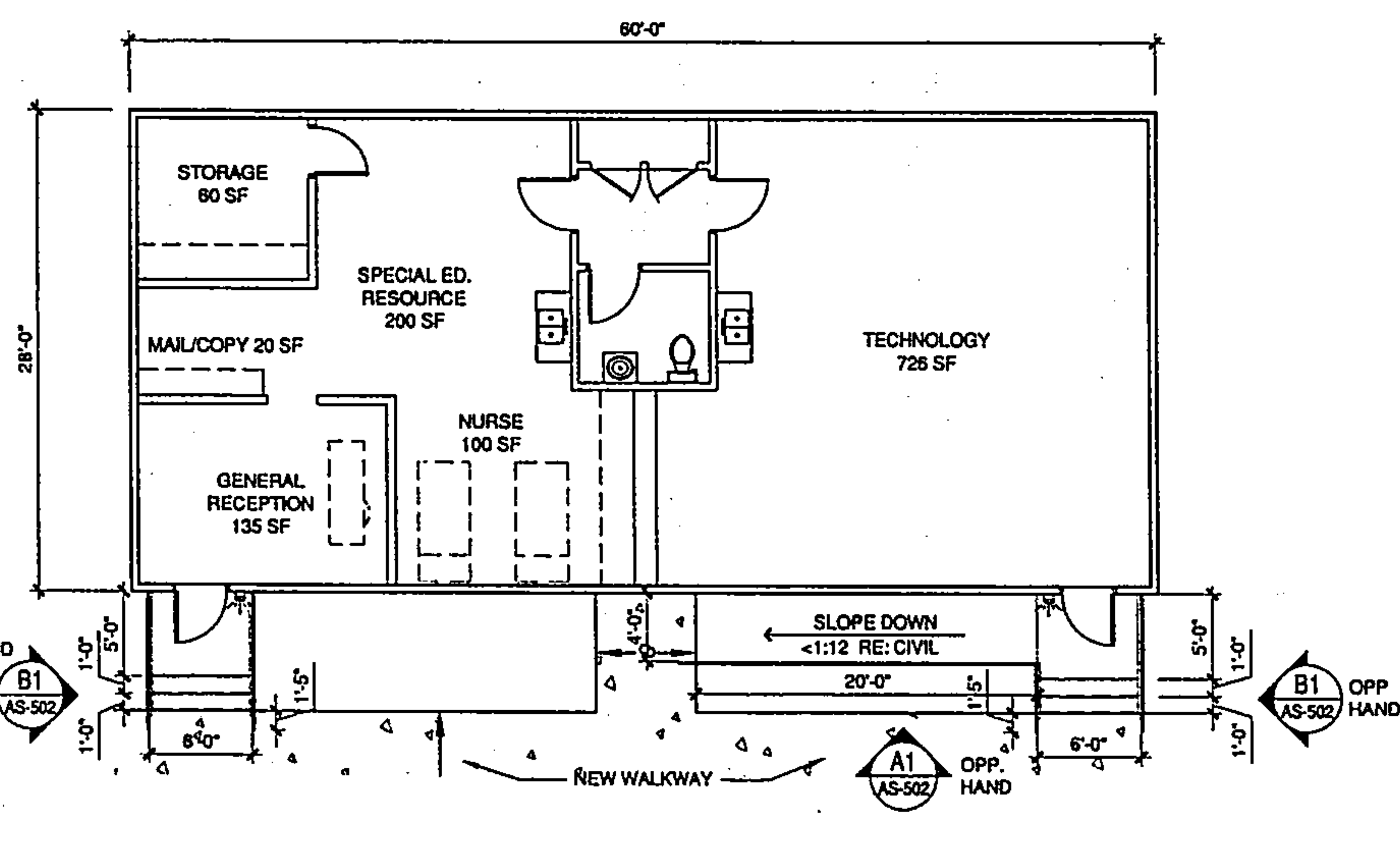
SEE DRAWINGS IN THIS SET FOR NEW WORK ASSOCIATED WITH PORTABLE CAMPUS.



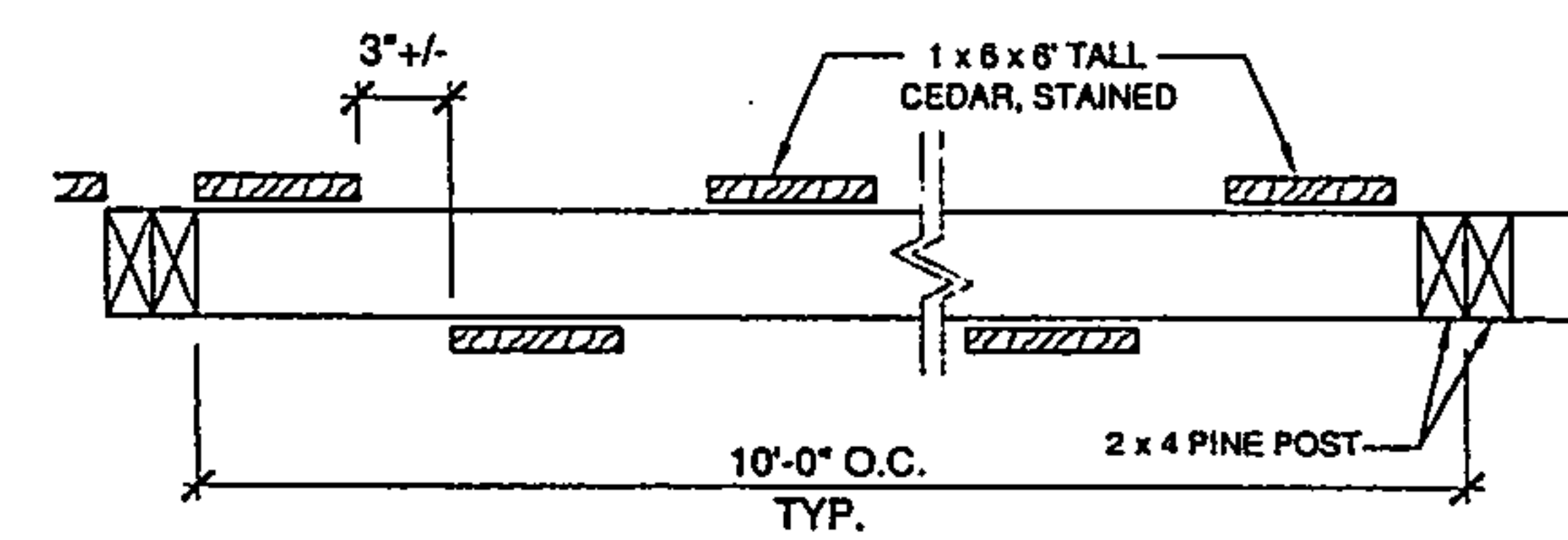
D2 PORTABLE #4 (PORTABLE #3, 5, & 6 SIM)
1/8" = 1'-0"



