# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

September 21, 2017

Jeffrey Mulbery, PE Bohannan Huston, Inc. 7500 Jefferson St NE Albuquerque, NM 87109

#### RE: International School at Mesa Del Sol – Phase 8 Grading Plan Stamp Date: 9/18/17 Hydrology File: R16DA3009

Dear Mr. Mulbery:

Based upon the information provided in your resubmittal received 9/20/17, the Grading Plan is approved for Foundation Permit and Grading Permit.

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

René C. Brissette

www.cabq.gov

Reneé C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



## City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: International School at Mesa Del Sol - Phase 008	Building Permit #:	City Drainage #: R-16-Z				
DRB#: EPC#:		Work Order#:				
Legal Description: Portion of Tract P, Mesa Del Sol Innovation Park	< II					
City Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105						
		Contact: Matt Satches				
Address: 7500 Jefferson St. NE Albuquerque NM 87109						
Phone#: 823-1000 Fax#:		E-mail: msatches@gmail.com				
Owner: Internation School at Mesa Del Sol		Contact: Joel Loes				
Address: 2660 Eastman Crossing SE, Albuquerque, NM 87105						
Phone#: 217-8880 Fax#:		E-mail:				
		Contact: John Dillander				
Address: 7601 Jefferson St. NE Albuquerque NM 87109						
Phone#: <u>761-9700</u> Fax#:		E-mail:				
Other Contact:		Contact:				
Address:						
Phone#: Fax#:		E-mail:				
DEPARTMENT: <u>×</u> HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL	BUILDING P	APPROVAL/ACCEPTANCE SOUGHT: ERMIT APPROVAL E OF OCCUPANCY				
TYPE OF SUBMITTAL:	PRELIMINAI	RY PLAT APPROVAL				
ENGINEER/ ARCHITECT CERTIFICATION		FOR SUB'D APPROVAL				
CONCEPTUAL G & D PLAN		FOR BLDG. PERMIT APPROVAL				
X GRADING PLAN	APPROVAL					
DRAINAGE MASTER PLAN	SE OF FINANCIAL GUARANTEE N PERMIT APPROVAL					
		ERMIT APPROVAL				
CLOMR/LOMR	SO-19 APPR					
		RMIT APPROVAL				
TRAFFIC CIRCULATION LAYOUT (TCL)		AD CERTIFICATION				
GRADING/ F						
EROSION & SEDIMENT CONTROL PLAN (ESC)						
OTHER (SPECIFY)	PRE-DESIGN	MEETING				
	OTHER (SPE	CIFY)				
IS THIS A RESUBMITTAL?: X Yes No						
DATE SUBMITTED: <u>9-19-2017</u>	By: Matt Satches					
······································	J					

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_

# Bohannan 🔔 Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

www.bhinc.com

voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332

September 19, 2017

Ms. Renee Brissette, P.E. Senior Engineer Planning Department City of Albuquerque 600 2nd St NW Albuquerque, NM 87102

Re: International School at Mesa Del Sol – Phase 8, R16DA3009 Hydrology Resubmittal

Dear Ms. Brissette:

Enclosed for your review is a copy of the Revised Grading Plan for the above referenced project. The revisions are based on comments that you provided in your letter dated September 6, 2017. Below is a brief description of how the comments were addressed:

- 1. Phase 008 was added to Project Titleblock.
- 2. Vicinity Map (Zone Atlas R-16) is now provided on Sheet C-101.
- 3. The site is not located within a FEMA Designated Floodplain (Map #35001C0555) and the drainage narrative is noted as such.
- The Master Mesa Del Sol Project Control sheet has been provided within this plan set as Sheet-001.
- 5. The drainage narrative is now updated to reflect suggested language.
- 6. Hydrology Calculations for the disturbed area are provided.

With this submittal, we are requesting Hydrology Foundation and Grading Permit Approval. If you have any questions or require further information, please feel free to contact me.

