



*County of Bernalillo*  
*State of New Mexico*  
*Public Works Division*  
*Transportation Planning Section*  
*415 Silver Ave SW Albuquerque, NM 87102*

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Date: February 27, 2024

To: Jon Kruse, P.E., PTOE, Lee Engineering

From: Julie Luna, Bernalillo County Transportation Planner

Subject: Maxeon Solar in Mesa Del Sol – Draft Traffic Study

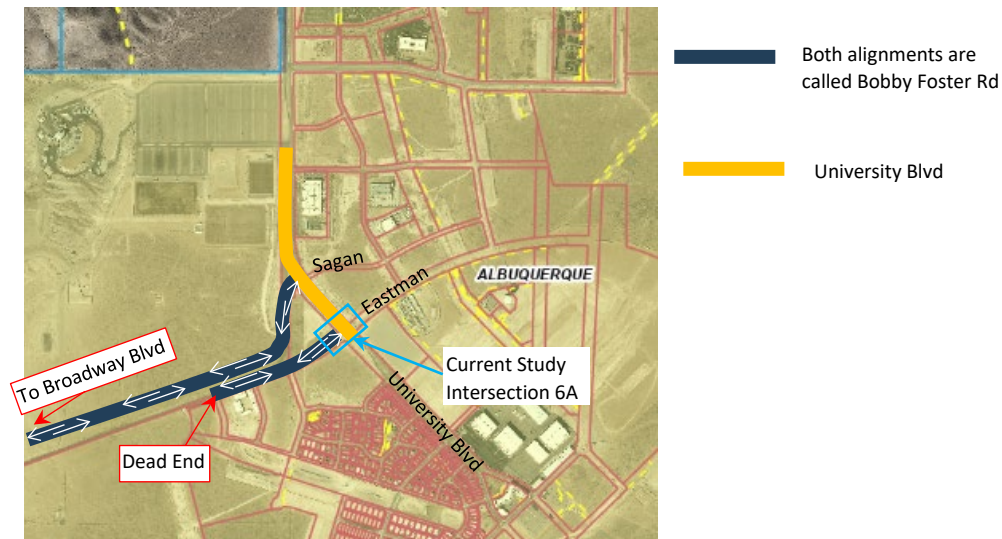
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Below are Bernalillo County comments on the subject draft TIS dated January 19, 2024, please address these comments for the final submittal.

### **General Comments**

1. Maxeon Solar development needs to address the traffic impacts on public rights-of-way and contribute a proportional share of improvements. Providing an temporary road and waiting until the public road is constructed by others is not acceptable.
  - Provide a road to the site within publicly dedicated ROW that meets COA's DPM standards and allows for future development to use this road.
  - Provide this alignment in all exhibits. Page 2 describes the site at being on "the east side of University Blvd and south of a proposed east/west industrial collector roadway to be identified as Maxeon Way." This needs to be shown on Figure 4 (page 8).
  - Determine which ROW will be dedicated and constructed as part of this project with the 2027 build out. The analysis needs to focus on this route for the traffic analysis.
  - Page 28 & page 29 Planned / Programmed Roadway Improvements for 2027 & 2037 - If a road is not in the TIP or STIP or a development agreement, it cannot be included as a future road.
  - Valle del Sol – Valle del Sol has significant development challenges. They were required to complete a TIS as part of their master plan. They are currently exploring creating a local water/wastewater system. They are making progress, but it cannot be reasonably considered as part of this TIS.
2. Crick & University –
  - Analyze this intersection as a roundabout. Provide any considerations by including this intersection as a roundabout including how generally it is expected to function with Isleta Amphitheater events.

3. Please be aware that University Blvd and Bobby Foster is complex. Here is a diagram. Please update study intersection 6A being located at Bobby Foster Rd and Sagan.



4. **(University Blvd)** Page ii, Page 47 - University Blvd as a 4-lane divided arterial from Rio Bravo Blvd to Bobby Foster Rd.
- Remove this sentence. This was not a recommendation in the Netflix, Montage or BC Sports Fields TIA's and it is not included in the States' Transportation Improvement Program.
  - The road capacity evaluation on page 47 is very welcome, please evaluate University Blvd north of Crick Crossing with the current total number of lanes..
5. **(Bobby Foster Rd)** Page iii, Page 7 – "...and improve Bobby Foster Rd to a divided 4-lane roadway..." – Remove this sentence or revise it. Bobby Foster Road is a two-lane road from University Blvd to the Montage Units. The other two-lane adjacent road is named Bobby Foster, but its primary purpose is to serves traffic from Broadway Blvd to the Isleta Amphitheater and Sports Fields.
- **Page 47 Road Capacity Evaluation** – Please provide the location of Calder Loop. There are no current plans to change the double Bobby Foster Road.
6. **(University & Crick)** Page iii – "...improve the intersection at University/Crick" – The prior traffic studies recommend evaluating the University & Crick intersection as a roundabout, but do not propose improvements here with each development.
7. **Page 8 Figure 4** – Show the location of the Maxeon site on these two map images along with the proposed temporary road path. Maxeon should contribute to the planned roadway network and it is important to show how the location relates to the planned network.
8. **Page 23 Ambient Growth** – The growth rate of 4% is extremely high. There is a significant amount of growth captured by previously listed developments. On page 7 under the description of University Blvd, there is nearly constant growth from 2017 to 2022. Basing this rate alone on the MRCOG model is incomplete. The model takes into account planned projects such as the ones listed on this page. By including both 4% general growth and the planned project growth, the trips are being double counted and providing an overestimate of the horizon year scenario.

Copies:

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