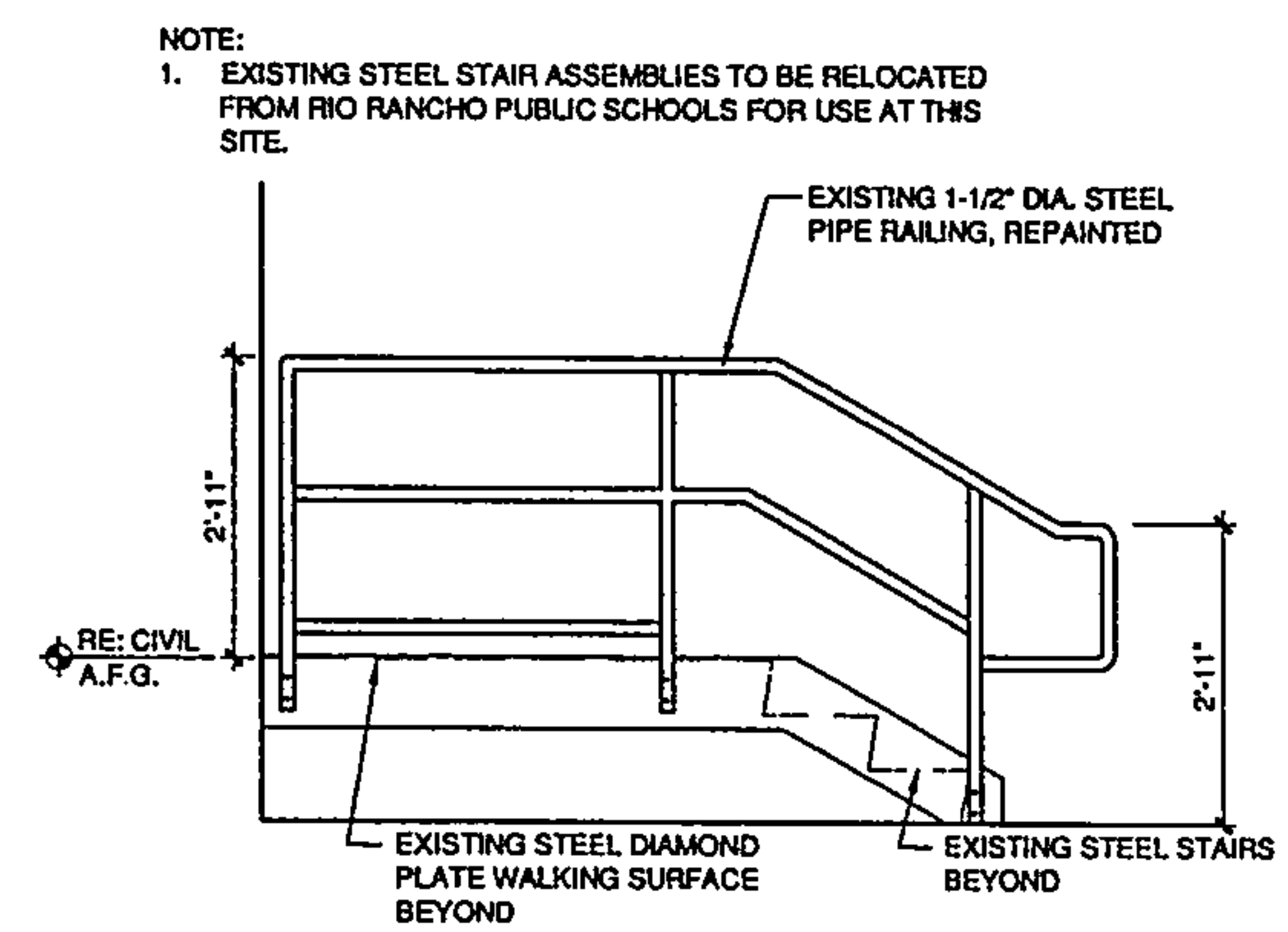
D3 PORTABLE #2
1/8" = 1'-0"



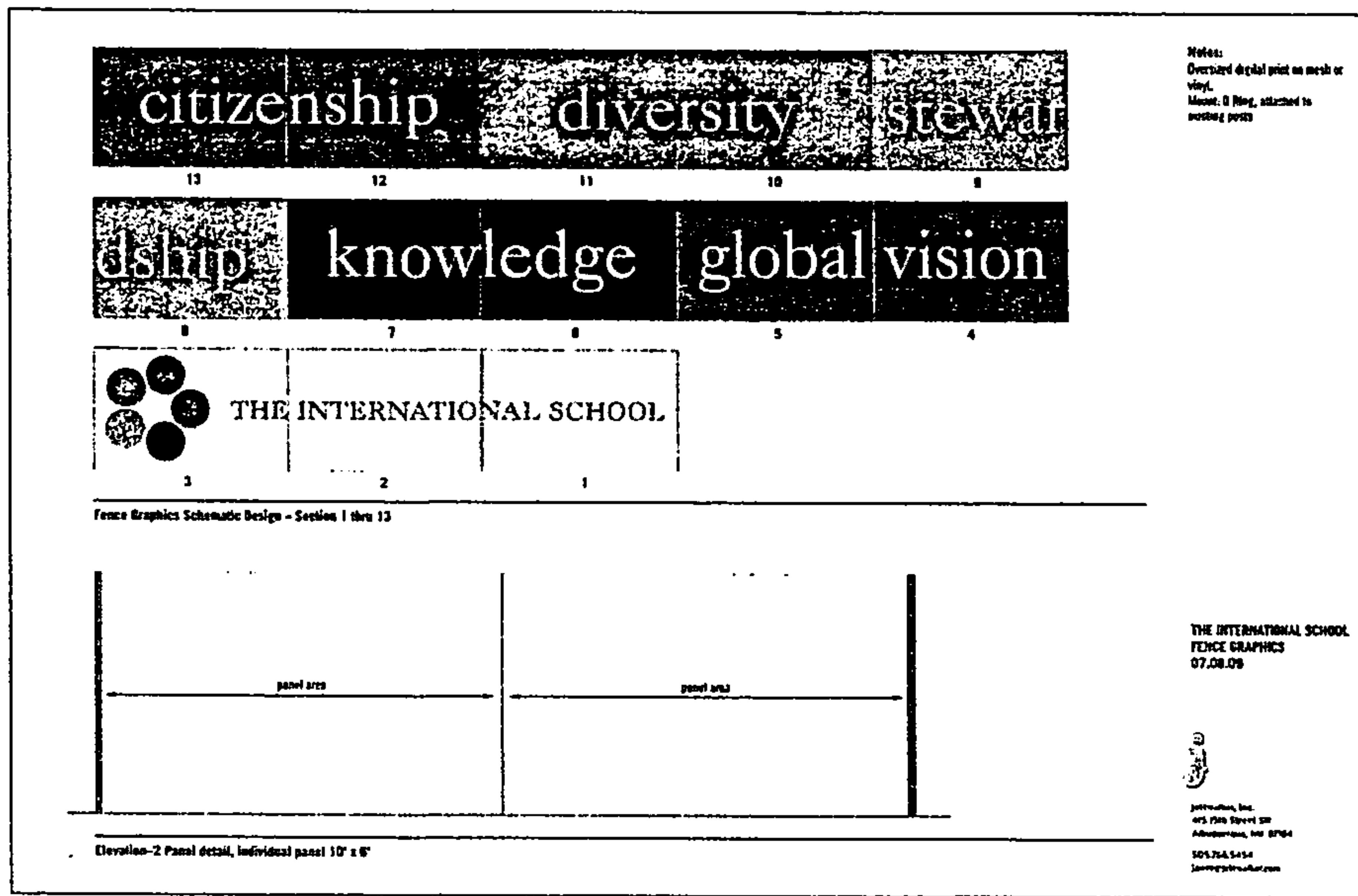
D4 PORTABLE #1
1/8" = 1'-0"



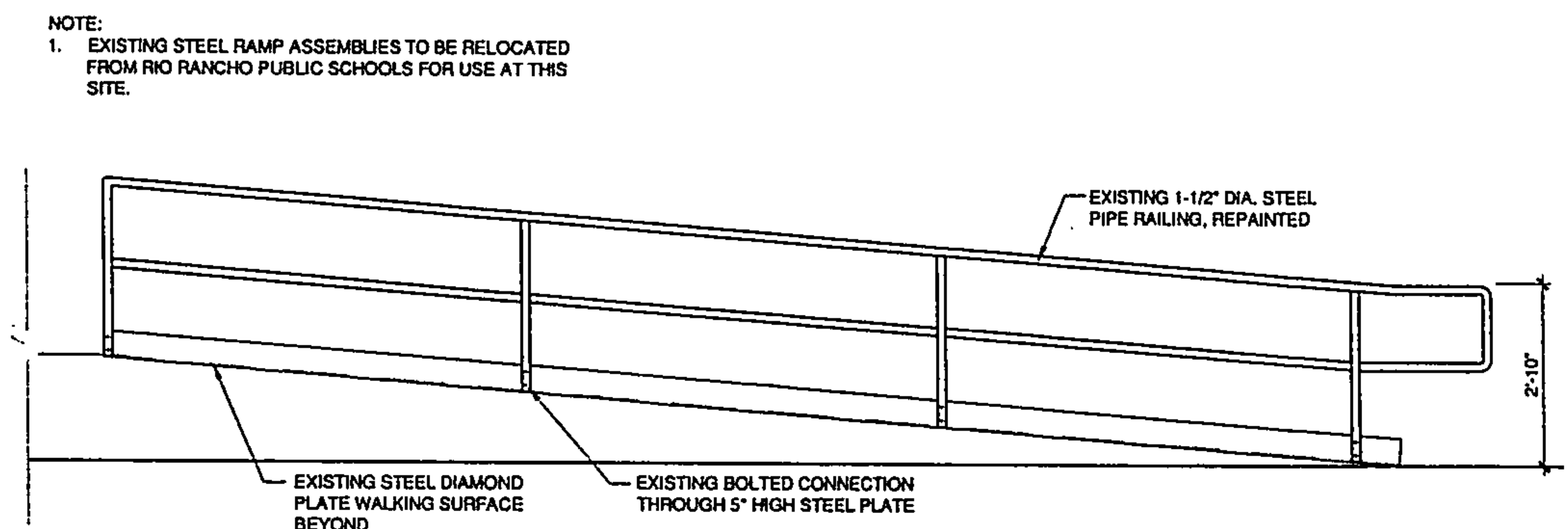
C5 TEMPORARY FENCE PLAN DETAIL
1 1/2" = 1'-0"