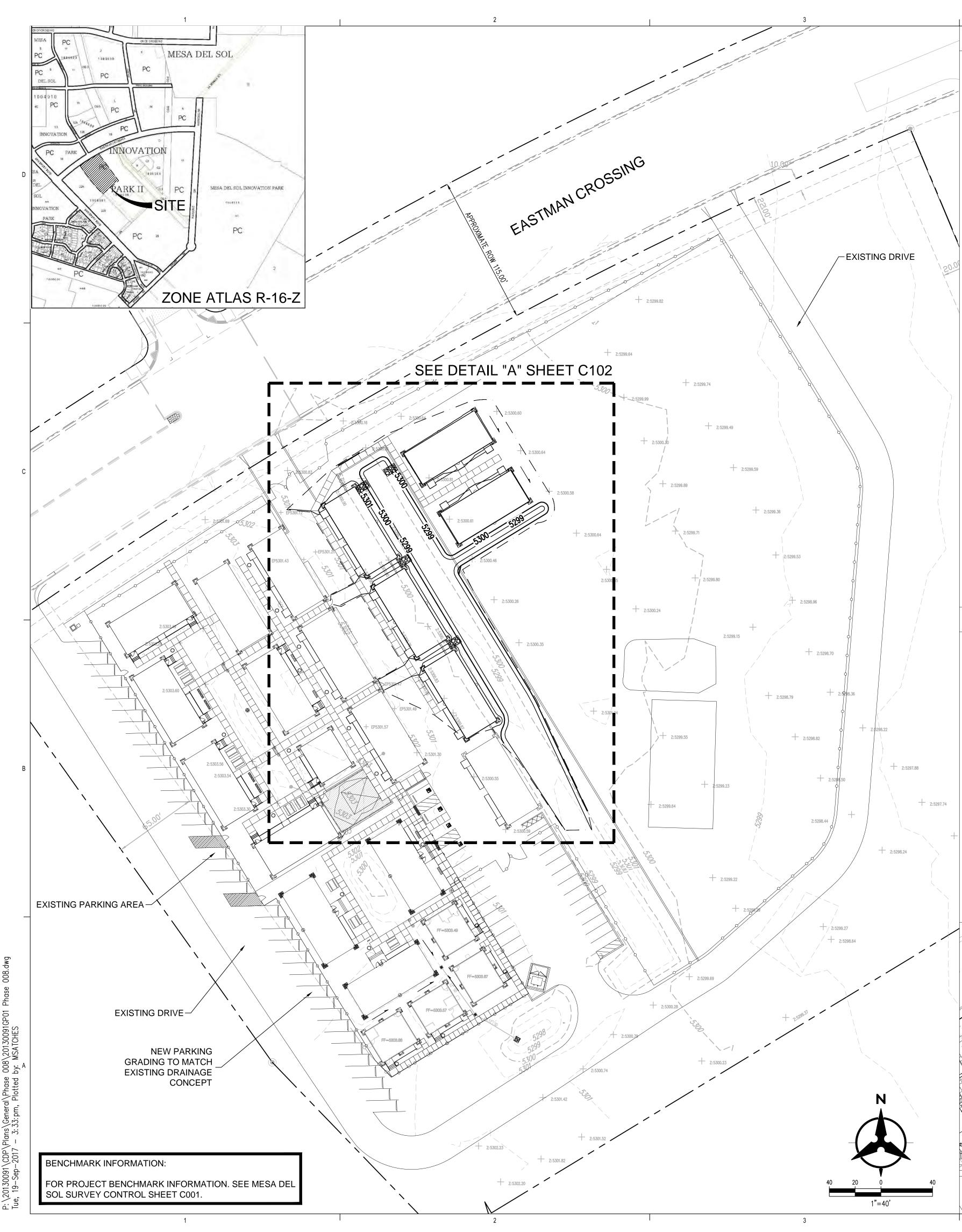
Sincerely,

tobe

Matthew Satches, E.I. Engineer Intern Community Development & Planning

Engineering A Spatial Data A

Advanced Technologies 🔺



# **GRADING SHEET NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHA AT THE ELEVATIONS AND IN ACCORDANCE WITH SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION D CONTROL MEASURES SHALL BE INCIDENTAL TO

3. ALL WORK RELATIVE TO FOUNDATION CONST PREPARATION, AND PAVEMENT INSTALLATION, PLAN, SHALL BE CONSTRUCTED IN ACCORDANC "GEOTECHNICAL INVESTIGATION," AS PROVIDEI OR OWNER. ALL OTHER WORK SHALL, UNLESS OR PROVIDED FOR HEREON, BE CONSTRUCTED WITH THE PROJECT, (FIRST PRIORITY) SPECIFIC CITY OF ALBUQUERQUE (COA) STANDARD SPEC PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZ VERTICAL UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS SHALL NOT PERFORM ANY WORK OUTSIDE OF BOUNDARIES EXCEPT AS REQUIRED BY THIS PL

6. THE CONTRACTOR IS TO ENSURE THAT NO S THE SITE ONTO ADJACENT PROPERTY OR PUBL THIS SHOULD BE ACHIEVED BY CONSTRUCTING OR SILT FENCE AT THE PROPERTY LINES AND W PROTECT IT FROM WIND EROSION.