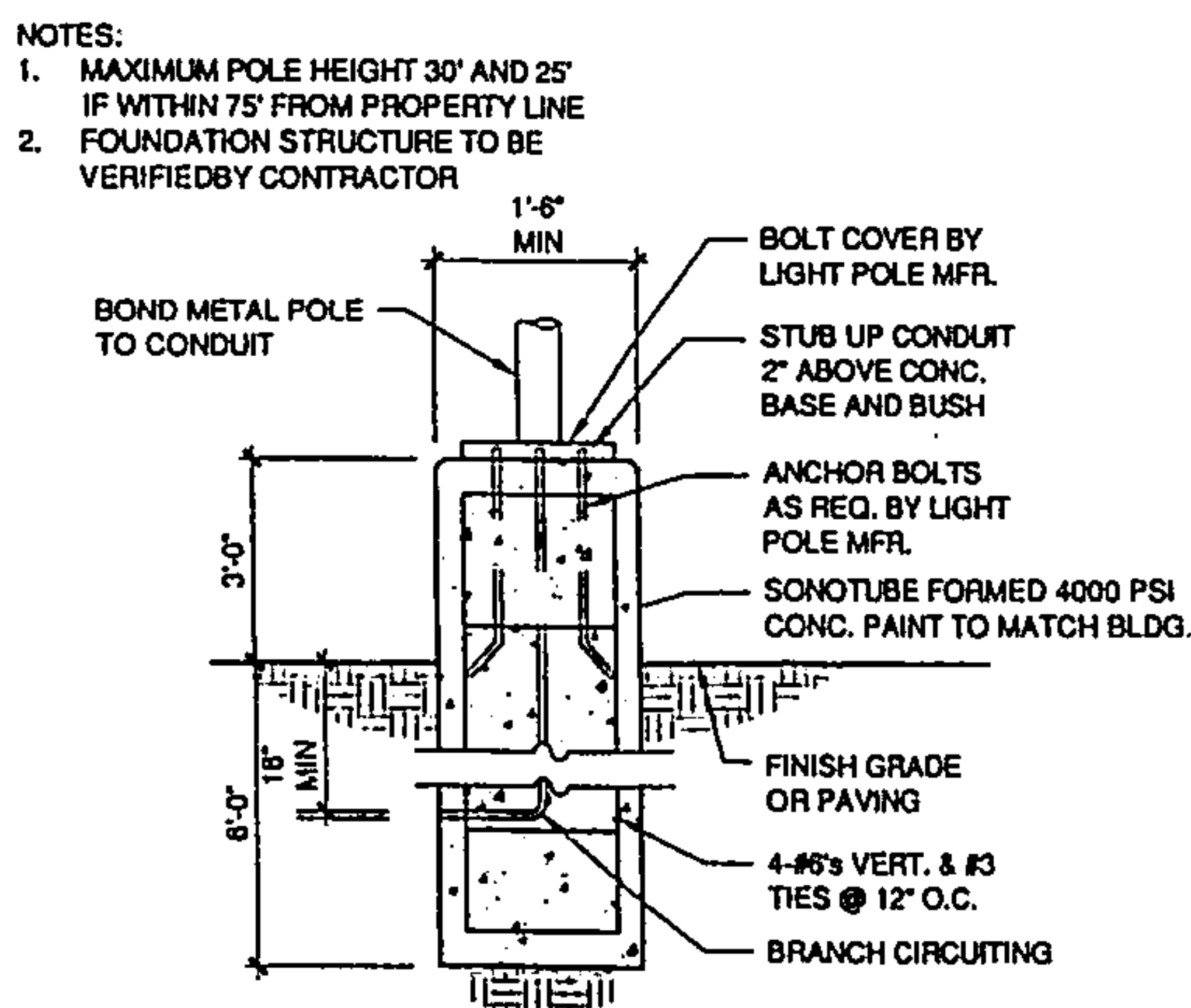
B1 STAIRS AT PORTABLE, TYP.
1/2" = 1'-0"



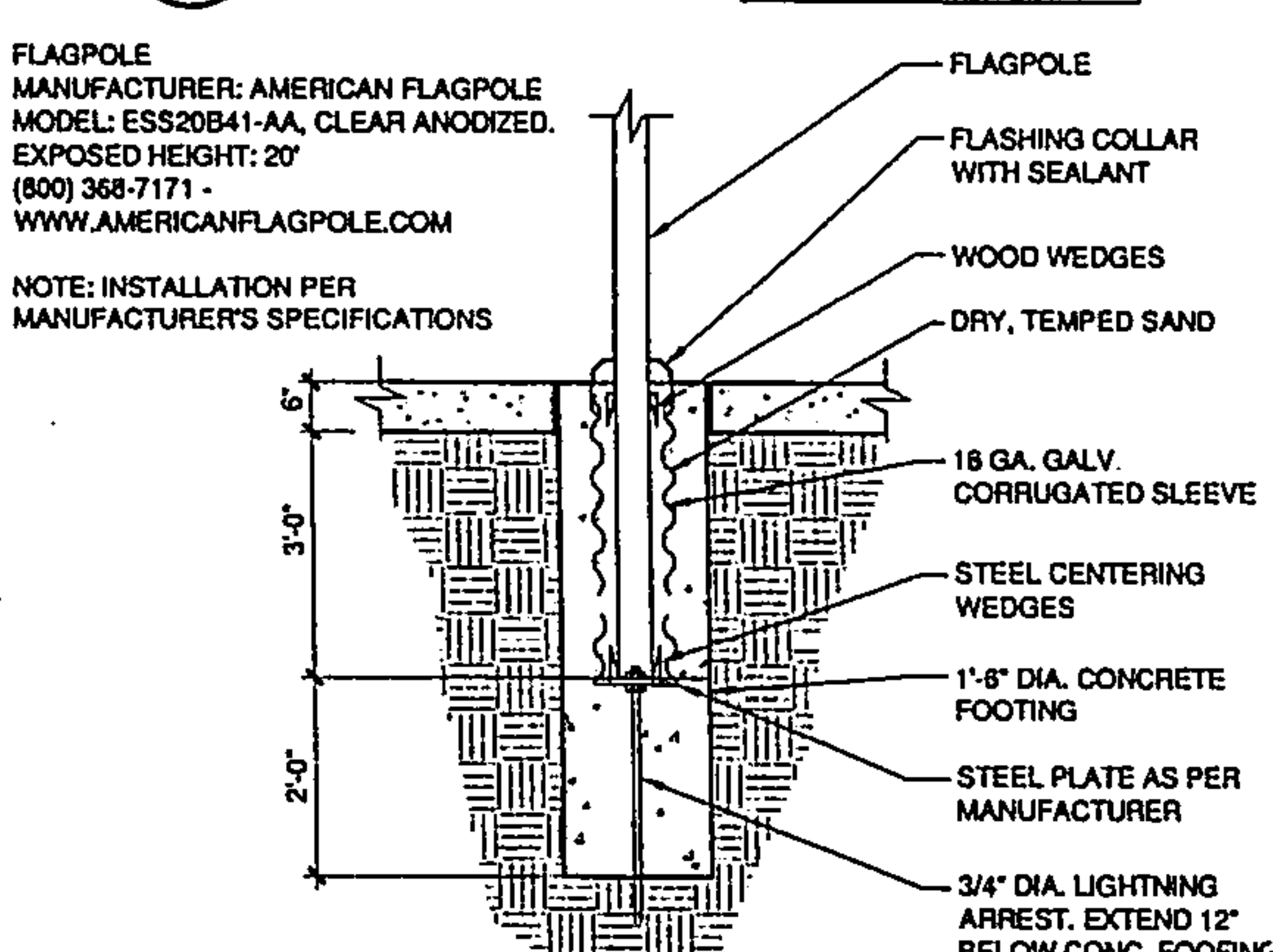
B2 FENCE SIGNAGE
N.T.S.



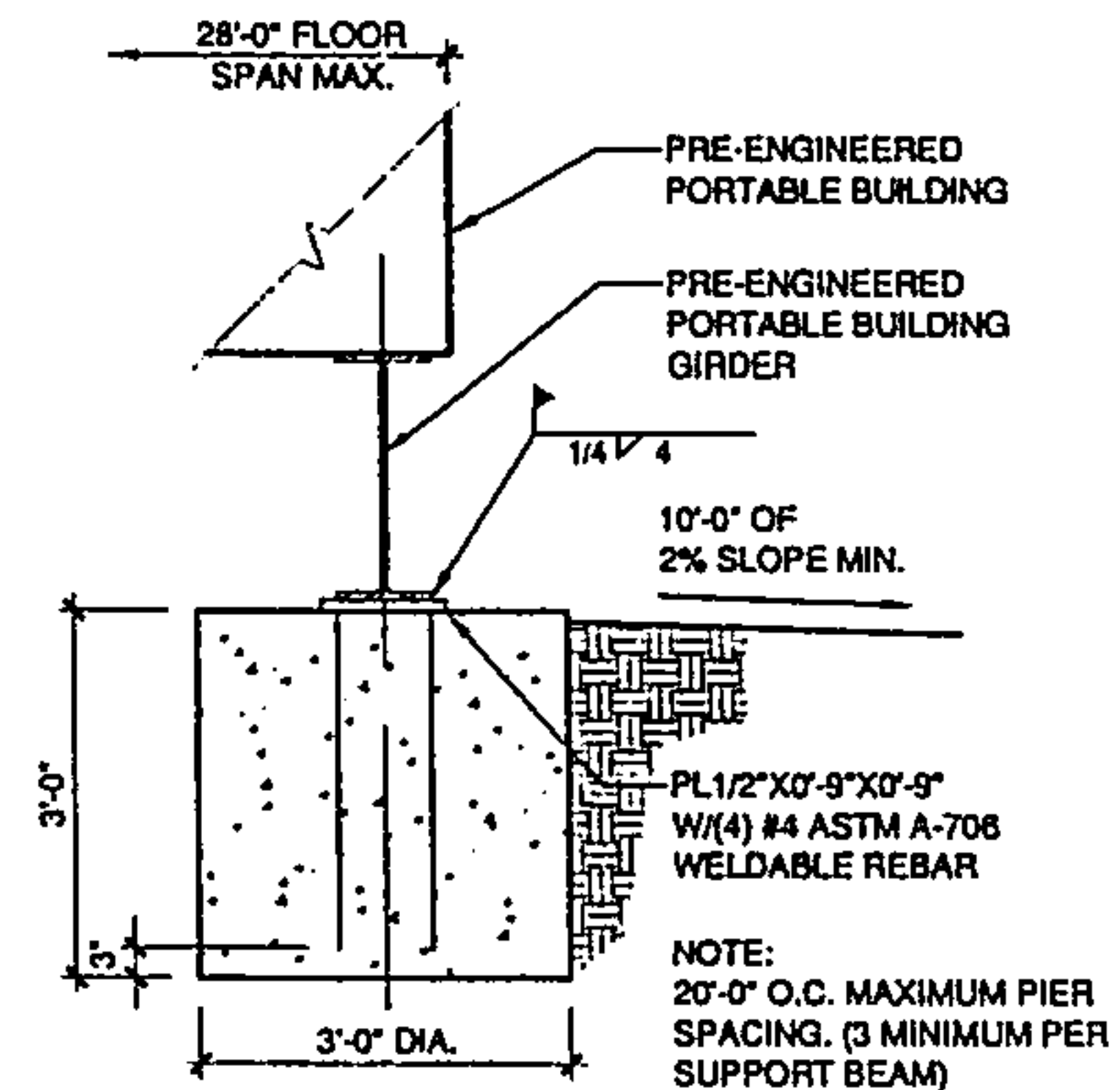
A1 ACCESSIBLE RAMP AT PORTABLE, TYP.
1/2" = 1'-0"



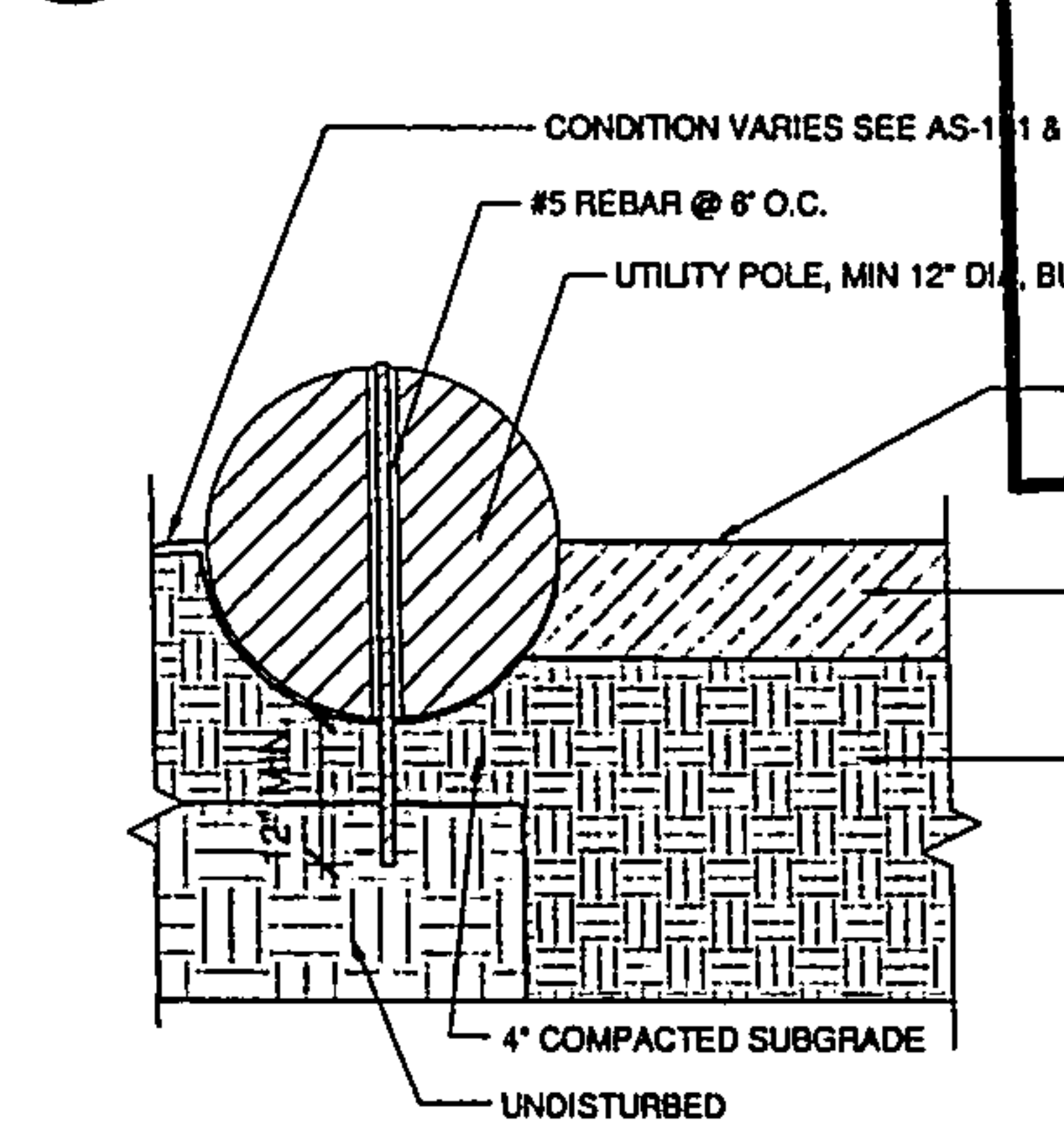
A3 LIGHT POLE BASE
1/2" = 1'-0"



A4 FLAGPOLE BASE DETAIL
1/2" = 1'-0"



B5 PORTABLE BLDG PIER FOUNDATION
1/2" = 1'-0"



A5 UTILITY POLE EDGE
1 1/2" = 1'-0"