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EX AND UNSUITABLE MATERIAL AND/OR A BORROW ACCEPTABLE FILL MATERIAL SHALL BE OBTAINE CONTRACTOR IN COMPLIANCE WITH APPLICABI **REGULATIONS AND APPROVED BY THE OBSERV** INCURRED IN OBTAINING A DISPOSAL OR BORR TO OR FROM SHALL BE CONSIDERED INCIDENT/ AND NO SEPARATE MEASUREMENT OR PAYMEN

8. PAVING AND ROADWAY GRADES SHALL BE +/ ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05 PLAN ELEVATION.

9. ALL PROPOSED CONTOURS REFLECT TOP OF ELEVATIONS IN THE PARKING AREA AND MUST MEDIANS AND ISLANDS.

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN F ELEVATION CONTROL STATION PRIOR TO BEGIN CONSTRUCTION.

### DRAINAGE MANAGEMENT

WITH THE ADDITION OF THESE PORTABLES THE YR - 24 POND VOLUME INCREASES TO 6,319 CF. - 24 HOUR PROVIDED POND VOLUME IS 12,300 C EXISTING DRAINAGE MANAGEMENT PLAN WITH STAMP DATE 7-18-2012 (COA HYDROLOGY FILE R16/DA3009) REMAINS UNCHANGED. SEE BELOV INFORMATION:

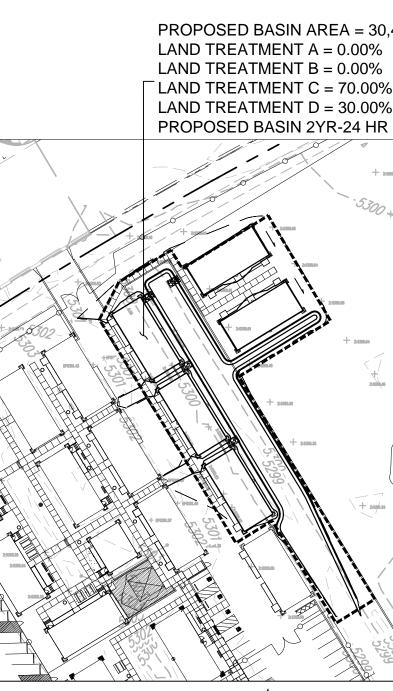
EXISTING DMP (STAMP DATE 7-18-2012):

- VOLUME REQUIRED = 5,249 CF
- DISTURBED AREA: VOLUME REQUIRED = 1,070 CF

PROPOSED CONDITIONS:

- TOTAL VOLUME REQUIRED = 6,319 CF
- TOTAL VOLUME PROVIDED = 12,300 CF

THIS SITE IS NOT LOCATED WITHIN A FEMA DESI FLOODPLAN (FIRM MAP #35001C0555).



	5
	GENERAL SHEET NOTES
ALL BE PERFORMED TH THE DETAILS	1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
O THE PROJECT COST. STRUCTION, SITE , AS SHOWN ON THIS CE WITH THE	2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
D BY THE ARCHITECT OTHERWISE STATED D IN ACCORDANCE CATIONS, AND/OR THE CIFICATIONS FOR	3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF
ZONTAL TO 1	
S CONTRACTOR THE PROPERTY _AN.	4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
SOIL ERODES FROM LIC RIGHT-OF-WAY. G TEMPORARY BERMS WETTING THE SOIL TO (CAVATION MATERIAL, W SITE CONTAINING ED BY THE	5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
E ENVIRONMENTAL VER. ALL COSTS ROW SITE AND HAUL FAL TO THE PROJECT NT SHALL BE MADE.	6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
5' FROM BUILDING	7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY
OF PAVEMENT BE ADJUSTED FOR	AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
FROM BASIS OF NNING	8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
	9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
E REQUIRED 2 THE NEW 2 YR CF. THE I ENGINEER'S NUMBER	10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
W FOR MORE	11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
	12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
SIGNATED	13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
30,400 SF )% )%	14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
0% 0% HR VOLUME = 1,070 CF	GRADING LEGEND
+ 2000.00 + 2000.00 + 2000.00 + 2000.00	PROPERTY LINE PROPOSED CURB & GUTTER    PROJECT LIMITS OF GRADING S=2.0% DIRECTION OF FLOW    EXISTING INDEX CONTOUR  BREAK    EXISTING INTERMEDIATE PROPOSED STORM DRAIN
	SO25.25 TS=01.44' EXISTING GROUND SPOT +Z: 5300.59 ELEVATION ● PROPOSED STORM DRAIN MANHOLE ■ PROPOSED STORM DRAIN
2000,00 +/ 2000,00 / + 2000,00	
2005.0 +	
20053 + 20003 + 20003 + 20003 + 20003	26.75 PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW
	Bohannan 🛦 Huston
1"=80'	www.bhinc.com 800.877.5332

# DEKKER PERICH SABATINI

JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

.761.9700 / DPSDESIGN.ORG

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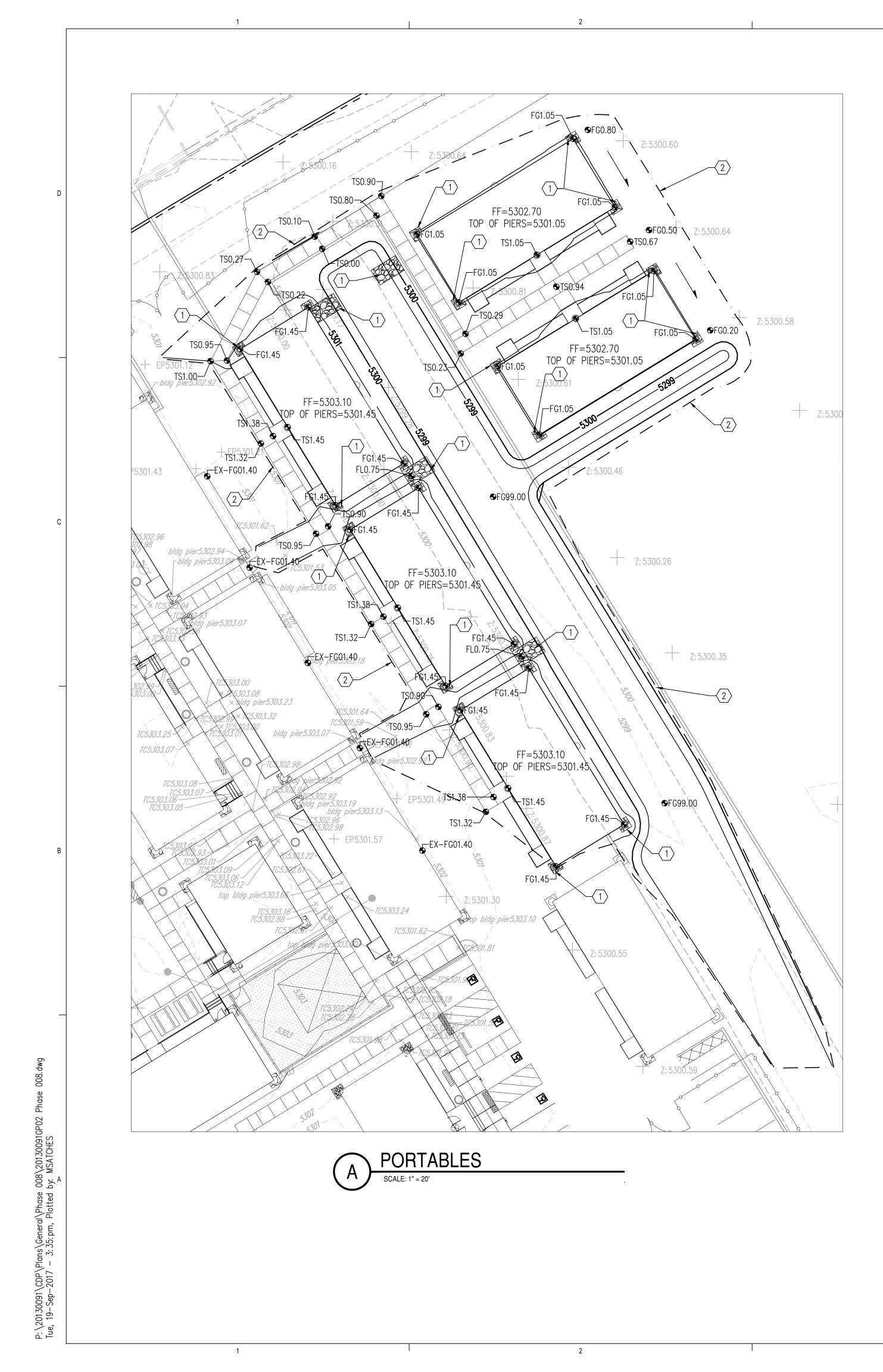
008 AN PL D ∢кл STEI NG S. П С Я С Я С Я С Я  $\bigcirc$ A O O N S 5Ш 2660 EAST ALBUQI INTERNATION CONCEPTU SIONS