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REGISTERED ARCHITECT
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CARLOS R. HANSON
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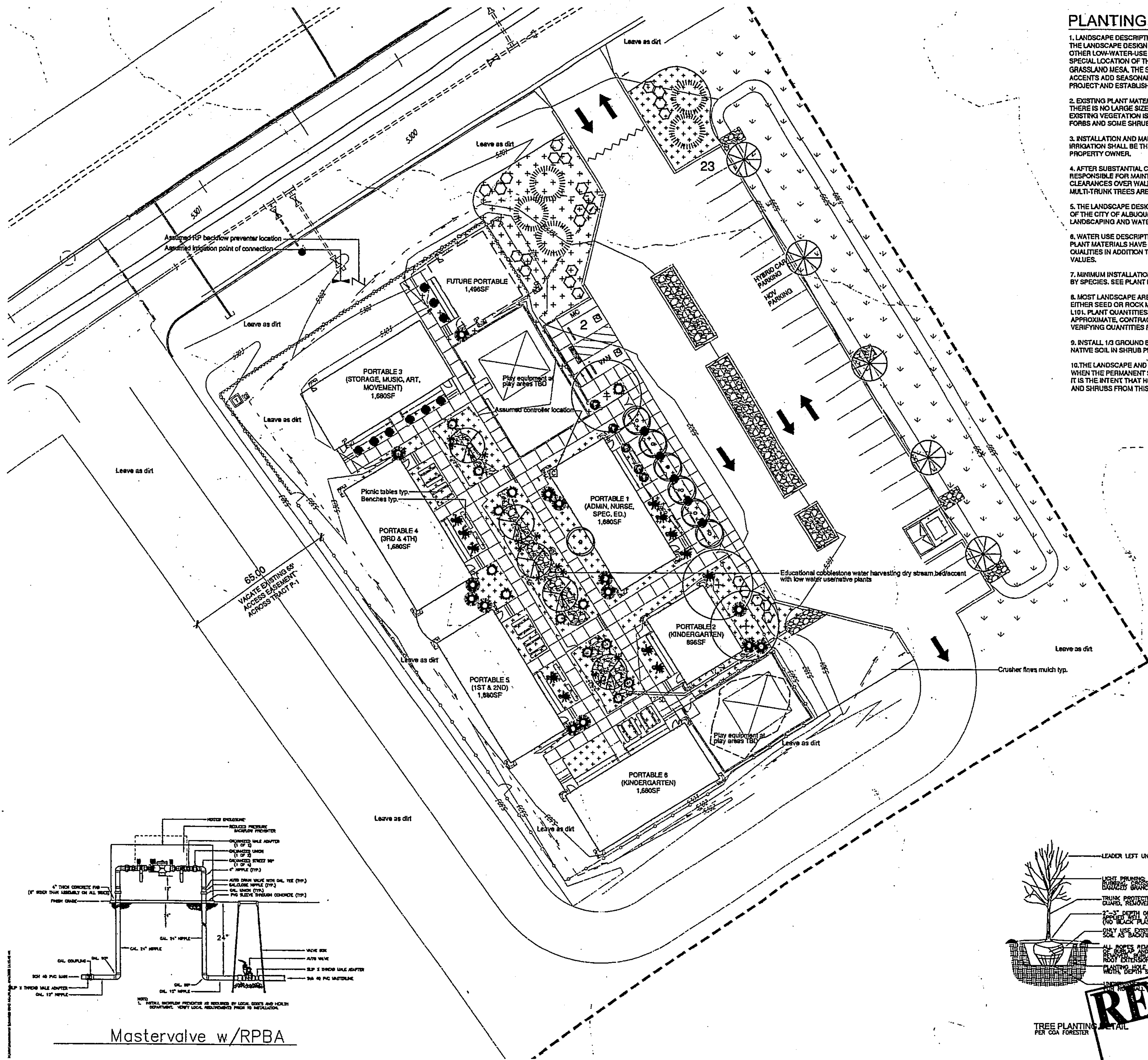
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HYDROLOGY SECTION

DATE 7-13-2009
PROJECT NO. 09-0042
DRAWING NAME SITE DETAILS ENLARGED FLOOR PLANS

AS-502
OF



PLANTING NOTES

1. LANDSCAPE DESCRIPTION
THE LANDSCAPE DESIGN UTILIZES NATIVE PLANTS AND OTHER LOW-WATER-USE PLANTS THAT WILL REINFORCE THE SPECIAL LOCATION OF THE PROJECT - ON A HIGH DESERT GRASSLAND MESA. THE SELECTED SHRUBS, TREES AND ACCENTS ADD SEASONAL COLOR AND SCALE TO THE PROJECT AND ESTABLISH AREAS OF WILDLIFE HABITAT.
2. EXISTING PLANT MATERIAL
THERE IS NO LARGE SIZE VEGETATION ON THE SITE. THE EXISTING VEGETATION IS COMPRISED OF GRASSES AND FORBS AND SOME SHRUBS AT LOW DENSITIES.
3. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. AFTER SUBSTANTIAL COMPLETION, THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING APPROPRIATE BRANCH CLEARANCES OVER WALKS AND STREETS WHERE MULTI-TRUNK TREES ARE USED.
5. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
6. WATER USE DESCRIPTION:
PLANT MATERIALS HAVE BEEN CHOSEN FOR THEIR XERIC QUALITIES IN ADDITION TO THEIR AESTHETIC AND HABITAT VALUES.
7. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
8. MOST LANDSCAPE AREAS SHALL BE COVERED WITH EITHER SEED OR ROCK MULCH. SEE LANDSCAPE LEGEND, L101. PLANT QUANTITIES AND AREA SQUARE FOOTAGES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR FINAL PRICING.
9. INSTALL 1/3 GROUND BARK SOIL AMENDMENT TO 23 NATIVE SOIL IN SHRUB PLANTING PITS.
10. THE LANDSCAPE AND IRRIGATION SHOWN IS TEMPORARY. WHEN THE PERMANENT SCHOOL STRUCTURE IS COMPLETED IT IS THE INTENT THAT HEADS UP WILL TRANSPLANT TREES AND SHRUBS FROM THIS SITE TO PERMANENT SCHOOL SITE.

11. NATIVE SOILS SHALL BE USED FOR LANDSCAPE INSTALLATION. IMPORT OF PLANTING MIX OR HIGH QUALITY TOPSOIL IS NOT REQUIRED UNLESS THE SOILS HAVE BEEN CONTAMINATED DURING THE CONSTRUCTION PROCESS.
12. PASSIVE WATER HARVESTING:
PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, IS UTILIZED WHERE FEASIBLE.

IRRIGATION NOTES

1. THE LANDSCAPE DESIGN REQUIRES A TEMPORARY, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL. IRRIGATION SHALL BE PROVIDED TO ALL CONTAINER PLANTS AND POTENTIALLY TO SEEDBED AREAS TO ENCOURAGE ESTABLISHMENT.
2. IRRIGATION: WE ARE NOT SHOWING AN IRRIGATION PLAN FOR THE FOLLOWING REASONS:
1) AN IRRIGATION PLAN AT THIS LEVEL OF SUBMISSION WOULD ONLY REFLECT A CONCEPTUAL DESIGN, AND NOT A CONSTRUCTION DOCUMENT LEVEL. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR DESIGNING THE IRRIGATION PLAN TO MEET THE ARCHITECT'S SPECIFICATIONS.
2) THE CITY OF ALBUQUERQUE DOES NOT REQUIRE AN IRRIGATION PLAN AT THIS LEVEL OF DOCUMENTATION.
3. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, ADDITIVE ALTERNATES, SEASON, LOCATION, AND PLANT PERFORMANCE.
4. THE CONTRACTOR SHALL COORDINATE POWER DELIVERY TO CONTROLLER AND BACKFLOW PREVENTER LOCATIONS.
5. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL OTHER THAN SEEDBED OR SODDED AREAS.

LANDSCAPE CALCULATIONS

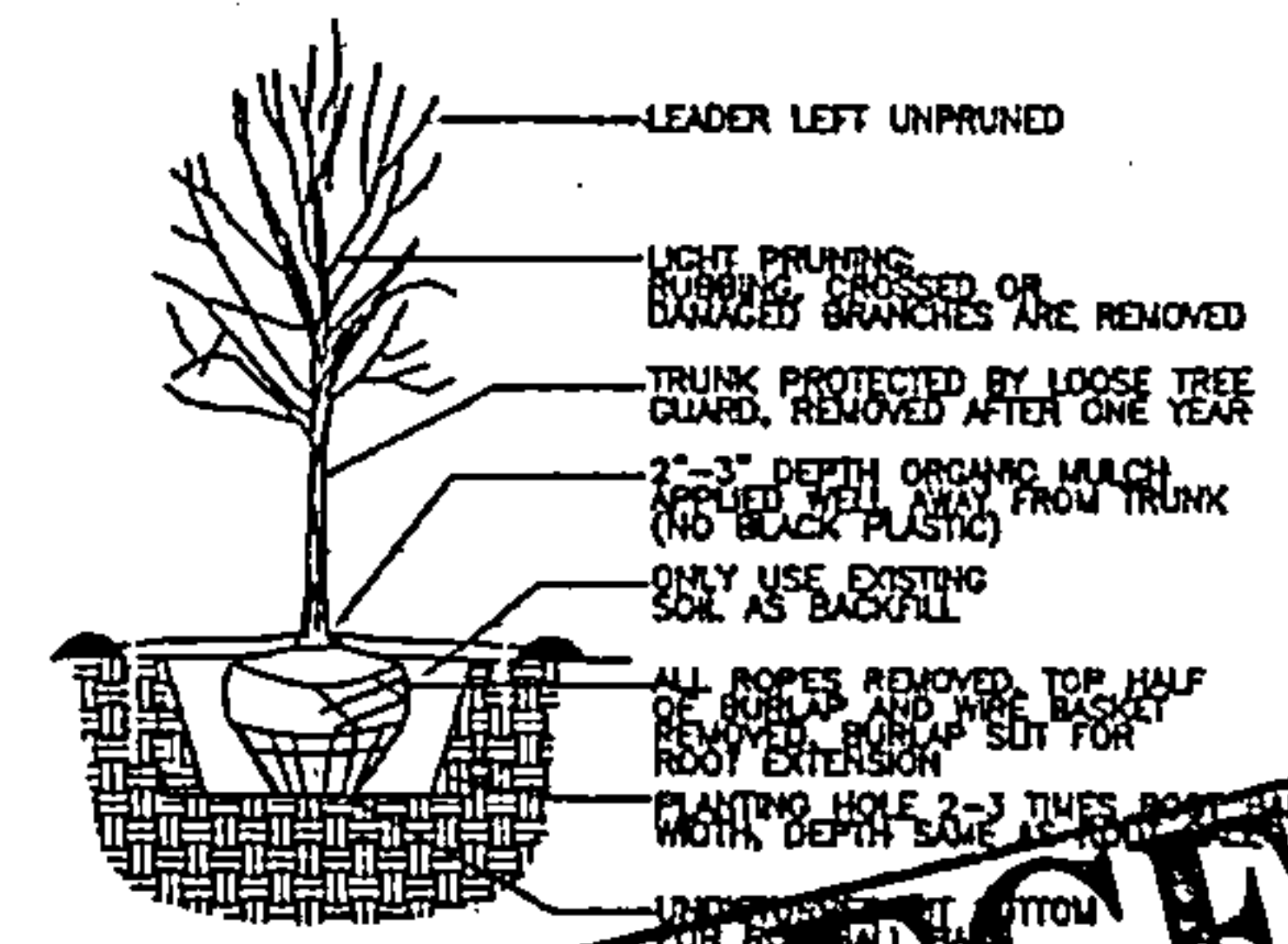
TOTAL SITE AREA: 89,833 SF = 2.05 ACRES
 TOTAL GROSS BUILDING AREA: 10,792 SF.
 NET LOT AREA: 78,841 SF / 1.81 ACRES
 REQUIRED LANDSCAPE AREA: (15% OF NET LOT AREA) 11,826 SF / 0.27 ACRES
 PROVIDED LANDSCAPE AREA: (31% OF NET LOT AREA) 24,347 SF / 0.56 ACRES