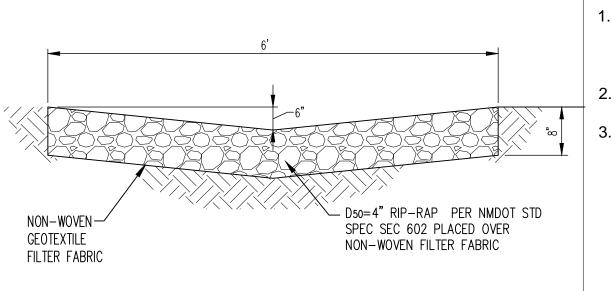
/N BY MHS WED BY JLM 09/18/2017 ECT NO. 09-0042.008 VING NAME

#### VERALL GRADING PLAN

C-101

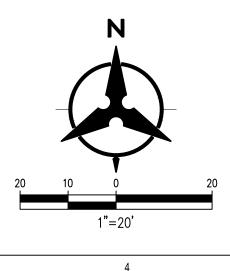
NO





4

D4 RIP-RAP SWALE DETAIL N.T.S.



3

# GRADING KEYED NOTES

- INSTALL RIP RAP SWALE AT ROOF DRAIN DOWN SPOUTS AND DRAINAGE CONCENTRATION POINTS PER "D4" DETAIL, THIS SHEET .
- 2. MATCH EXISTING GRADE.
- REMOVE AND REUSE EXISTING RIP RAP.

# DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT



# GRADING LEGEND

	PROPERTY LINE
	PROJECT LIMITS OF GRADING
— — — 5025 — — —	EXISTING INDEX CONTOUR
— — — <i>5024</i> — — —	EXISTING INTERMEDIATE CONTOUR
<b>5</b> 025.25	
TS=01.44'	EXISTING GROUND SPOT ELEVATION
TC=5302.96'	
	PROPOSED INDEX CONTOUR

• <sup>26.75</sup>

	CONTOUR
9	EXISTING GROUND SPOT ELEVATION
_	PROPOSED INDEX CONTOUR
_	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK TG=TOP OF GRATE, FGH=FINISH GROUND HIGH, FGL=FINISH GROUND LOW

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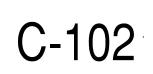
	PROPOSED CURB &
<u>S=2.0%</u>	DIRECTION OF FLOW
	WATER BLOCK/GRAE BREAK
	proposed storm [ Line
۲	PROPOSED STORM [ MANHOLE
	proposed storm [ Inlets
	PROPOSED RETAININ
	RIP RAP EROSION PROTECTION

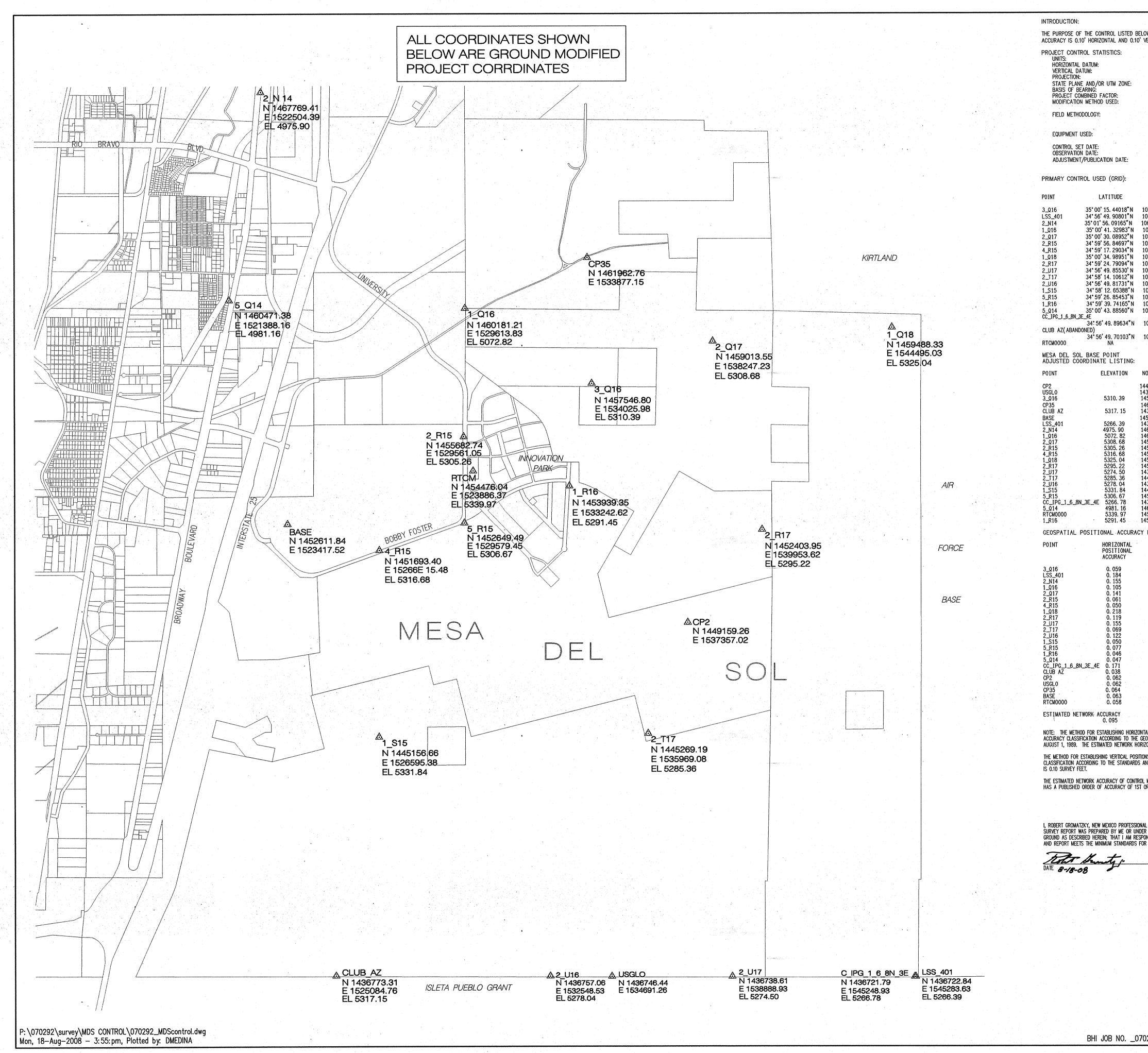
CURB & GUTTER OF FLOW DCK/GRADE	
storm drain	
	DRAWN BY
STORM DRAIN	REVIEWED B
	DATE
STORM DRAIN	PROJECT NO
	DRAWING NA
RETAINING WALL	

WN BY	MHS
EWED BY	JLM
I	09/18/2017
JECT NO.	09-0042.008
WING NAME	

### GRADING PLAN

SHEET NO.





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. MONUMENTS INCLUDED IN THE PRIMARY CONTROL, USED TO CONSTR/ ORDER HORIZONTAL, 2ND CLASS 1 ORDER VERTICAL AS PUBLISHED BY	THE CITY OF ALBUQUERQUE.	VL FVINTƏ								
		<u> </u>							DLM	RG
AL SURVEYOR NO. 16469, DO HEREBY CERTIFY THAT THIS CONTROL R MY DIRECT SUPERVISION BASED ON AN ACTUAL SURVEY ON THE ONSIBLE FOR THIS SURVEY; AND THAT THE SURVEY	Bohar	inan 🔺 H	uston				ATE		BY BY	BY
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