LANDSCAPE LEGEND

- SANTA ANA TAN CRUSHER FINES AT 2" DEPTH. (10,248 SF)
- 2"-4" SANTA ANA TAN COBBLESTONE WATER HARVESTING SWALE AT 4" DEPTH. (2,399 SF)
- NATIVE GRASS SEED HYDROSEED (11,600 SF)

PLANT LEGEND

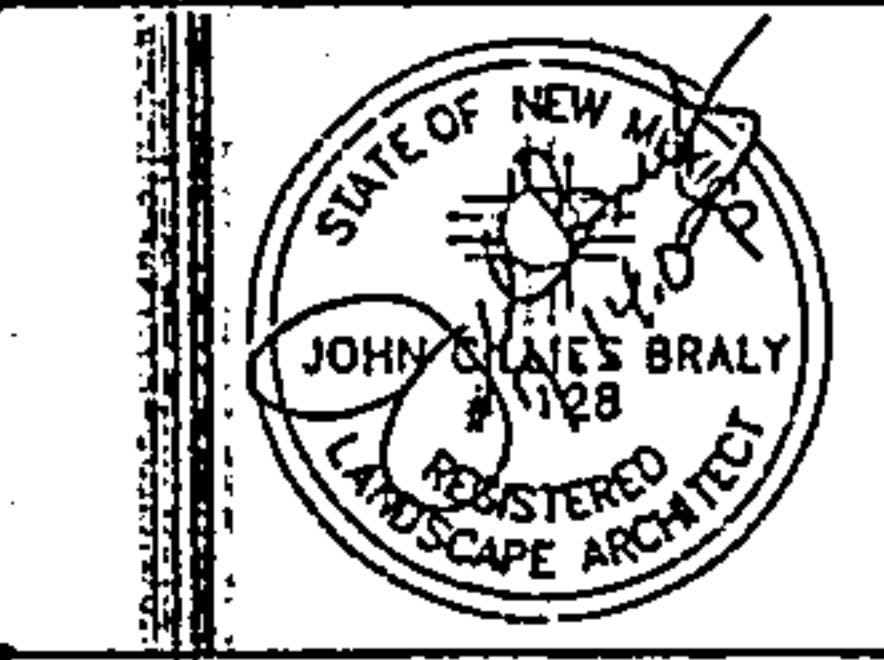
Qty.	Symbol	Scientific Name	Common Name	Size	Water Use
Trees					
3	○	Fraxinus oxycarpa	Raywood	2" B&B	Medium +
5	○	Vitex	Chaste Tree	15 Gal	Medium
7	○	Forsytheria neomexicana	New Mexico Olive	15 Gal	Medium
5	○	Pinus nigra	Austrian Pine	6" HL	Medium
Shrubs/Grass					
5	⊗	Chilopsis	Desert Willow	15 Gal	Low+
28	⊗	Falkugia paradoxa	Apache Plume	1-Gal	Low
13	⊗	Juniperus sabina	Buffalo Juniper	5-Gal	Low
5	⊗	Potentilla fruticosa	Shrubby Cinquefoil	5-Gal	Medium+
12	⊗	Rosmarinus	Rosmary	5-Gal	Low +
Ornamental Grasses					
14	⊗	Miscanthus	Maiden Grass	1-Gal	Medium+
14	⊗	Calamagrostis	Karl Foerster Grass	1-Gal	Medium
12	⊗	Nassella	Threegrass	1-Gal	Low



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 AUG 05 2009
 HYDROLOGY SECTION

REVIEWED
 APPROVED
 DATE 7.21.09
 C. Blesiot, ADMINISTRATOR

Growing Better Heads Up
 LANDSCAPE CONTRACTOR!
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Date: 7/1/09
 Revisions:
 7/10/09
 7/13/09
 Drawn by: JC
 Reviewed by: JB

ARC Submittal
The International School
 2660 Eastman Crossing
 Albuquerque, New Mexico 87106

NORTH
 Scale: 1"=20'-0"

Sheet Title:
Landscape Plan

Sheet Number:
L 101

NOTES

ENGINEER

**2000 Eastern Crossing SE
Albuquerque, NM 87106**

▶▶▶▶

ELECTRICAL SITE PLAN

SHEET NO.

AUG 05 2009

1. NEW 6' FIBER CONDUIT MEETING TIE WITH EXISTING INSTALL PER PWD DWG 007-16A, VENDOR WITH PWD AND COUNTY AS REQUIRED.
2. NEW 6' PVC CONDUIT CONCRETE ENCASED MINIMUM 4" BELOW FINISH GRADE PER PWD DWG 007-16A, VENDOR WITH PWD AND COUNTY AS REQUIRED.
3. PROVIDE CONCRETE PAD PER PWD DWG 007-16A (C&S) AND VA TRAIL PHASE FINAL, PER THESE CONCRETE PADS AND PROVIDE GRASS ROOTS PER PWD DWG 007-16A, VENDOR WITH PWD AND COUNTY AS REQUIRED.
4. PROVIDE REINFORCED SPOT TYPE LETTERING PER PWD DWG 006-472 AND 006-481 OPTION 2, COORDINATE WITH PWD FOR INSTALLATION AND REQUIREMENTS.
5. TWO (2) x 6" WITH 4" CORRELATE, VAN INSTEAD OF BELOW FINISH GRADE.
6. PANELBOARD MUST REFER TO THE SCHEDULE THIS SHEET, INSTALL ON 4"X4"X4" DEEP REINFORCED CONCRETE PAD, LANE, WALKWAY AND DISCONNECT REMAIN INSIDE LINES SHALL BE SEPARATED MINIMUM WITH 6" FROM ANY OTHER UTILITY OR DISCONNECT, SUPPORT PANELBOARD ON LIMITED BUT NOT LESS THAN 18" HIGH.
7. SERVO + RUN ON QUADRANT (VA), MINIMUM 4" BELOW FINISH GRADE.
8. EXISTING 100AMP DISCONNECT AND SWITCH PANEL.
9. PROVIDE 3/4" DIA GAS SERVICE GROUND IN 1/2"x3", 3/4" DIA GAS EQUIPMENT GROUND IN 1/2"x3", AND OTHER GROUNDS AS REQUIRED PER NCE, THE GROUNDING DETAIL (THIS SHEET), AND OTHER GROUNDS AS REQUIRED BY ALTHOUGH HAVING LOGBOOKED.
10. EMBL EMPLY ON FIBER CONDUIT "40R" TO 81'-0" PAD TO THE CONCRETE PAD FOR FUTURE EXTENSION TO IMPROVED PORTLAND CEMENT SLABROAD.
11. WOOD POLE WITH LIMBWARE AND SHOW METAL PLASME LAMP.
12. EXTEND NEW EXISTING LIGHTING MOUNTING CIRCUIT THROUGH PROTOCOL TO DRIVE DRIVE CIRCUIT INVOLVED IN CURRENT 120V PANEL, PROVIDE MINIMUM PROTECT CONDUCTOR AND MINIMUM 2" CONDUIT.



PANELBOARD SCHEDULE

NOTE: PROVIDE A TOTAL OF EIGHT (8) 100-WORD CIRCUIT BREAKERS.

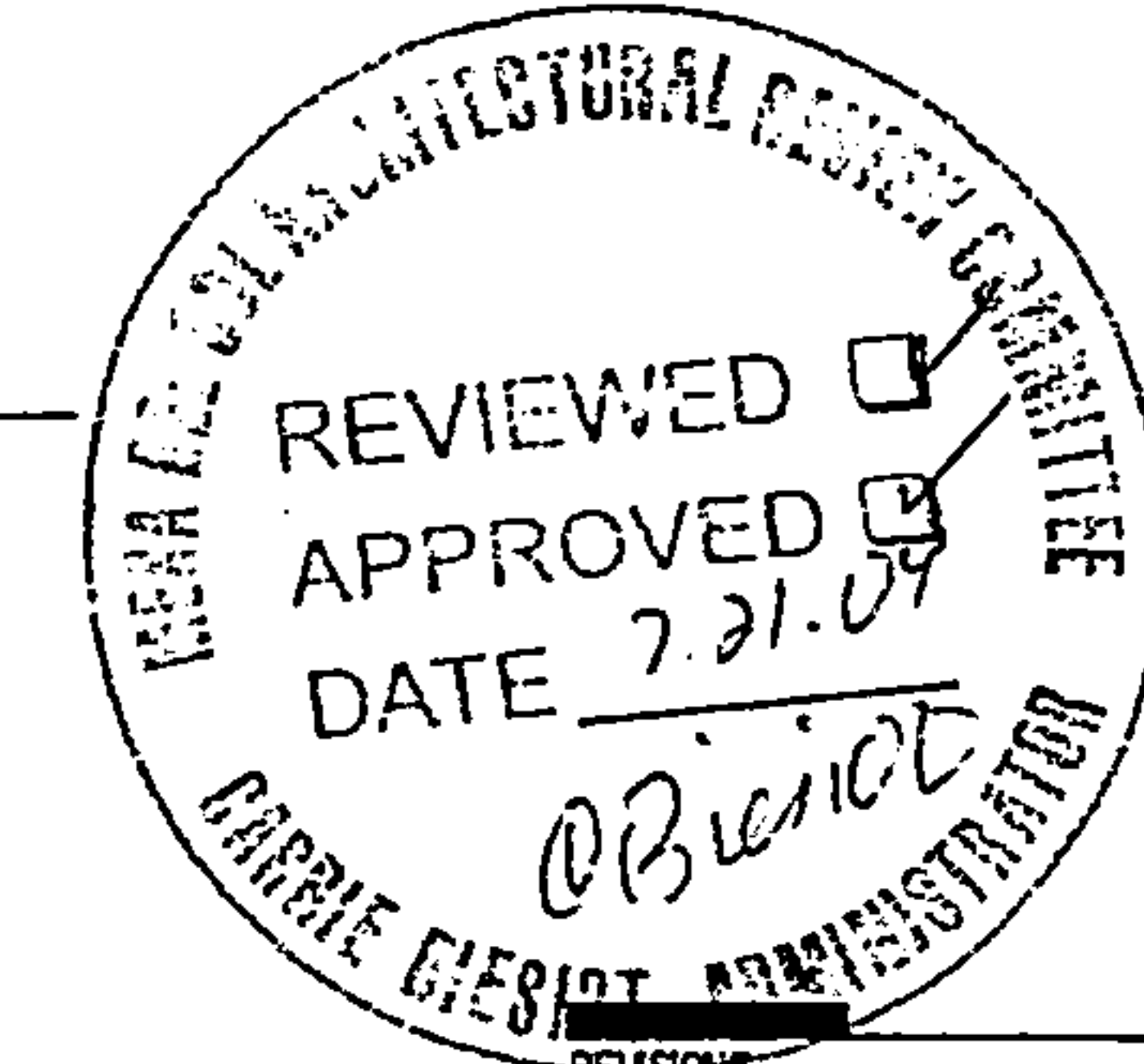


07/07/09

PROJECT

The International
School
at Mesa del Sol

2660 Eastman Crossing SE
Albuquerque, NM 87106



REVISIONS

▲
▲
▲

DRAWN BY PS
REVIEWED BY PS
DATE 6-26-2009
PROJECT NO. 09-0042
DRAWING NAME
SITE PLAN
NATURAL GAS

SHEET NO.
MS-101
OF

GENERAL NOTES

These drawings reflect information on utilities gathered by site inspections, discussions with New Mexico Gas Company and previous construction drawings. It is possible that the exact location of lines in the immediate vicinity of the proposed building may be slightly different from the locations shown on this drawing. If additional lines are encountered they shall be exposed and identified. Where additional lines and/or differing locations are encountered, Hanna Plumbing shall request that the Architect make a ruling as to any necessary change of materials, re-routing, abandoning or relocating such lines. New Mexico Gas Company shall be the sole authority in ruling on the disposition of natural gas piping.

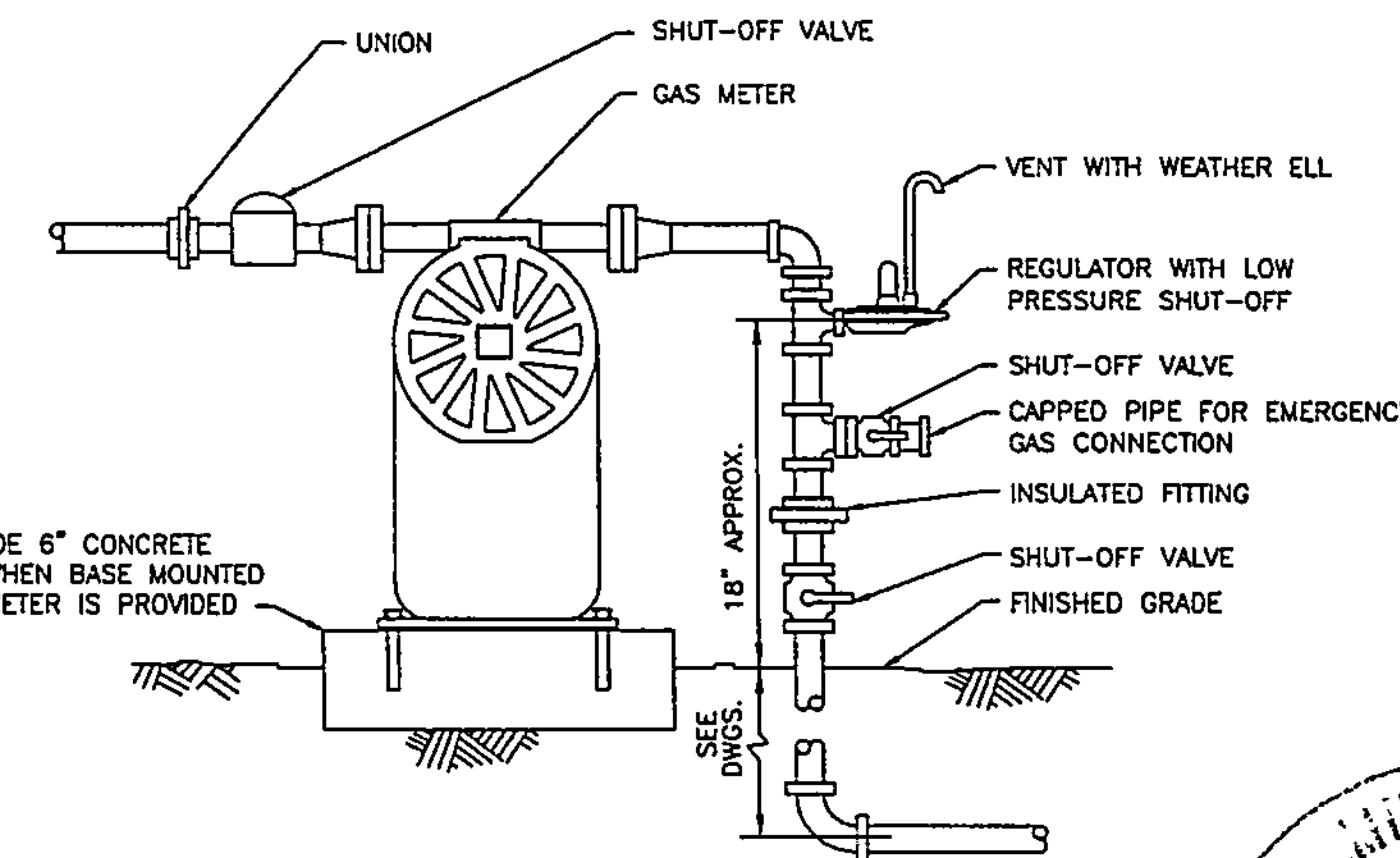
GENERAL UTILITY NOTES:

Minimum depth below grade (cover):
Water --- 36" Sewer --- 24" Gas --- 18"

Refer to Architectural Plans for finish and existing grades. Hanna Plumbing and Heating shall coordinate cut-off of existing utilities for new connections with New Mexico Gas Company Engineering Officials and Owner, and shall conform to their requirements. Utilities connection points are approximate only.

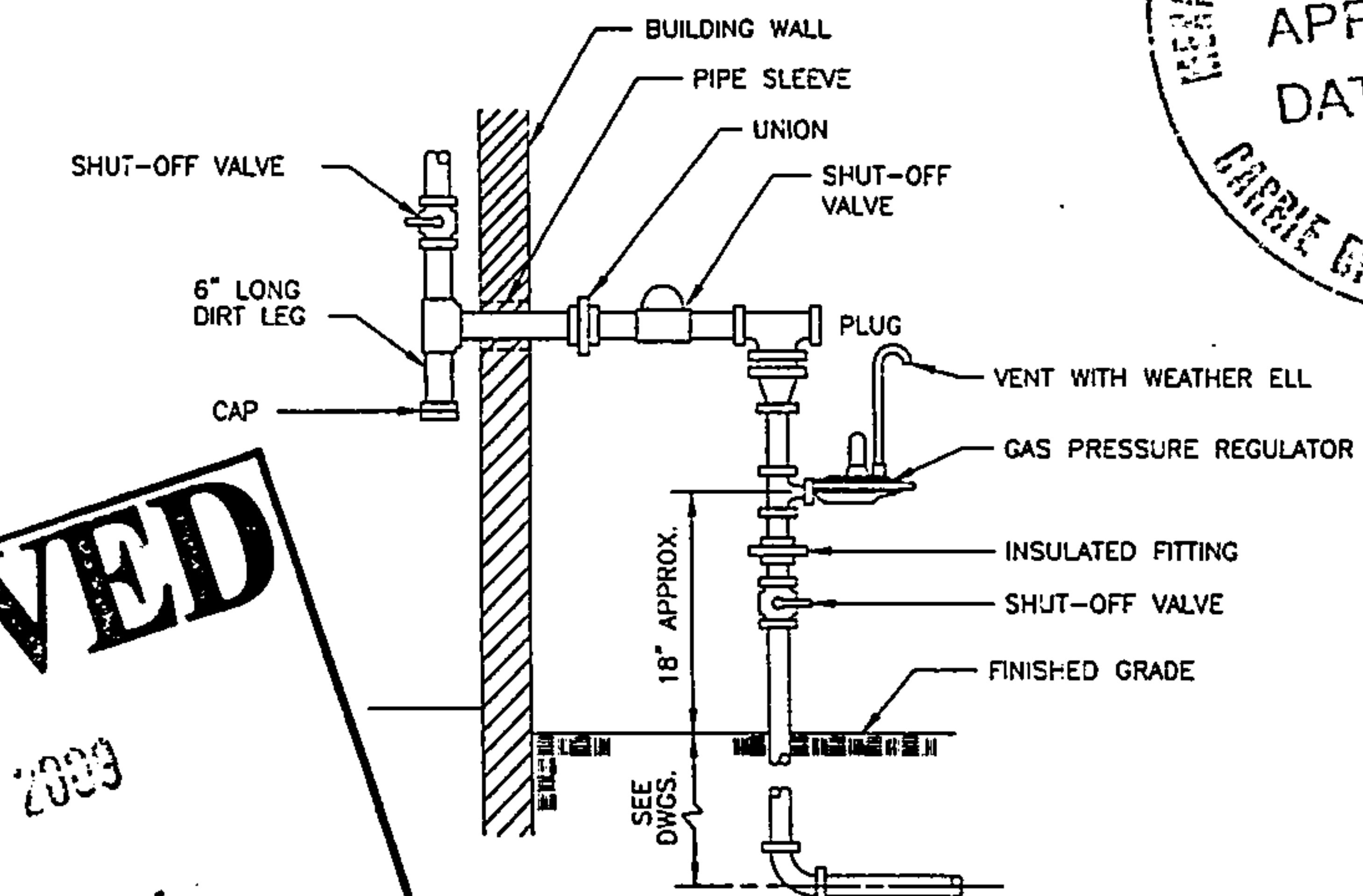
UTILITY NOTES:

1. GAS METER/REGULATOR SIZED FOR A TOTAL CONNECTED LOAD OF 1200 CFH. REGULATOR SHALL REDUCE INCOMING PRESSURE TO 2 PSI. PROVIDE ISOLATION VALVE. INSTALLATION PER NEW MEXICO GAS COMPANY REQUIREMENTS. SEE DETAIL.
2. YARD LINE BY NEW MEXICO GAS COMPANY, COORDINATE CONNECTION REQUIREMENTS.
3. REGULATOR AT PORTABLE BUILDING SIZED FOR 200 CFH. REDUCE PRESSURE FROM 2 PSI TO 7" WC. PROVIDE UNION AND GAS COCK AT REGULATOR.
4. REGULATOR AT PORTABLE BUILDING SIZED FOR 100 CFH. REDUCE PRESSURE FROM 2 PSI TO 7" WC. PROVIDE UNION AND GAS COCK AT REGULATOR.
5. EXTEND 3/4" GAS LINE FROM REGULATOR. TEE 1/2" LINE TO FIRST FURNACE. REDUCE TO 1/2" AND EXTEND TO SECOND FURNACE. EACH CONNECTION SHALL BE MADE WITH GAS COCK, UNION AND DIRT LEG.
6. EXTEND 1/2" LINE TO FURNACE. CONNECTION SHALL BE MADE WITH GAS COCK, UNION, AND DIRT LEG.



GAS METER/REGULATOR DETAIL

NOT TO SCALE



GAS PRESSURE REGULATOR

NOT TO SCALE

RECEIVED
AUG 05 2009
HYDROLOGY
SECTION

N
A1 NATURAL GAS SITE PLAN
1"=20'-0"

Hanna-
PLUMBING AND HEATING CO.
8025 Edith Blvd., NE • PO Box 90995 • Albuquerque, NM 87199-0995
PHONE 898-4538 • FAX 898-2347

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PLUMBING AND HEATING CO.
8025 Edith Blvd., NE • PO Box 90995 • Albuquerque, NM 87199-0995
PHONE 898-4538 • FAX 898-2347

Metro, Kristal D.

From: Lubar, Suzanne G.
Sent: Tuesday, January 08, 2013 9:23 AM
To: Williams, Brennon N.; Whitcomb, Blake
Cc: Whitcomb, Blake; 'jcampbell@campbellwells.com'; Clark, Land V.; Dourte, Richard H.; Metro, Kristal D.
Subject: RE: International School

Hi Blake,

Jack's understanding of the situation is correct. We have already had meetings regarding this matter and the Planning Department has agreed to extend the temporary CO for 30 days for Phase 4, during which time Mesa del Sol will prepare a contract for the City's review and approval. The contract will provide that the asphalt parking will be relocated and constructed during the next phase, but no later than within the next 18 months. If it is not constructed during that time period, then the school will need to go back and construct the asphalt lot in the original configuration as shown in Phase 4. After the contract is signed, the full CO will be issued on Phase 4. Thank you.

Suzie

Suzanne Lubar
Acting Director, Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, New Mexico 87102
(505) 924-3352 Direct
(505) 924-3339 Facsimile

From: Williams, Brennon N.
Sent: Monday, January 07, 2013 3:28 PM
To: Lubar, Suzanne G.
Subject: FW: International School

Are you aware of this discussion?

From: Jack Campbell [mailto:jcampbell@campbellwells.com]
Sent: Monday, January 07, 2013 3:18 PM
To: Whitcomb, Blake
Cc: Dourte, Richard H.; Rael, Jane E.; Williams, Brennon N.; Barrera, Manny
Subject: RE: International School

Blake:

It is my understanding that the School wants a CO and an agreement from the City to permit the School to pave the parking when it does the next phase of its development or within 18 months, not now as a condition of the CO.

Jack

From: Whitcomb, Blake [mailto:bwhitcomb@cabq.gov]
Sent: Monday, January 07, 2013 10:40 AM
To: Jack Campbell
Cc: Dourte, Richard H.; Rael, Jane E.; Williams, Brennon N.
Subject: International School

1/9/2013

Jack,

I spoke to the City Engineer this morning regarding the International School's request for an extension of their temporary Certificate of Occupancy. The City is likely willing to make reasonable allowances on this issue. However, the City is requesting that the school provide some documentation of why these allowances are necessary. Please ask your client to provide a formal written request for the extension, including an explanation of why the extension is necessary and warranted.

Sincerely,

Blake Whitcomb
Assistant City Attorney
Real Estate & Land Use
Office of the City Attorney
1 Civic Plaza NW, 4th Floor
P.O. Box 2248
Albuquerque, NM 87103

P: (505) 768-4654
F: (505) 768-4525
bwhitcomb@cabq.gov

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1/9/2013